

EXISTING AREAS		
Floor	GIA	
Flat 1	119.88 sqm	
Flat 2	78.83 sqm	



Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES

Revision

Rev	Notes	Date
-	Preliminary Issue	16/05/2023
A	Preliminary Issue	29/05/2023
B	Preliminary Issue	13/06/2023
C	Planning Issue	20/06/2023
D	Planning Issue	29/06/2023
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

	Proposed walls		Boundary lines
	Existing walls		Proposed beam
	Existing removed		Proposed drainage
	Proposed rooflight		1.8m head height
			1.5m head height

JOB TITLE
Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS
Planning

DRAWING TITLE
Existing Ground Floor Plan

CLIENT
William Ormrod

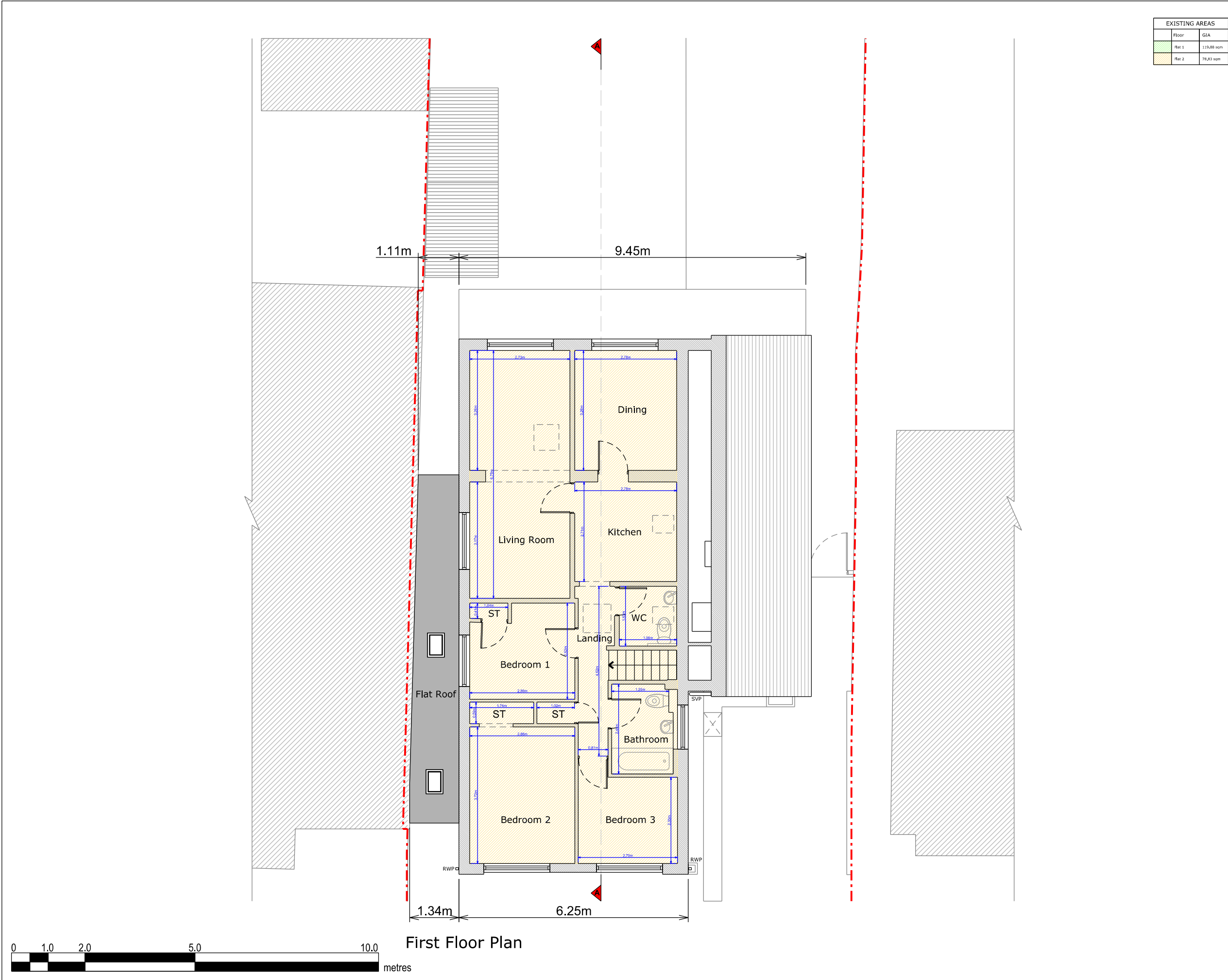
SCALE
1:100 at A3

DRAWN
HD

DATE
Aug 2023

CHECKED
NS

DRAWING NO. 65243 - 01 - 101G



First Floor Plan

EXISTING AREAS		
Floor	GIA	
Flat 1	119.88 sqm	
Flat 2	78.83 sqm	



Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES

Revision

Rev	Notes	Date
-	Preliminary Issue	16/05/2023
A	Preliminary Issue	29/05/2023
B	Preliminary Issue	13/06/2023
C	Planning Issue	20/06/2023
D	Planning Issue	29/06/2023
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY	
	Proposed walls
	Existing walls
	Existing removed
	Proposed rooflight
	Boundary lines
	Proposed beam
	Proposed drainage
	1.8m head height
	1.5m head height

