

Conditions report

Date

June 2025

Project

4 Rofant Road



Approved Planning Application



Mr Giovanni Patania
Windsor & Patania Architecture
80 Compair Crescent
Ipswich
IP2 0EH

Application Ref: 6923/APP/2024/2955

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)

GRANT OF PLANNING PERMISSION

The Council of the London Borough of Hillingdon as the Local Planning Authority within the meaning of the above Act and associated Orders **GRANTS** permission for the following:

Description of development:

Construction of a new dwellinghouse with associated parking, bin storage, and cycle storage, following the demolition of the existing outbuilding.

Location of development: 4 Rofant Road Northwood

Date of application: 5th December 2024

Plan Numbers: See attached Schedule of plans

Permission is subject to the condition(s) listed on the attached schedule:-

R Johnson

Head of Development Management and Building Control

Date: 7th March 2025

List of Conditions:

1	information only
2	information only
3	information only
4	information only
5	information only
6	report
7	report
8	information only
9	information only
10	information only
11	information only
12	report
13	report
14	report
15	report

Conditions 6

No development above ground level shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include:

1. Details of Soft Landscaping

- 1.a Planting plans (at not less than a scale of 1:100),
- 1.b Written specification of planting and cultivation works to be undertaken,
- 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
- 1.d Details of the green roof

2. Details of Hard Landscaping

- 2.a Means of enclosure/boundary treatments
- 2.b Car Parking Layouts
- 2.c Hard Surfacing Materials
- 2.d External Lighting

3. Details of Landscape Maintenance

- 3.a Landscape Maintenance Schedule for a minimum period of 5 years including the proposed green roof.
- 3.b Proposals for the replacement of any tree, shrub, or area of sowing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.

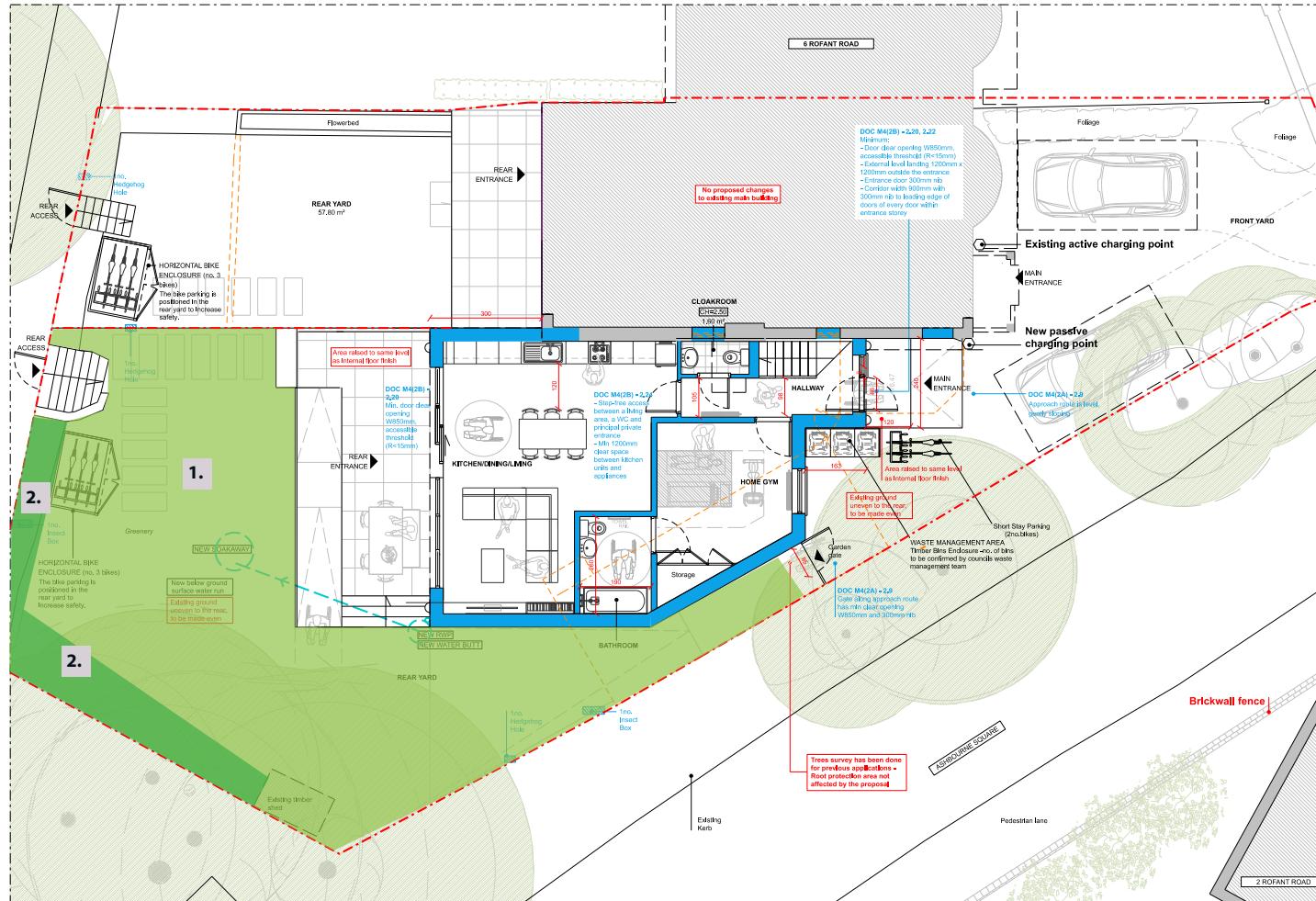
4. Schedule for Implementation

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

Reason: To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies DMHB 11, DMHB 12 and DMHB 14 of the Hillingdon Local Plan Part 2 (2020).

1. Details of Soft Landscaping

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
- Details of the green roof



Legend

1. Lawn

2. Wildflower planting

These wildflowers are suitable for planting to help attract bees, butterflies and other wildlife to the garden. They generally prefer sun or dappled shade. The wildflowers included are all perennials so will continue to grow year after year. They may die back over winter, but will reappear the following Spring and Summer.

The 7 x 9cm pot plant collection will contain a selection of 6 species chosen by us from the following list with 1 x plant of each.

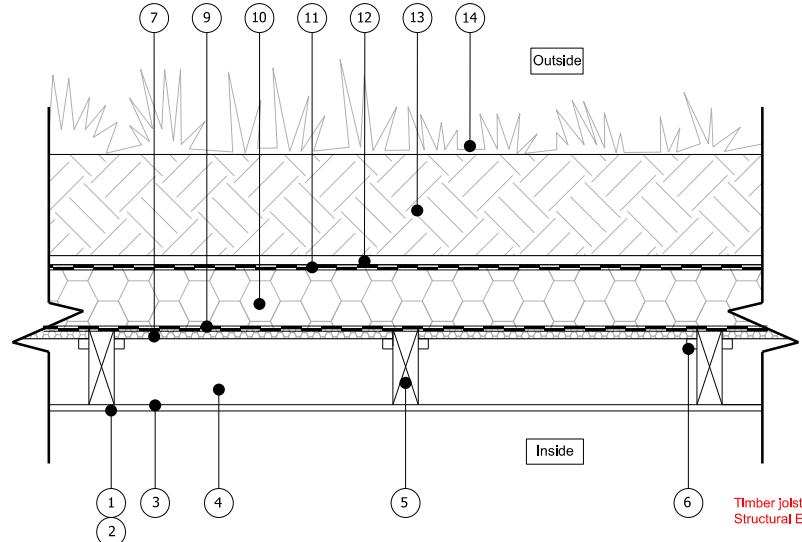
Cuckoo flower, Common fleabane, Devils bit scabious, Meadow buttercup, Sneezewort, Meadowsweet, Square stalked St Johns wort, Bugle, Water avens, Ragged robin, Hemp agrimony

R05 New green warm flat roof			
Detail performance	Units	Minimum requirement	Modelled
Airborne Sound Insulation	dB Rw+Ctr	Change of use: n/a New B1B: n/a	n/a
Impact Sound Insulation	dB LnTw	Change of use: n/a New B1B: n/a	n/a
Thermal Performance	U-value (W/m ² K)	<0.18	TBC
Fire Resistance		n/a	n/a

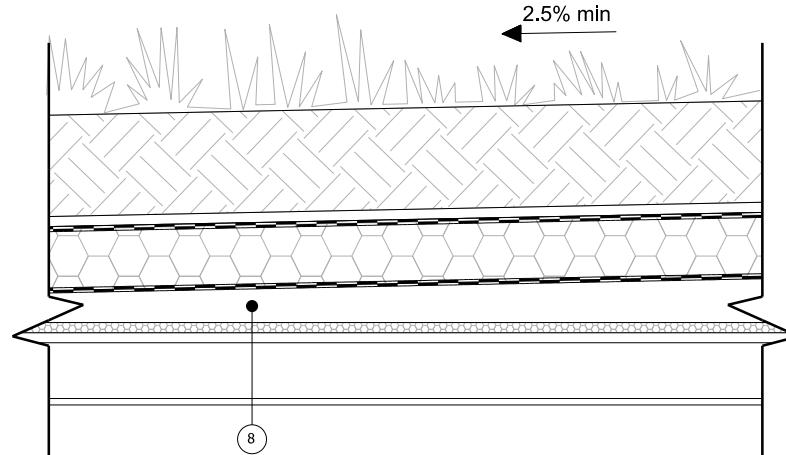
	Materials Description	Size	Manufacturer	Product Reference
1	Matt paint finish	n/a	Dulux or acceptable equivalent	Dulux Trade Vinyl Matt
2	Skim coat plaster	2 mm	British Gypsum or acceptable equivalent	Thistle BoardFinish
3	Insulated plasterboard layer	12.5 mm	Gyproc or acceptable equivalent	Gyproc WallBoard
4	Unventilated Cavity	n/a	n/a	n/a
5	New timber joists, as per Structural Engineer's specifications	TBC	The Timber Group or acceptable equivalent	
6	Timber battens	20mm	The Timber Group or acceptable equivalent	20x20 Timber battens
7	Thermal insulation	20mm	Kingspan or acceptable equivalent	Kooltherm K107 Roof Board
8	Timber firing to provide waterfall	2.5% incl.	n/a	n/a
9	Vapour control layer	0.4 mm	Kingspan or acceptable equivalent	Nivlet breathable membrane
10	Thermal insulation	120mm	Kingspan or acceptable equivalent	Thermaroof TR27
11	Waterproofing membrane	n/a	Permagard or acceptable equivalent	PermaSEAL PRO 8 Green Root Drainage Membrane
12	Root-barrier membrane	n/a	Permagard or acceptable equivalent	PermaSEAL Root Barrier & Separation Membrane
13	Extensive roof garden substrate	200mm	n/a	n/a
14	Vegetation	n/a	n/a	n/a

Additional Notes & Specifications

1	Description : Water based emulsion paint to plastered surfaces. Preparation : Thoroughly clean down the surfaces to remove all dirt, grease and surface contaminants and allow to dry. Composition : Acrylic copolymer. Sheen : Matt. Colour : Refer to the Design Drawings.	Description : Breathable membrane. Preparation : To be installed as per manufacturer's specifications. Composition : 34-layer polyolefin construction. Sheen : n/a Colour : n/a
2	Description : Skim coat plaster. Preparation : Complete 1st and 2nd coat, total thickness for both coats should be a minimum of 2mm. Final trowel to a matt finish (lubricated with minimal water). Composition : Retarded hemihydrate, pre-mixed gypsum plaster. Sheen : n/a Colour : n/a	Description : Fibre free rigid insulation board. Preparation : To be installed as per manufacturer's specifications. Composition : Phenolic insulation core and glass tissue facings. Sheen : n/a Colour : n/a
3	Description : Fire resistant PIR insulation board. Preparation : To be installed as per manufacturer's specifications. Composition : PIR board made from Polyisocyanurate rigid core and faced on both sides with low emissivity aluminium foil. Sheen : n/a Colour : n/a	Description : Waterproofing membrane. Preparation : To be installed as per manufacturer's specifications. Composition : HDPE with integrated geotextile fabric. Sheen : n/a Colour : n/a
5	Description : Timber joists, dimensions as per Structural Engineer's specifications Preparation : Composition : Timber Sheen : n/a Colour : n/a	Description : Root barrier membrane. Preparation : To be installed as per manufacturer's specifications. Composition : Polypropylene Sheen : n/a Colour : n/a
6	Description : Timber battens, to be installed as manufacturer specifications Preparation : Composition : Timber Sheen : n/a Colour : n/a	Description : Extensive roof garden substrate Preparation : To be installed as per manufacturer's specifications Composition : Topsoil Sheen : n/a Colour : n/a
7	Description : Fibre free rigid insulation board Preparation : To be installed as per manufacturer's specifications Composition : Rigid thermoset phenolic insulation Sheen : n/a Colour : n/a	Description : Sedum-mix blanket Preparation : To be installed as per manufacturer's specifications Composition : Vegetation Sheen : n/a Colour : n/a
8	Description : Timber firing Preparation : Installed to provide 2.5% inclination Composition : Timber	



Timber joists dimensions as per Structural Engineer's specifications.