JOB TITLE
Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS
Planning

DRAWING TITLE
Existing First Floor Plan

CLIENT
William Ormrod

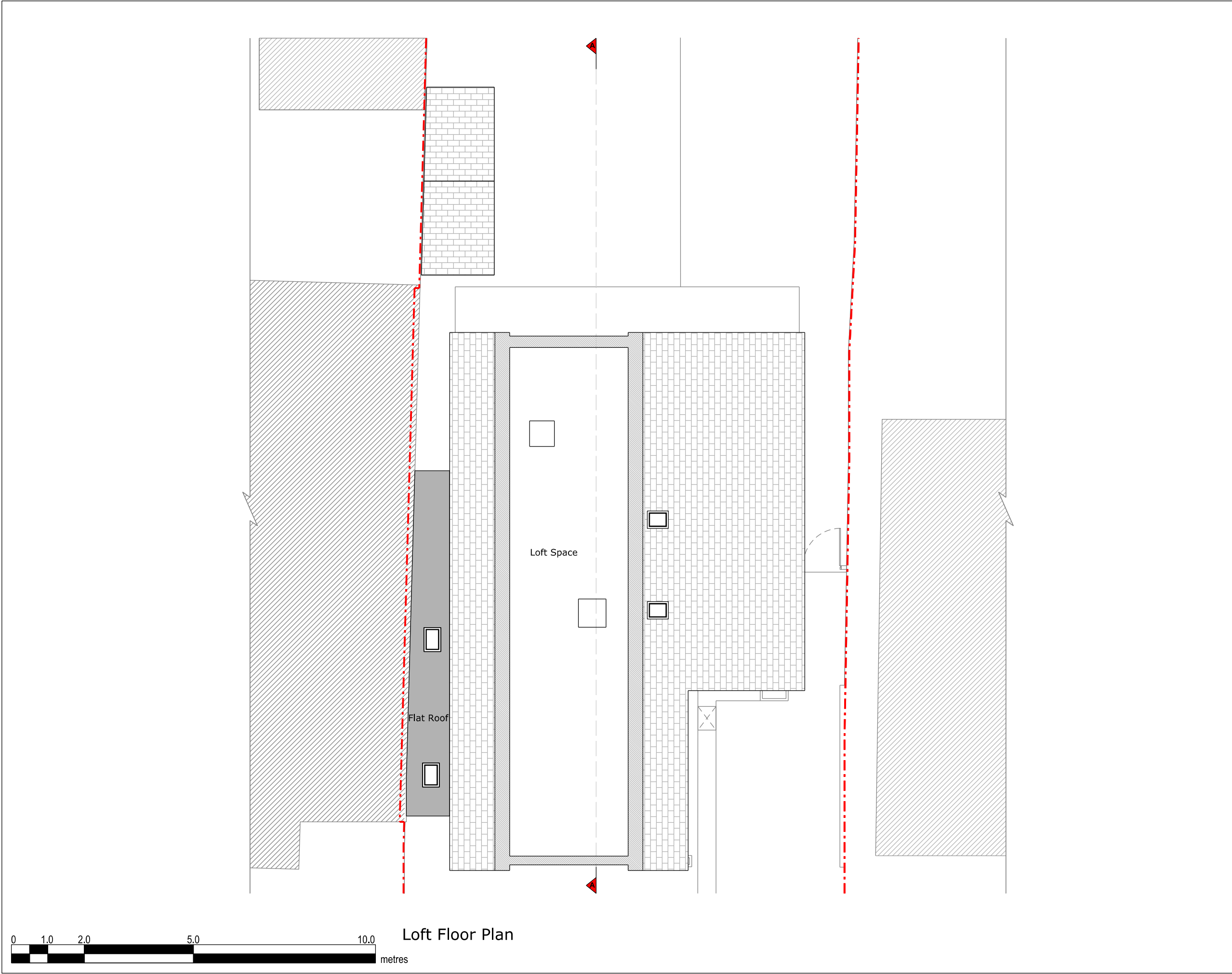
SCALE
1:100 at A3



DRAWN
HD

DATE
Aug 2023

CHECKED
NS

DRAWING NO. 65243 - 01 - 102G





Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.










All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES

Revision		
Rev	Notes	Date
-	Preliminary Issue	16/05/2023
A	Preliminary Issue	29/05/2023
B	Preliminary Issue	13/06/2023
C	Planning Issue	20/06/2023
D	Planning Issue	29/06/2023
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

	Proposed walls		Boundary lines
	Existing walls		Proposed beam
	Existing removed		Proposed drainage
	Proposed rooflight		1.8m head height
			1.5m head height