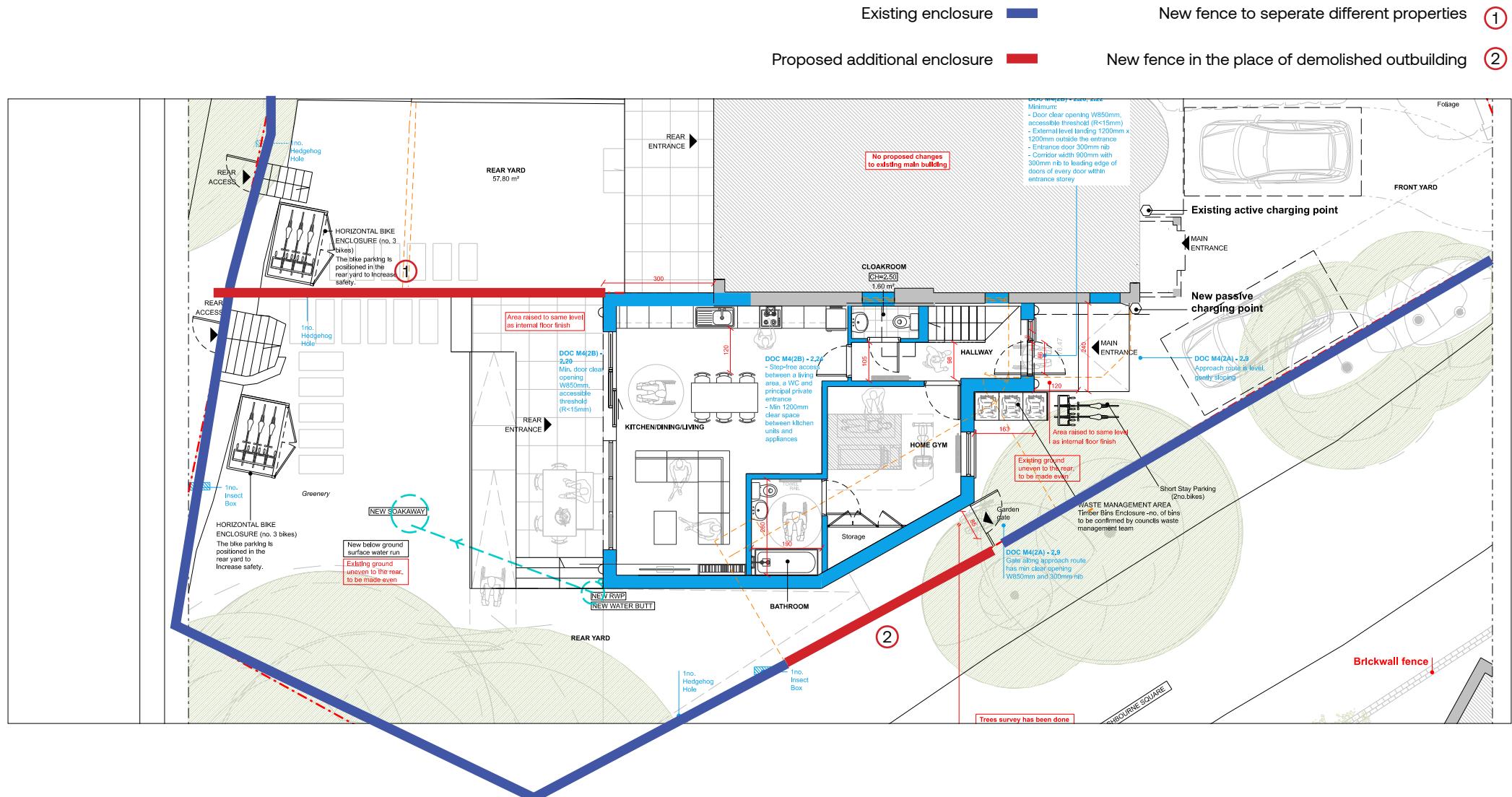


Refer to planning drawings for proposed materials and any applicable planning conditions.
Similar performance products may be used. Subject to BCO approval.
Contractor to follow manufacturer's instructions and recommendation.

Conditions 6

2. Details of Hard Landscaping

2.a Means of enclosure/boundary treatments



Conditions 6

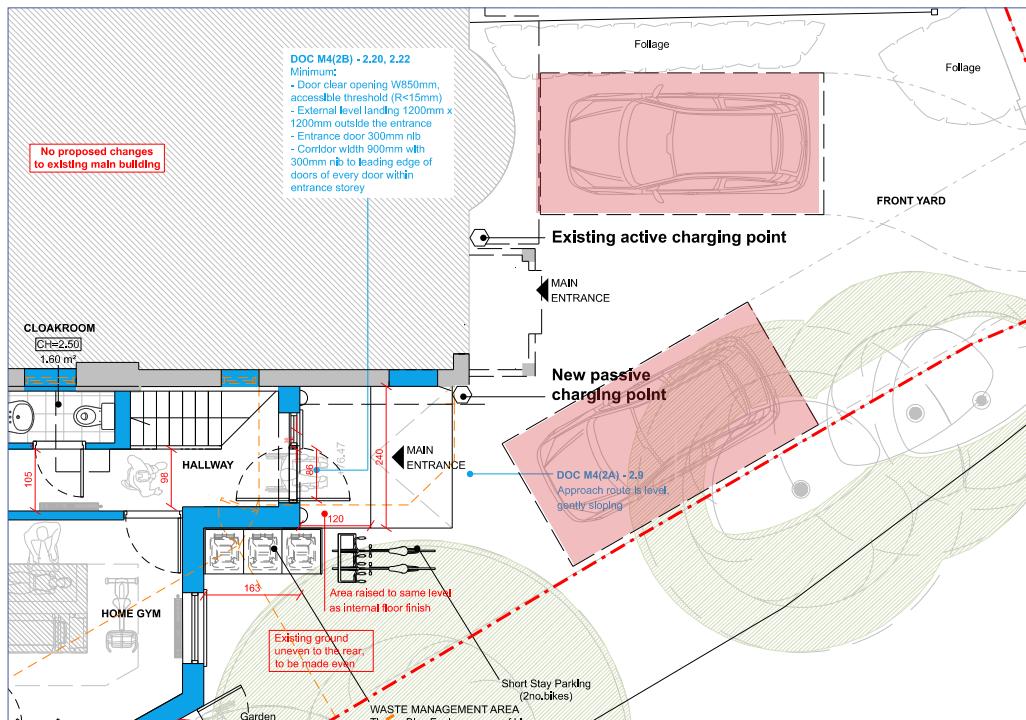
2. Details of Hard Landscaping

2.b Car Parking Layouts

Existing parking area



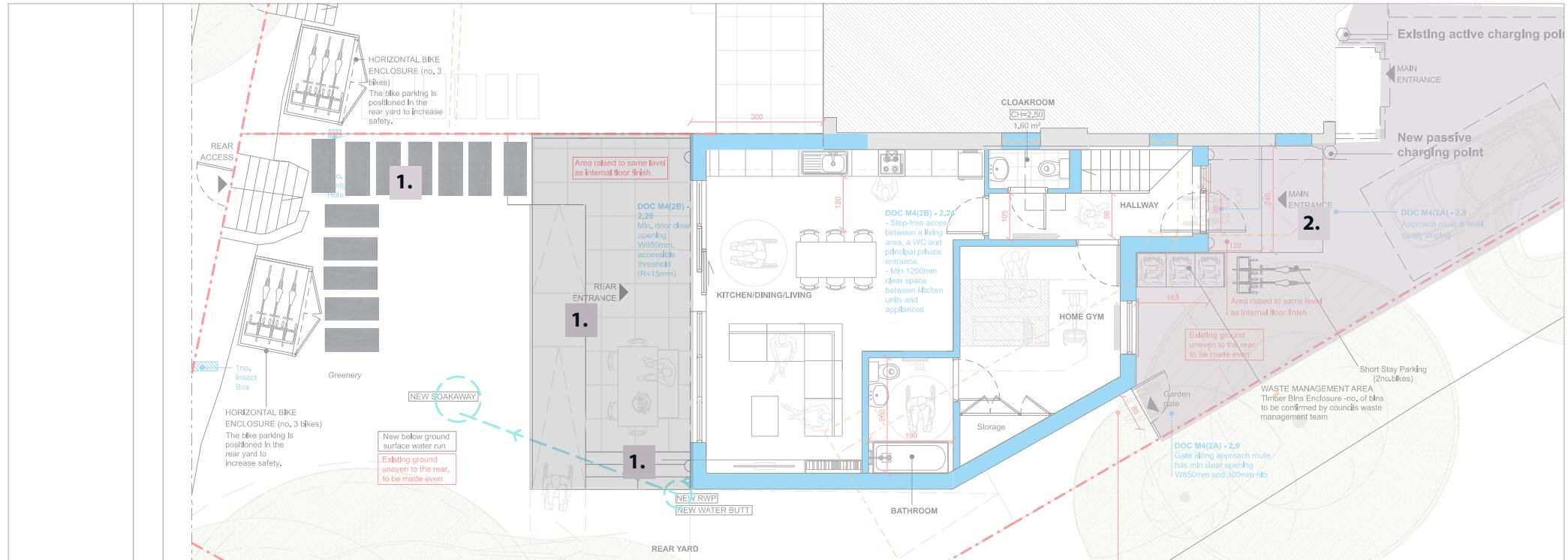
to be retained



Conditions 6

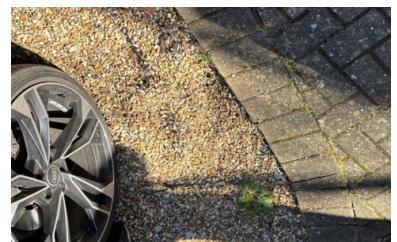
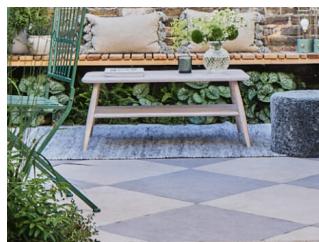
2. Details of Hard Landscaping

2.c Hard Surfacing Materials



Legend

1. Paving Slab



Materials - product specification

Permeable paving –

<https://www.marshalls.co.uk/gardens-and-driveways/product/drivesett-argent-priora-permeable-block-paving>

Product Description

Drivesett Argent Priora® is the ultimate sustainable driveway option where no additional drainage or planning permission are required. This patented block paving is designed to allow rainwater to pass straight through to the ground below without overloading drains and thereby reducing the risk of flooding.

Argent Priora® has all the design appeal of a contemporary granite-look finish and is available with a range of coordinating walling and edging features.

Marshalls have a comprehensive range of Permeable options, please explore our full range.

To find out how to install Marshalls® patented Priora systems have a look at the installation guide, and to see just how effective permeable paving from Marshalls can be, we've created this helpful information video.

Experience peace of mind with the optional Marshalls 10 years guarantee if installed by a Marshalls Registered Installer.

No planning permission or additional drainage is required

Achieve the wow-factor of granite block paving at a fraction of the cost

Manage heavy rainfall and reduce the risk of flooding with this patented design

Specifications

Drivesett Argent Priora Project Pack

Colours Available	Graphite (GR) Light (LT) Dark (DK)
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Finish	Textured
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Pack Type	Mixed Size
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Length (mm)	240 160 80
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Width (mm)	160 160 160
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Thickness (mm)	60 60 60
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Pack Size (m²)	8.06
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Jointing Included	No
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Due to the nature of this product and the manufacturing process, some variation may occur. Where images are viewed online or in printed material, we cannot guarantee that the colours shown directly reflect the colours of the actual product.

- Mix blocks from a minimum of 3 of packs (if possible) to ensure the correct colour blend.
- Take blocks from vertical columns rather than horizontal layers unless otherwise stated.
- Marshalls concrete block paving is manufactured at different factories therefore colour may vary slightly across these works of manufacture.
- Jointing sand should be introduced before the initial vibration and a rubber-faced matting on the vibrating plate should be used.



Materials - product specification

Paving Slab – Casa Grande Light Grey Base Outdoor Porcelain

<https://www.mandarinstone.com/product/casa-grande-light-grey-base-outdoor-concrete-effect-porcelain/>

Suitable For	Floor only, Outdoor
Slip Rating	PTV +36 Wet, R11
Properties	High Traffic, Rectified

Our Casa Grande Light Grey Base Outdoor Porcelain Tile is a subtle, neutral base tile that perfectly complements the exquisitely patterned tiles in the Casa Grande range.

Featuring a beautiful light grey tone, this outdoor porcelain tile can be combined with its patterned partner tiles for an ornate look, or can be used on its own for a smooth and simple finish for your outside space.



Conditions 6

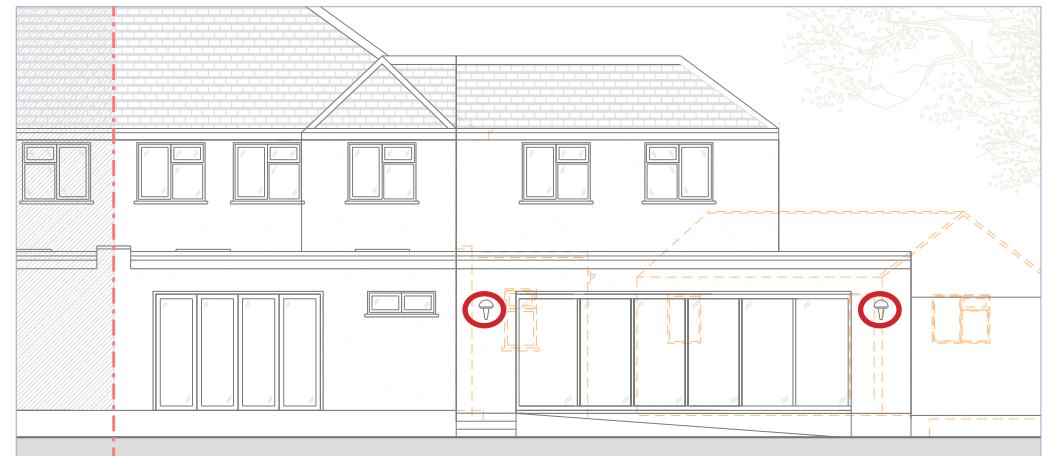
2. Details of Hard Landscaping

2.d External Lighting

Front Elevation



Rear Elevation



External Light reference

Following existing light on original building



Conditions 6

3. Details of Landscape Maintenance

3.a Landscape Maintenance Schedule for a minimum period of 5 years including the proposed green roof.