JOB TITLE
Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

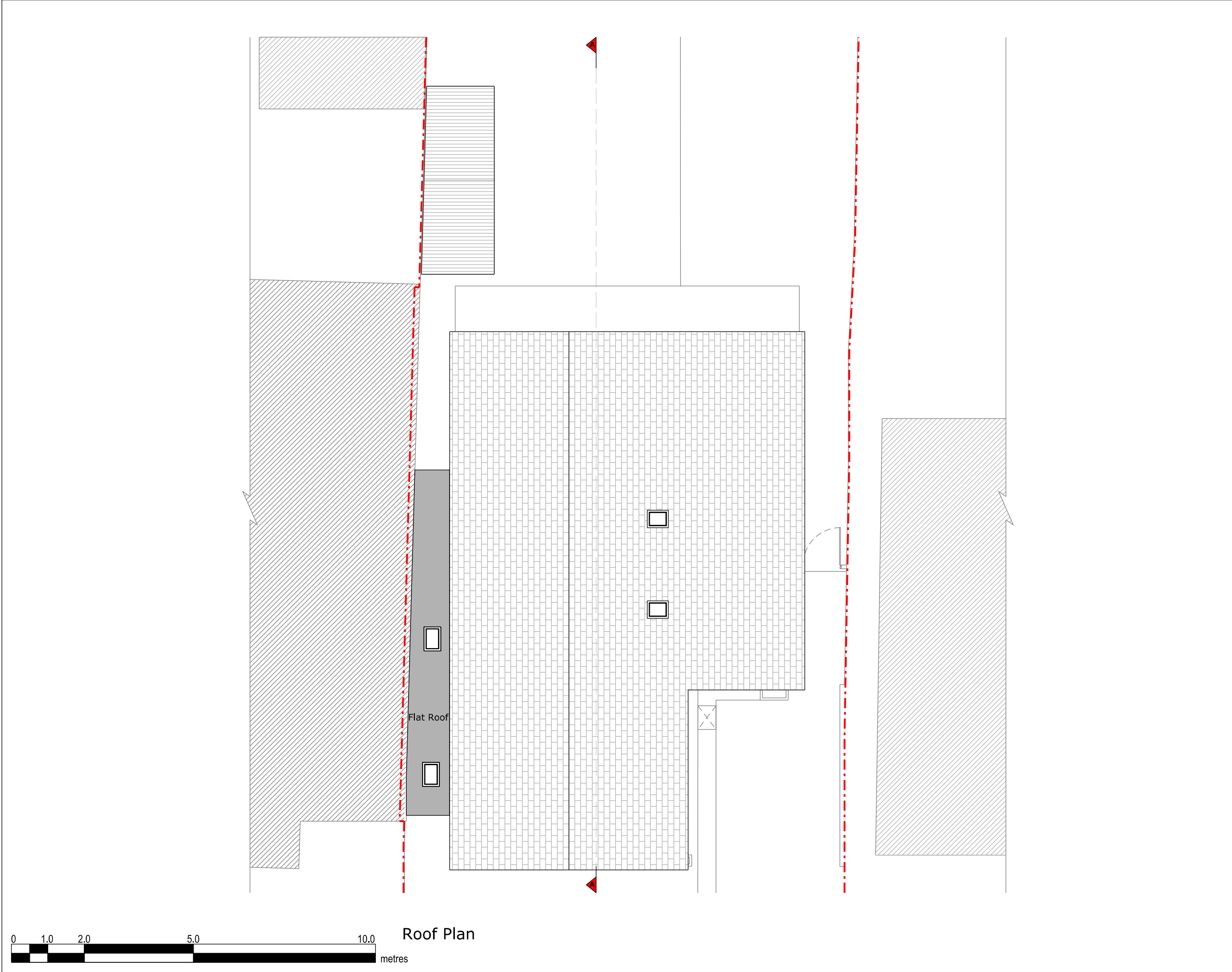
STATUS
Planning



DRAWING TITLE
Existing Loft Floor Plan

CLIENT
William Ormrod

SCALE 1:100 at A3	DRAWN HD
DATE Aug 2023	CHECKED NS

DRAWING NO. 65243 - 01 - 103G





Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.










All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES

Rev	Notes	Date
-	Preliminary Issue	16/05/2023
A	Preliminary Issue	29/05/2023
B	Preliminary Issue	13/06/2023
C	Planning Issue	20/06/2023
D	Planning Issue	29/06/2023
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

	Proposed walls		Boundary lines
	Existing walls		Proposed beam
	Existing removed		Proposed drainage
	Proposed rooflight		1.8m head height
			1.5m head height

JOB TITLE
Proposed airspace development, external alterations and internal alterations to a 5 storey residential building at 55 Station Approach, HA4 6RZ

STATUS
Planning

DRAWING TITLE
Existing Roof Plan

CLIENT
William Ormrod

SCALE 1:100 at A3	DRAWN HD
DATE Aug 2023	CHECKED NS

DRAWING NO. 65243 - 01 - 104G

Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES

Materials:

Brickwork / Walls - White painted render and timber cladding and yellow brick

Pitched Roof - Concrete tiles

Windows & Doors - White uPVC windows

RWP / Gutters / Fascia - White uPVC downpipes and guttering with white painted timber fascias

Revision

Rev	Notes	Date
-	Preliminary Issue	16/05/2023
A	Preliminary Issue	29/05/2023
B	Preliminary Issue	13/06/2023
C	Planning Issue	20/06/2023
D	Planning Issue	29/06/2023
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

	Boundary lines
	Proposed walls
	Existing walls
	Existing removed
	Proposed rooflight
	Proposed beam
	Proposed drainage
	1.8m head height
	1.5m head height

JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Existing Elevations

CLIENT

William Ormrod

SCALE

1:100 at A3

DRAWN

HD

DATE

Aug 2023

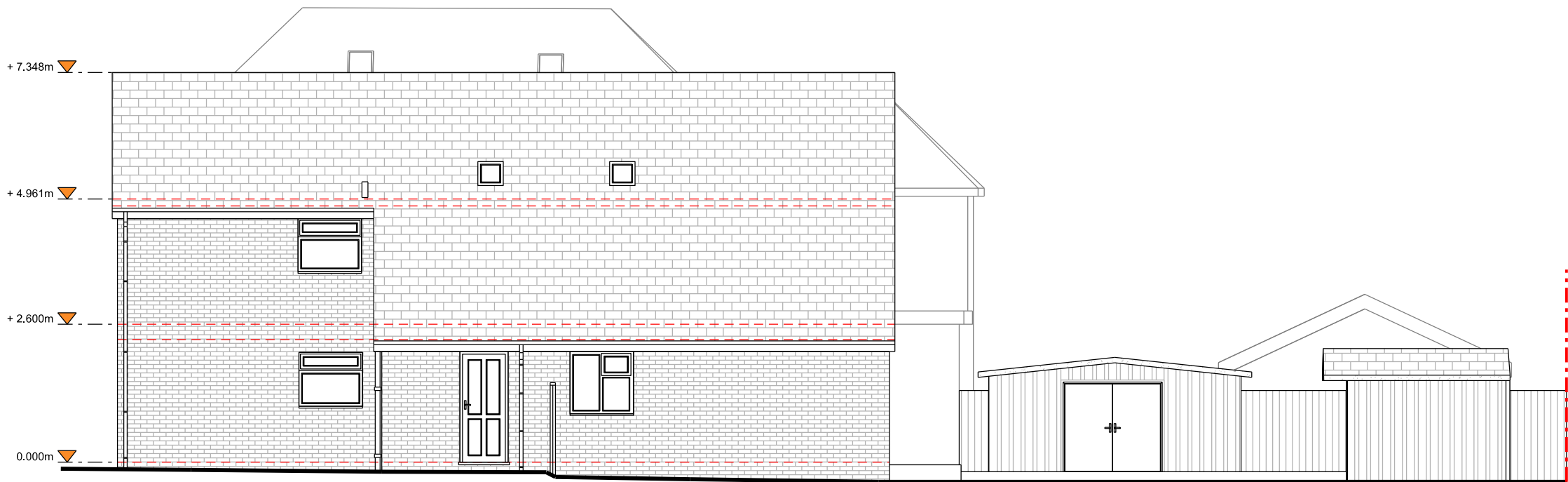
CHECKED

NS

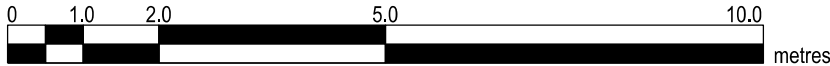
DRAWING NO. 65243 - 01 - 201G



Front Elevation



Right Side Elevation



Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES

Materials:

Brickwork / Walls - White painted render and timber cladding and yellow brick

Pitched Roof - Concrete tiles

Windows & Doors - White uPVC windows

RWP / Gutters / Fascia - White uPVC downpipes and guttering with white painted timber fascias

Revision

Rev	Notes	Date
-	Preliminary Issue	16/05/2023
A	Preliminary Issue	29/05/2023
B	Preliminary Issue	13/06/2023
C	Planning Issue	20/06/2023
D	Planning Issue	29/06/2023
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

	Boundary lines
	Proposed walls
	Existing walls
	Existing removed
	Proposed rooflight
	Proposed beam
	Proposed drainage
	1.8m head height
	1.5m head height

JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Existing Elevations

CLIENT

William Ormrod

SCALE

1:100 at A3

DRAWN

HD

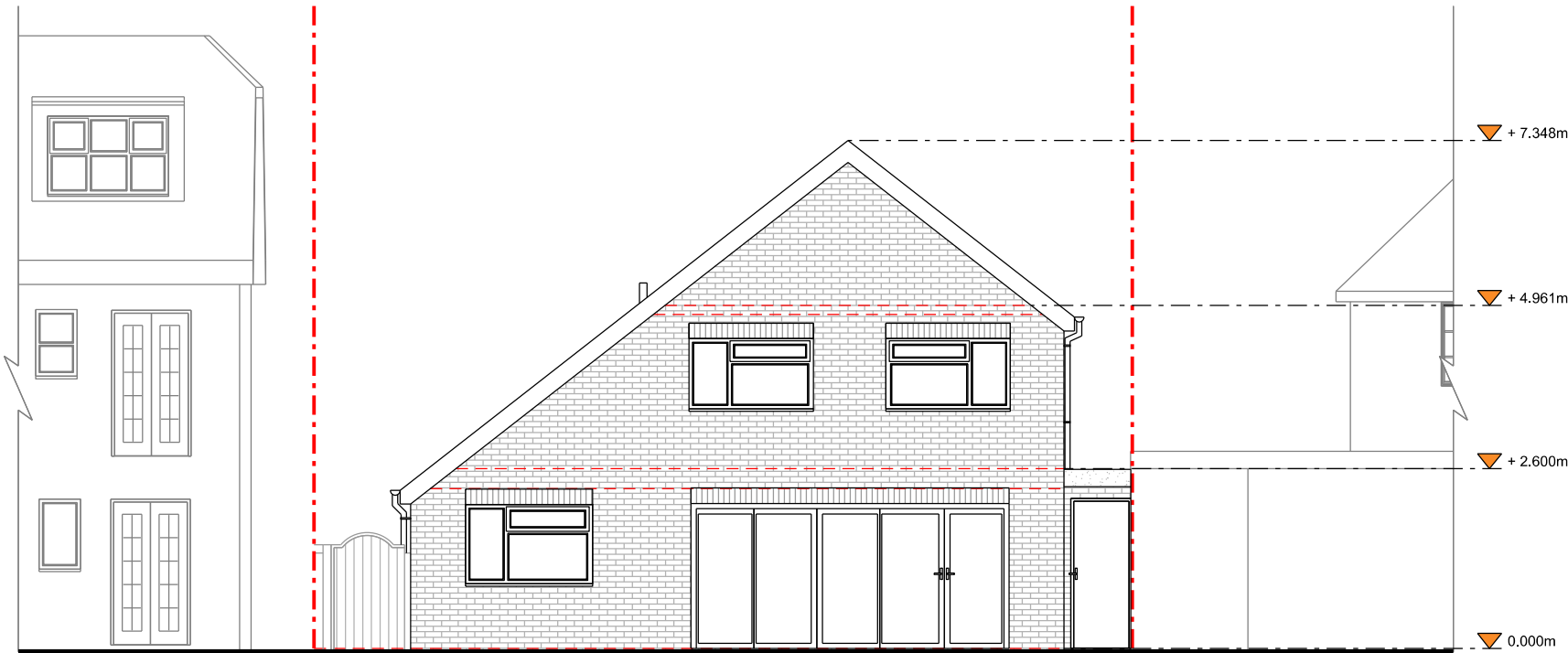
DATE

Aug 2023

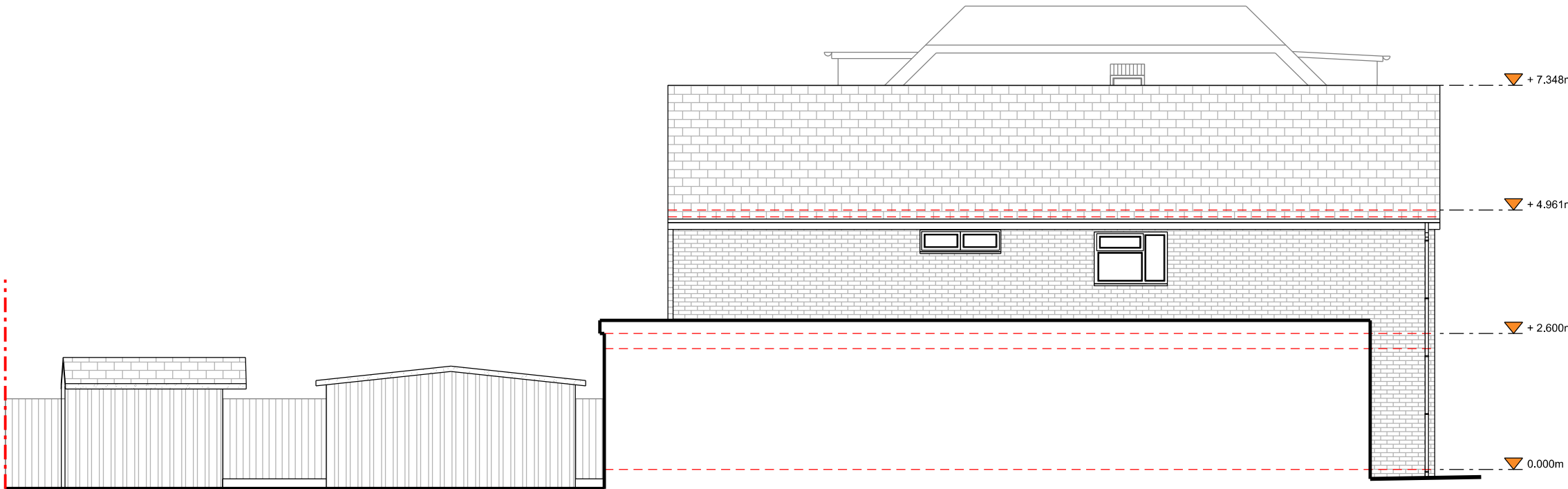
CHECKED

NS

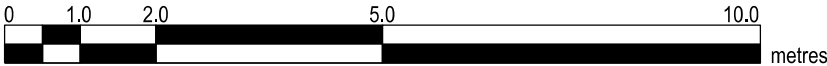
DRAWING NO. 65243 - 01 - 202G



Rear Elevation



Left Side Elevation



Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.










Print to scale (as actual size)

NOTES

Revision

Rev	Notes	Date
-	Preliminary Issue	16/05/2023
A	Preliminary Issue	29/05/2023
B	Preliminary Issue	13/06/2023
C	Planning Issue	20/06/2023
D	Planning Issue	29/06/2023
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

	Proposed walls		Boundary lines
	Existing walls		Proposed beam
	Existing removed		Proposed drainage
	Proposed rooflight		1.8m head height
			1.5m head height