3.b Proposals for the replacement of any tree, shrub, or area of surfing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.

4. Schedule for Implementation

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

details in - Habitat Management Plan - Condition 7

Conditions 7

(i) Approved Biodiversity Net Gain measures (Biodiversity Net Gain Assessment-Rev-A, prepared by ACP, dated 10.02.2025) to achieve a minimum of a ten per cent onsite Biodiversity Net Gain and Biodiversity Enhancements detailed within the Design + Access Statement, WindsorPatania, dated March 2025, and drawing S10 Rev 02, shall be implemented in the nearest planting season (1 October to 28 February inclusive) following the completion of the development or the occupation of the buildings, whichever is the earlier.

(ii) Prior to the first occupation of the development hereby permitted, a Habitat Management Plan (HMP) shall be submitted to and approved by the Local Planning Authority. The HMP shall include:

- a) Description and evaluation of the features to be managed;
- b) Aims, objectives, and targets for management;
- c) Description of the management operations necessary to achieving aims and objectives;
- d) Prescriptions for management actions;
- e) Preparation of a works schedule, including annual works schedule;
- f) Details of the monitoring needed to measure the effectiveness of management;
- g) Details of the timetable for each element of the monitoring programme; and
- h) Details of the persons responsible for the implementation and monitoring.

The approved HMP shall be strictly adhered to, and development shall commence and operate in accordance with it.

Reason: To ensure the development delivers a ten per cent onsite Biodiversity Net Gain and secures the protection and effective management of on-site habitat in accordance with Policy G6 of The London Plan (2021), Policy EM7 of the Hillingdon Local Plan Part 1 (2012), and Policies DME1 7 and DMHB 14 of the Hillingdon Local Plan Part 2 Development Management Policies (2020).

Habitat Management Plan

a) Description and evaluation of the features to be managed;

Description of development: Construction of a new dwellinghouse with associated parking, bin storage, and cycle storage, following the demolition of the existing outbuilding.

Features to be managed:

-Green roof

-Bat and Bird Box Installation

Bat Boxes: 1no. of bat boxes will be installed .

Bird Boxes: 3. of house martin nest cup will be installed

-Hedgehog Connectivity - Inclusion of hedgehog-friendly fencing, 13 cm x 13 cm gaps in fence

- Insect box

-Habitat Provision - Creation of wildflower meadows, log piles, native species planting

b) Aims, objectives, and targets for management;

Aim 1: Enhance biodiversity by providing habitats for bats, birds, hedgehogs, and insects.

Objective 1.1: Ensure the installation and proper functioning of bat boxes and bird boxes.

Objective 1.2: Create a sustainable environment for hedgehogs and insects.

Aim 2: Promote environmental sustainability through the use of a green roof and habitat provision.

Objective 2.1: Maximize green roof area and ensure its long-term maintenance.

Objective 2.2: Establish a self-sustaining wildflower meadow and native plant area.

Targets:

All boxes and features to be installed prior to construction completion.

Green roof to be fully planted within 6 months of construction.

Habitat features (log piles, plantings) to be established by end of year 1.

c) Description of the management operations necessary to achieving aims and objectives;

Bat and Bird Box Installation: Ensure that boxes are installed securely and in optimal locations based on expert advice.

Green Roof Maintenance: Annual inspection to assess plant health and roof condition.

Wildflower Meadows and Planting: Annual sowing of seeds and monitoring of growth, particularly during the first two years.

Hedgehog and Insect Boxes: Regular checking to ensure they are not blocked or damaged.

Insect Habitat: Ensure the insect box is placed in an area with access to pollinator-friendly plants.

d) Prescriptions for management actions;

Year 1:

Install all habitat features (bat and bird boxes, insect box, hedgehog-friendly fencing). Plant green roof and establish wildflower meadow.

Year 2 and onwards:

Annual inspections of bat and bird boxes for damage or use.

Continue wildflower meadow management and monitor the health of native plants.

Ensure hedgehog-friendly fencing remains unobstructed and effective.

Annual checks on the green roof for plant health and structural integrity.

Insect Box: Ensure it is in a suitable location and remains free from debris.

e) Preparation of a works schedule, including annual works schedule;

Year 1:

Month 1-2: Install all features (bat boxes, bird boxes, insect box, hedgehog fencing).

Month 3-4: Plant green roof and sow wildflower meadow.

Month 5-6: Inspect all installations and features.

Ongoing (Year 2 onwards):

Annually: Inspect and maintain bat and bird boxes, hedgehog fencing, green roof, and wildflower meadow.

Monthly (first 6 months): Ensure all features are intact and functioning as intended.

f) Details of the monitoring needed to measure the effectiveness of management;

Bat and Bird Boxes: Monitor for signs of use (i.e., bat droppings, nesting material in bird boxes) during annual inspections.

Green Roof: Monitor plant growth and soil health during the first year, then annually.

Wildflower Meadows: Track plant diversity and overall growth. Annual monitoring for success of species establishment.

Hedgehog Fencing and Connectivity: Check for gaps or blockages to maintain proper hedgehog movement.

Insect Habitat: Monitor activity and maintenance of the insect box.

g) Details of the timetable for each element of the monitoring programme;

Year 1:

Initial inspections at 3, 6, and 12 months.

Year 2 and onwards:

Annual monitoring at the end of each year to ensure sustainability and effectiveness.

Special attention to the green roof and wildflower meadow during early years for plant establishment.

h) Details of the persons responsible for the implementation and monitoring.

Applicant is responsible for:

Overseeing the installation of features and initial monitoring.

Contacting the Ecologist to provide advice on bat and bird box locations and to monitor use.

Contacting the Maintenance Contractor to carry out annual inspections of all habitat features and to handle the planting of the green roof and wildflower meadow.



Example of an integrated bat box



Example of a House Martin nest cup



Example of an insect box



Example of a hedgehog hole

Conditions 12

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
- (vii) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

Reason: To safeguard the amenity of surrounding areas in accordance with the Hillingdon Local Plan and London Plan (2021).

- Please find Construction Management Plan submitted as a part of the application to satisfy the condition

Conditions 13

No development above ground level shall take place until a scheme for the provision of sustainable water management and water efficiency shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall:

- i. Provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. Include a timetable for its implementation; and,
- iii. Provide a management and maintenance plan for the lifetime of the development.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. Provide details of water collection facilities to capture excess rainwater;
- v. Provide details of how rain and grey water will be recycled and reused in the development;
- vi. Provide details of how the dwellings will achieve a water efficiency standard of no more than 105 litres per person per day maximum water consumption (to include a fixed factor of water for outdoor use of 5 litres per person per day in accordance with the optional requirement defined within Approved Document G of the Building Regulations).

Thereafter, the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

REASON

To ensure the development does not increase the risk of flooding in accordance with Policies DMEI 9 and DMEI 10 of the Hillingdon Local Plan Part 2 (2020).

New soakaway



1.

Water Butt



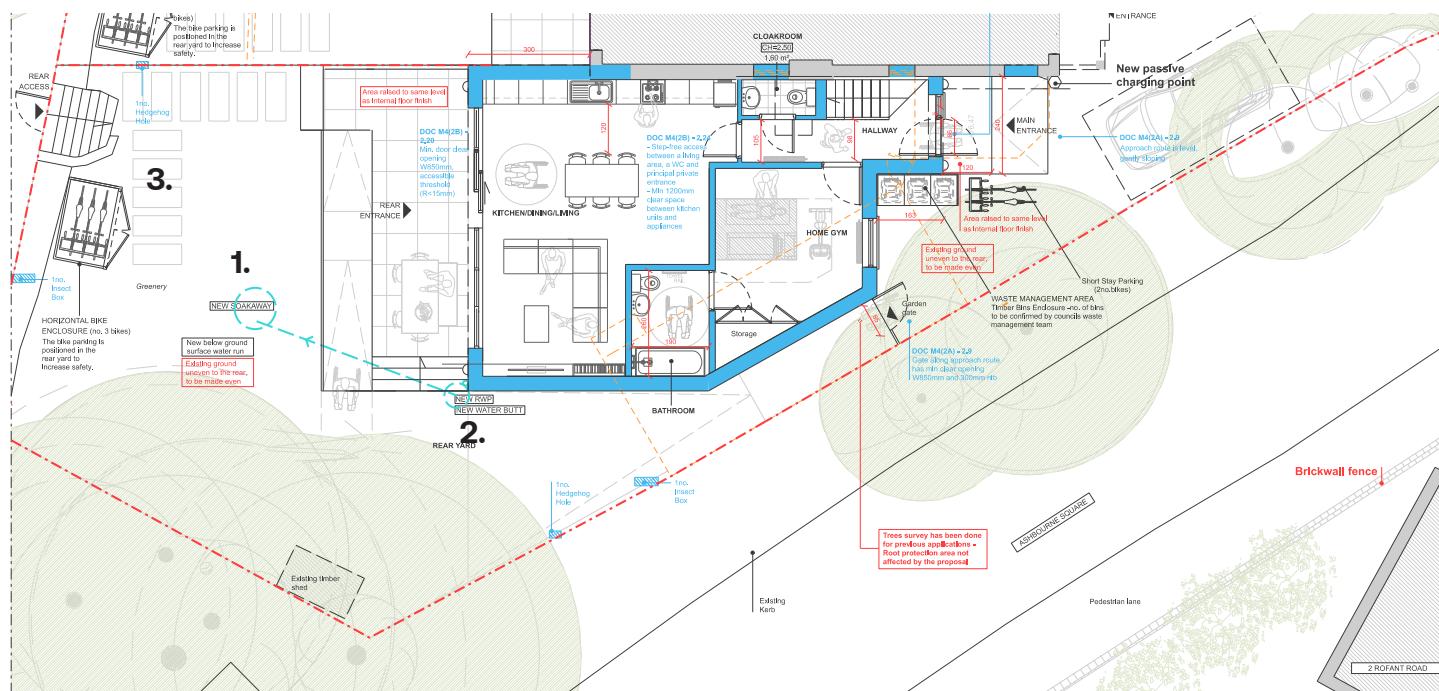
2.

Permeable paving

Permeable paving provides attenuation in its sub-base for up to the 1 in 100 year plus climate change event. Rainwater pipes can also discharge onto these areas to prevent the sub-base blocking up with silts.



3.

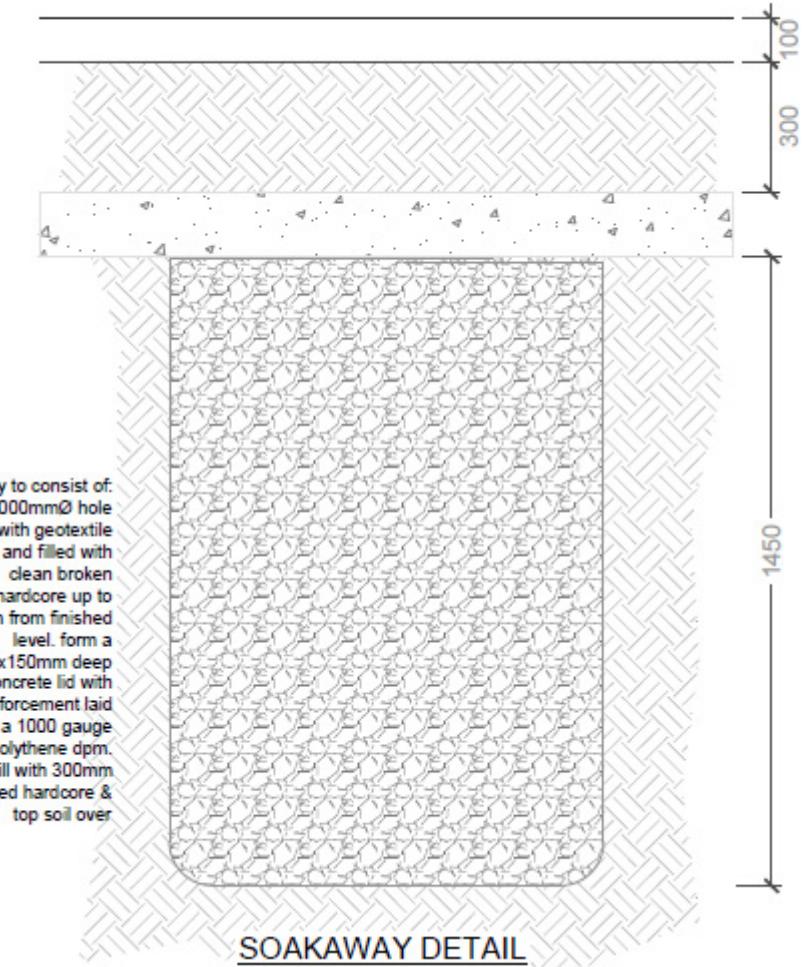


Surface Water Management - Soakaway

The proposed property is a two storey semidetached house.

The effect of the proposal will be the surface water run off from the roof of the new dwelling. This surface water will be rain water and therefore uncontaminated and suitable for discharge through a SUDS such as a soakaway and any paving will have permeable beds, joints and sub base (to manufacturer design and specification) to allow local infiltration and ecological gain, all in line with current development plan for a development of this size and scale. It is proposed that the new roof will discharge via a new downpipe to a new soakaway located in the rear garden. The new downpipe will have a water butt connected to it for local garden irrigation and reduce mains water usage and maintain effective water recycling.

The proposed drainage design intends to maintain high levels of local surface water run-off, keeping infiltration within the site boundary and not imposing any additional surface water run-off to existing infrastructure. New soakaway and filtration testing is to be designed and implemented in accordance with NHBC 5.3 and BRE 365 and comply with all relevant building regulations and NHBC requirements.



Maintenance schedule

Required action, Typical frequency

Regular

- Inspect for sediment and debris in pre-treatment components and floor of inspection tube or chamber and inside of concrete manhole rings (annually)

- Cleaning of gutters and any filters on downpipes (annually or as required based on inspections)
- Trimming any roots that may be causing blockages (annually or as required)

Occasional

- Remove sediment and debris from pre-treatment components and floor of inspection tube or chamber and inside of concrete manhole rings (as required, based on inspections)

Remedial

- Reconstruct soakaway and/or replace or clean void fill, if performance deteriorates or failure occurs (as required)

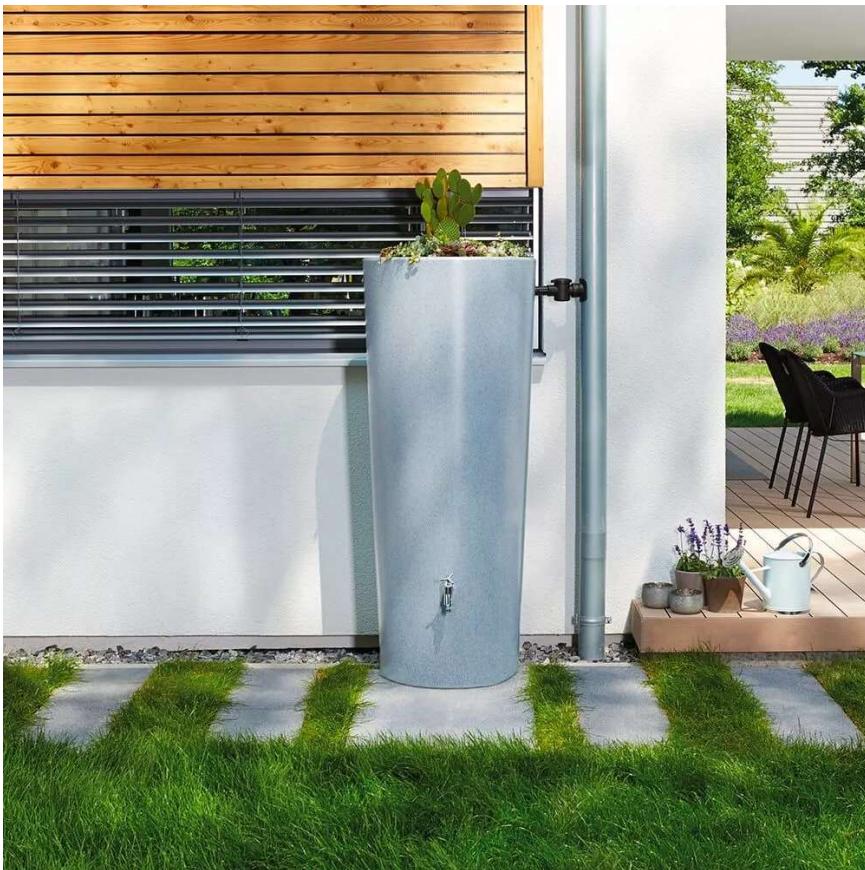
- Replacemenet of clogged geotextile (will require reconstruction of soakaway) (As required)

Monitoring

- Inspect silt traps and note rate of sediment accumulation (monthly in the first year and then annualy)

- Check soakaway to ensure emptying is occurring (annually)

Surface Water Management - Water Butt



Garantia Stone 2in1 Water Tank 350 Litres – Silver (tap included)

£449.99 inc VAT

This 2in1 Water Tank lets you harvest your rainwater in style! The 2in1 capability harvests rainwater from your downpipes, as well as collecting it from the plant-cup top. The modern finish allows this water butt to be the feature of any garden, whilst making the most of the rainwater. This water butt comes with an integrated thread, making it easy for you to connect the tap. The planter cup in the top is removable to make planting as easy as possible and allowing you to customise your water butt, whilst also allowing for the inside of the tank to be cleaned regularly.

Description

The Stone 2in1 Water Butt doubles as an elegant planter, and is one you won't want to hideaway. Simply plant it up and make it a new stylish focal point in your garden.

With its extra-large capacity and ability to connect to your downpipes, you will be able to collect plenty of naturally soft rainwater for watering your plants and flowers. Finished in a contemporary lava coloured stone, this water butt is not only practical, but will have you harvesting your water in style.

Features and Benefits

- **Practical Design** – The Garantia 2in1 has a built-in planter so you can store and water garden plants in the top.
- **High Quality** – With a natural smooth stone finish, this very modern looking water tank will look great and withstand the test of time.
- **Eco-Friendly** – Helping you do your bit, this water butt harvests rainwater for your garden the contemporary way.
- **Make Some Serious Savings** – Mains water is an expensive commodity, so rainwater harvesting is a perfect, money saving alternative.
- **Incorporated Tap** – Making it easier than ever to decant your water, a user-friendly tap is included for your convenience.

Specifications

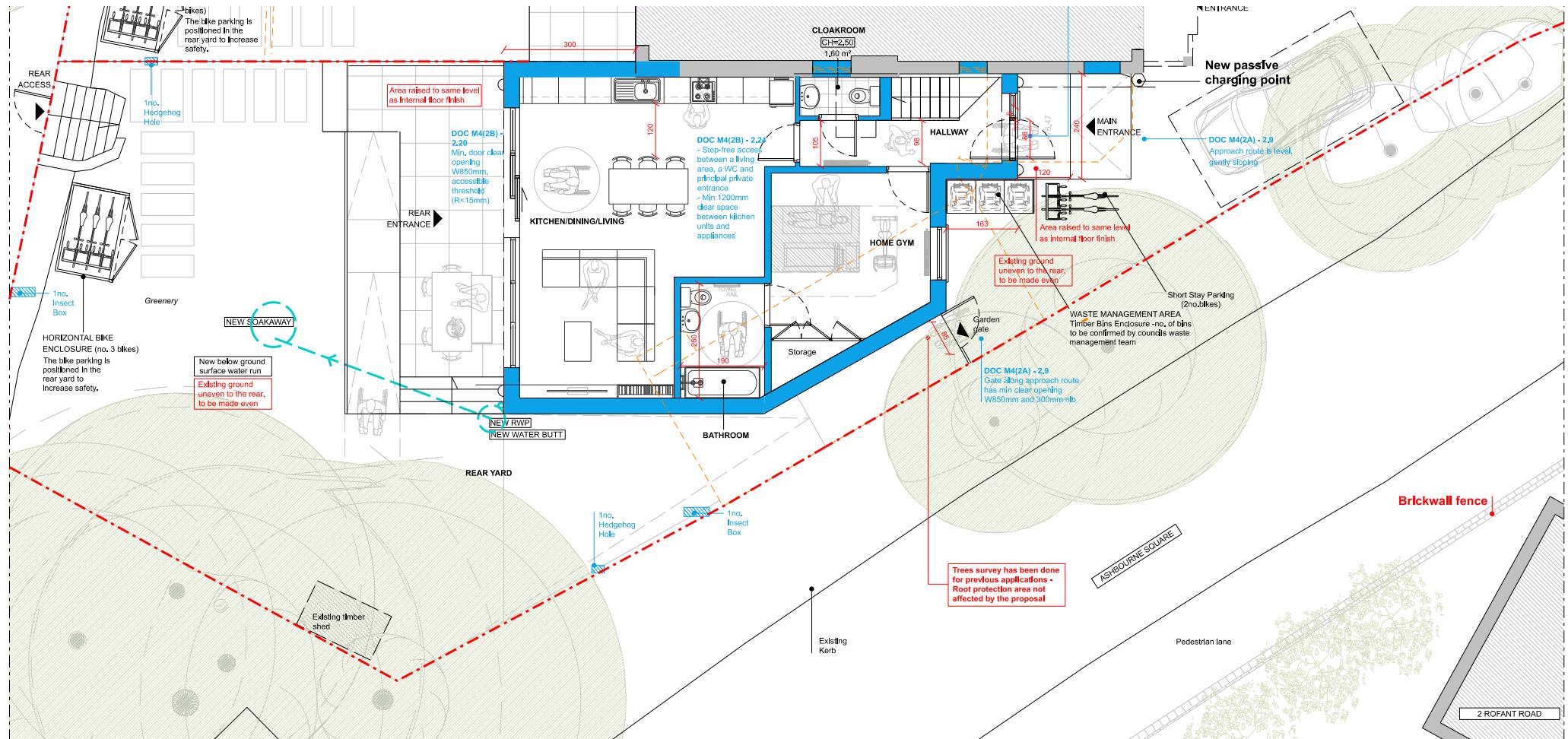
- Modern design
- High-quality and smooth natural stone look
- 2 functions: rainwater storage and decoration
- The water tank includes two high-quality brass threads and an integrated plant cup
- The integrated planter can be easily removed for watering
- Capacity: 350 Litres
- Weight (kg): 15
- Dimensions: 620 Ø max. (mm) x 1500 Height (mm)
- Colour: Silver

<https://www.garantiauk.co.uk/product/garantia-stone-2in1-water-tank-350-litres-silver/>

Conditions 14

Prior to any works on site above damp proof course level, details of step-free access via all points of entry and exit shall be submitted to and approved in writing by the Local Planning Authority. The approved measures shall be implemented prior to first occupation and shall be permanently retained thereafter.

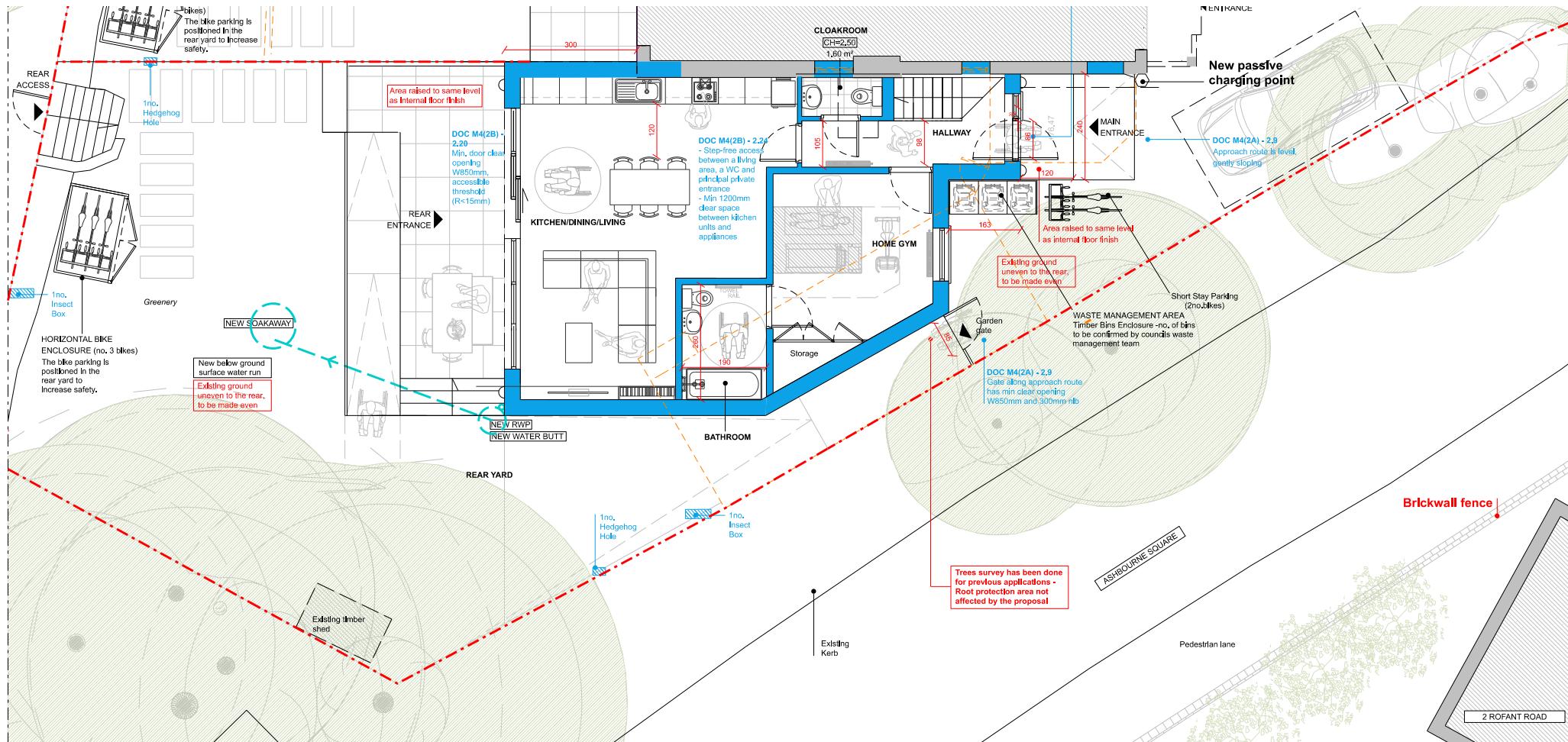
Reason: To ensure housing of an inclusive design is achieved and maintained in accordance with Policies D5 and D7 of the London Plan (2021).



Conditions 15

The dwelling hereby approved shall accord with the requirements of Policy D7 of the London Plan and shall not be occupied until certification of compliance with the technical specifications for an **M4(2) dwelling, as set out in Approved Document M to the Building Regulations (2010) 2015**, has been submitted to, and approved in writing, by the Local Planning Authority. All such provisions must remain in place for the life of the building.

Reason: To not only allow the Building Control body to require the development to comply with the optional Building Regulations standards, but to also ensure the appropriate quantity and standard of accessible and adaptable housing is constructed and maintained in accordance with Policy D7 of the London Plan.



020 3011 2997

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WindsorPatania