JOB TITLE
Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS
Planning

DRAWING TITLE
Existing Section A - A

CLIENT
William Ormrod

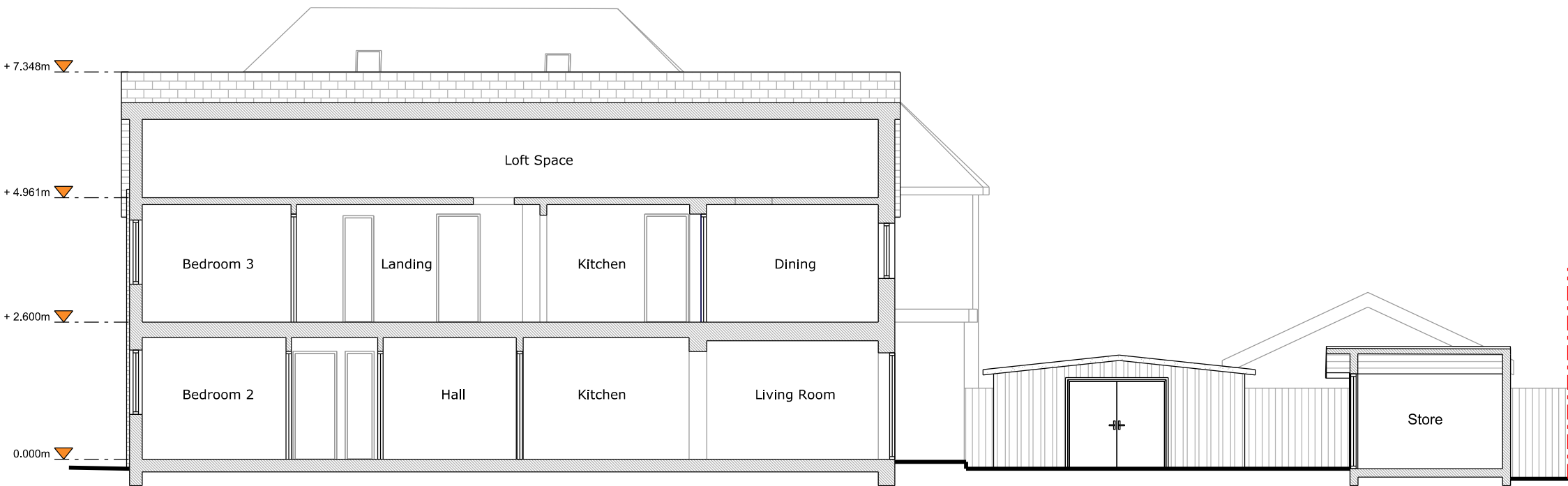
SCALE
1:100 at A3

DRAWN
HD

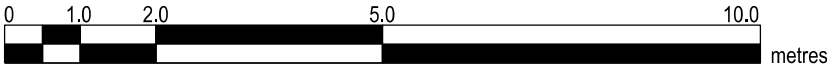
DATE
Aug 2023

CHECKED
NS

DRAWING NO. 65243 - 01 - 301G



Section A - A



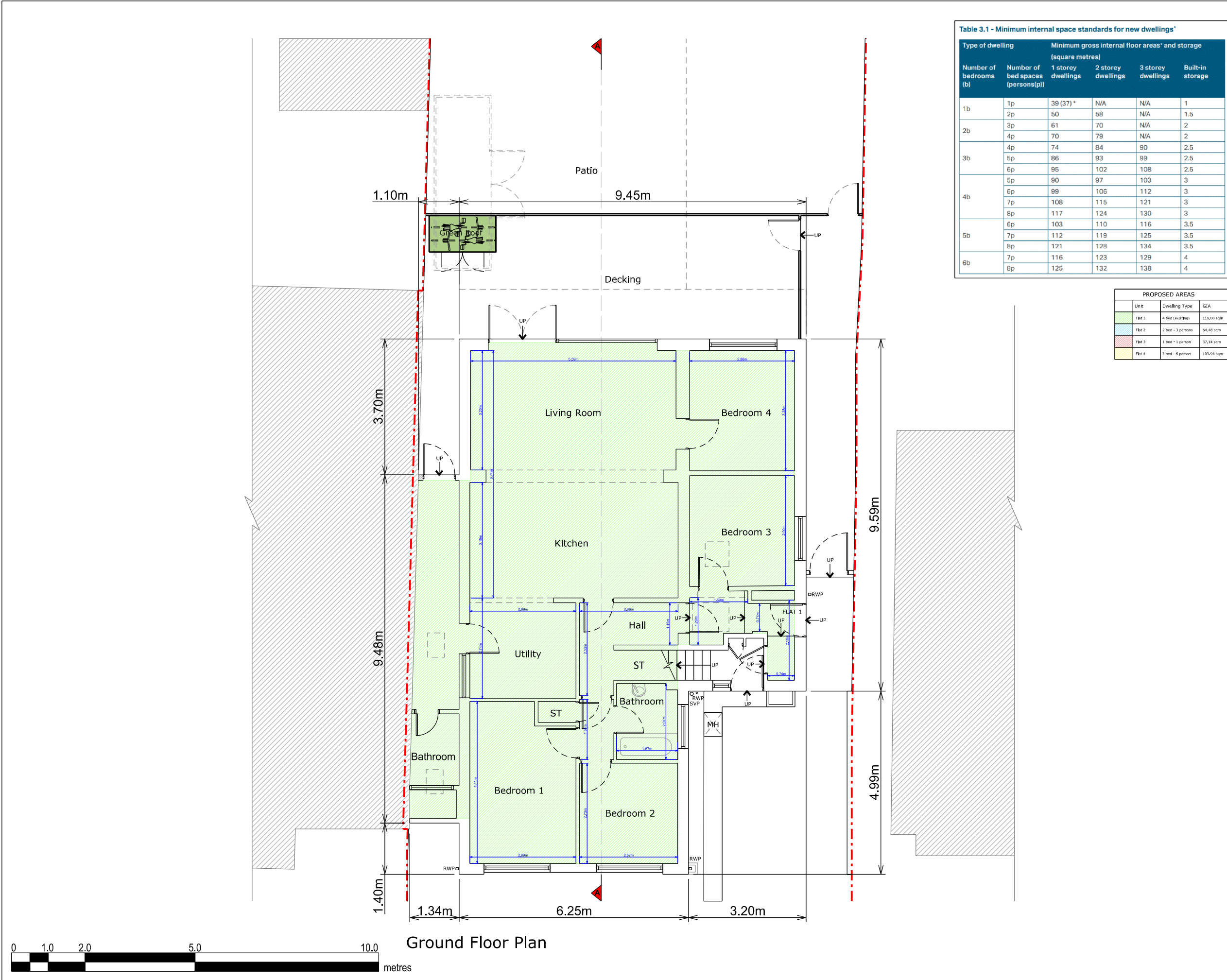


Table 3.1 - Minimum internal space standards for new dwellings*

Type of dwelling	Number of bedrooms (b)	Number of bed spaces (persons(p))	Minimum gross internal floor areas* and storage (square metres)			
			1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) *	N/A	N/A	N/A	1
	2p	50	58	N/A	N/A	1.5
2b	3p	61	70	N/A	N/A	2
	4p	74	84	90	2.5	
3b	5p	86	93	99	2.5	
	6p	95	102	108	2.5	
4b	5p	90	97	103	3	
	6p	99	105	112	3	
	7p	108	115	121	3	
	8p	117	124	130	3	
5b	6p	103	110	116	3.5	
	7p	112	119	125	3.5	
	8p	121	128	134	3.5	
6b	7p	116	123	129	4	
	8p	125	132	138	4	

PROPOSED AREAS		
Unit	Dwelling Type	GIA
Flat 1	4 bed (existing)	119.08 sqm
Flat 2	2 bed + 3 persons	64.48 sqm
Flat 3	1 bed + 1 person	37.14 sqm
Flat 4	3 bed + 6 person	103.94 sqm



DESIGN SQUARED
ARCHITECTS

Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES

Revision

Rev	Notes	Date
-	Preliminary Issue	16/05/2023
A	Preliminary Issue	29/05/2023
B	Preliminary Issue	13/06/2023
C	Planning Issue	20/06/2023
D	Planning Issue	29/06/2023
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

	Proposed walls		Boundary lines
	Existing walls		Proposed beam
	Existing removed		Proposed drainage
	Proposed rooflight		1.8m head height
			1.5m head height

JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Proposed Ground Floor Plan

CLIENT

William Ormrod

SCALE

1:100 at A3

DRAWN

CZ

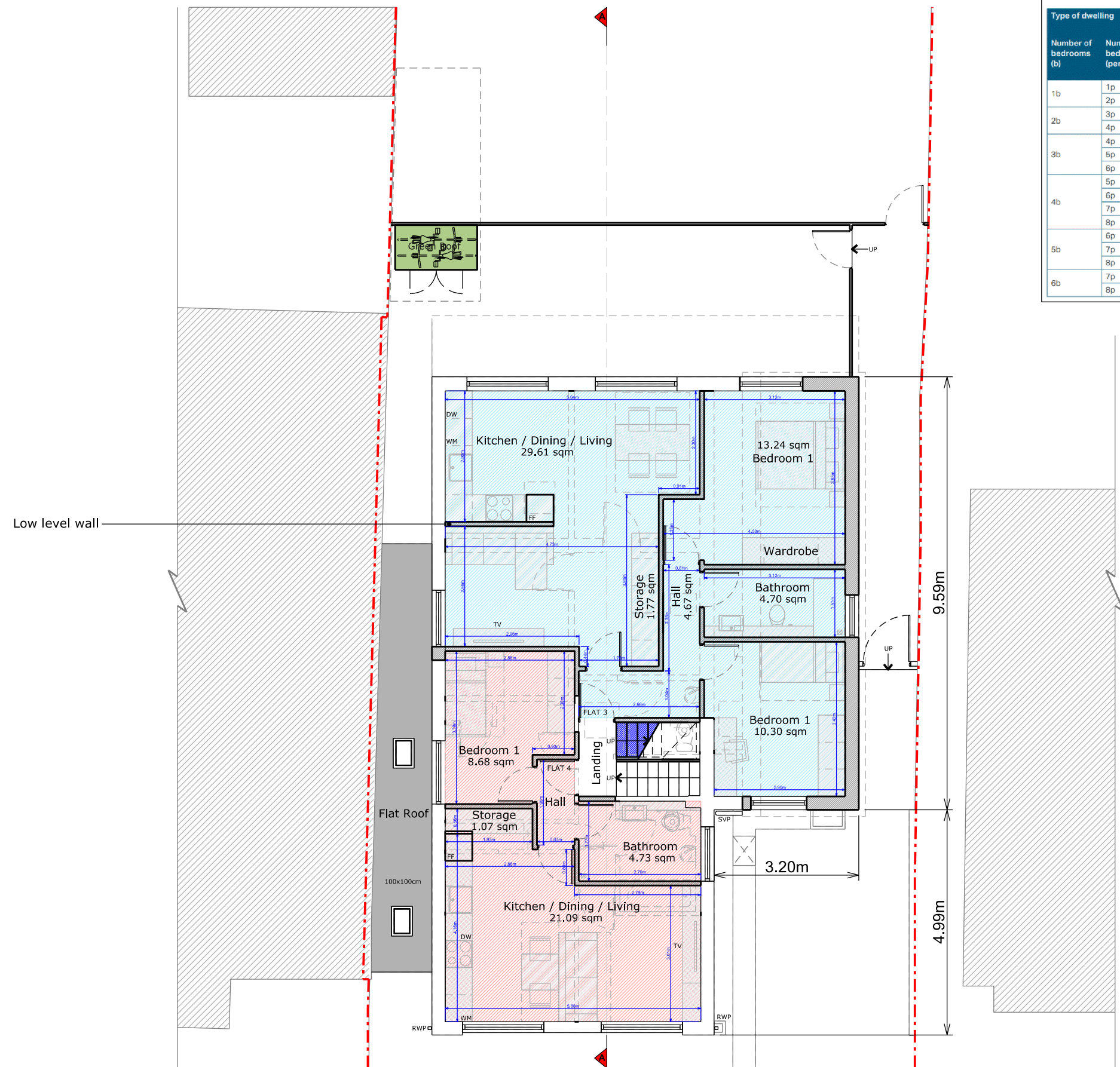
DATE

Aug 2023

CHECKED

NS

DRAWING NO. 65243 - 01 - 105G



First Floor Plan

Table 3.1 - Minimum internal space standards for new dwellings*					
Type of dwelling		Minimum gross internal floor areas* and storage (square metres)			
Number of bedrooms (b)	Number of bed spaces (persons(p))	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) *	N/A	N/A	1
	2p	50	58	N/A	1.5
	3p	61	70	N/A	2
2b	4p	70	79	N/A	2
	4p	74	84	90	2.5
	5p	86	93	99	2.5
3b	6p	95	102	108	2.5
	5p	90	97	103	3
	6p	99	106	112	3
4b	7p	108	115	121	3
	8p	117	124	130	3
	6p	103	110	116	3.5
5b	7p	112	119	125	3.5
	8p	121	128	134	3.5
	7p	116	123	129	4
6b	8p	125	132	138	4

PROPOSED AREAS		
Unit	Dwelling Type	GIA
Flat 1	4 bed (existing)	119.08 sqm
Flat 2	2 bed + 3 persons	64.48 sqm
Flat 3	1 bed + 1 person	37.14 sqm
Flat 4	3 bed + 6 person	103.94 sqm



Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES

Revision

Rev	Notes	Date
-	Preliminary Issue	16/05/2023
A	Preliminary Issue	29/05/2023
B	Preliminary Issue	13/06/2023
C	Planning Issue	20/06/2023
D	Planning Issue	29/06/2023
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

	Proposed walls		Boundary lines
	Existing walls		Proposed beam
	Existing removed		Proposed drainage
	Proposed rooflight		1.8m head height
			1.5m head height

JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Proposed First Floor Plan

CLIENT

William Ormrod

SCALE

1:100 at A3

DATE

Aug 2023

DRAWING NO. 65243 - 01 - 106G

DRAWN

CZ

CHECKED

NS

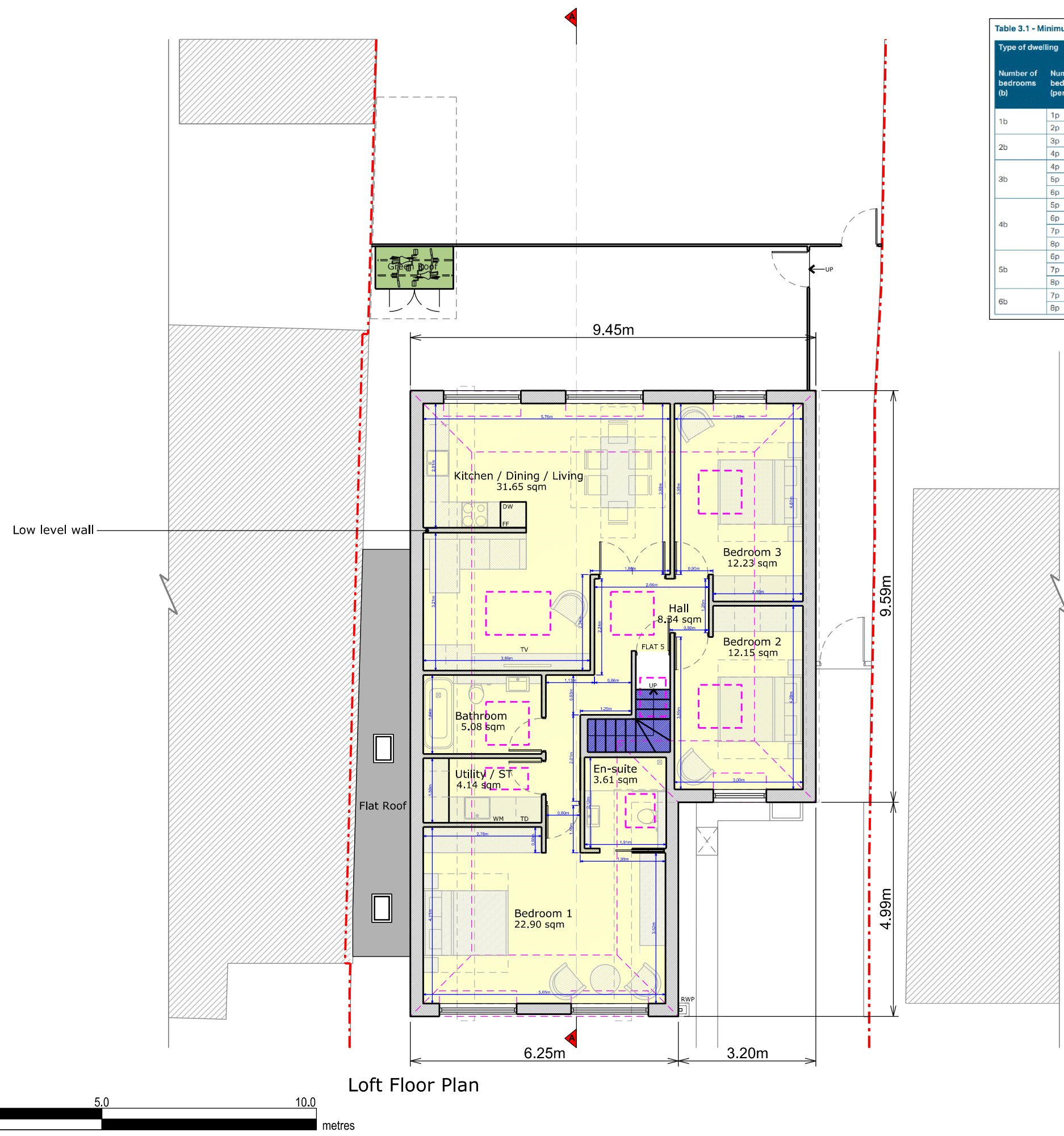


Table 3.1 - Minimum internal space standards for new dwellings*					
Type of dwelling		Minimum gross internal floor areas* and storage (square metres)			
Number of bedrooms (b)	Number of bed spaces (persons(p))	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) *	N/A	N/A	1
	2p	50	58	N/A	1.5
	3p	61	70	N/A	2
2b	4p	70	79	N/A	2
	4p	74	84	90	2.5
	5p	86	93	99	2.5
3b	6p	95	102	108	2.5
	5p	90	97	103	3
	6p	99	106	112	3
4b	7p	108	115	121	3
	8p	117	124	130	3
	6p	103	110	116	3.5
5b	7p	112	119	125	3.5
	8p	121	128	134	3.5
	7p	116	123	129	4
6b	8p	125	132	138	4

PROPOSED AREAS		
Unit	Dwelling Type	GIA
Flat 1	4 bed (existing)	119.08 sqm
Flat 2	2 bed + 3 persons	64.48 sqm
Flat 3	1 bed + 1 person	37.14 sqm
Flat 4	3 bed + 6 person	103.94 sqm



Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES

Revision

Rev	Notes	Date
-	Preliminary Issue	16/05/2023
A	Preliminary Issue	29/05/2023
B	Preliminary Issue	13/06/2023
C	Planning Issue	20/06/2023
D	Planning Issue	29/06/2023
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

- Proposed walls
- Existing walls
- Existing removed
- Proposed rooflight
- Boundary lines
- Proposed beam
- Proposed drainage
- 1.8m head height
- 1.5m head height

JOB TITLE
Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS
Planning

DRAWING TITLE
Proposed Loft Floor Plan

CLIENT
William Ormrod

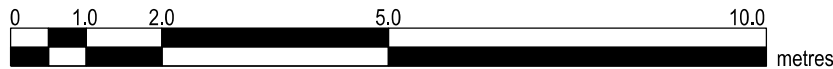
SCALE
1:100 at A3

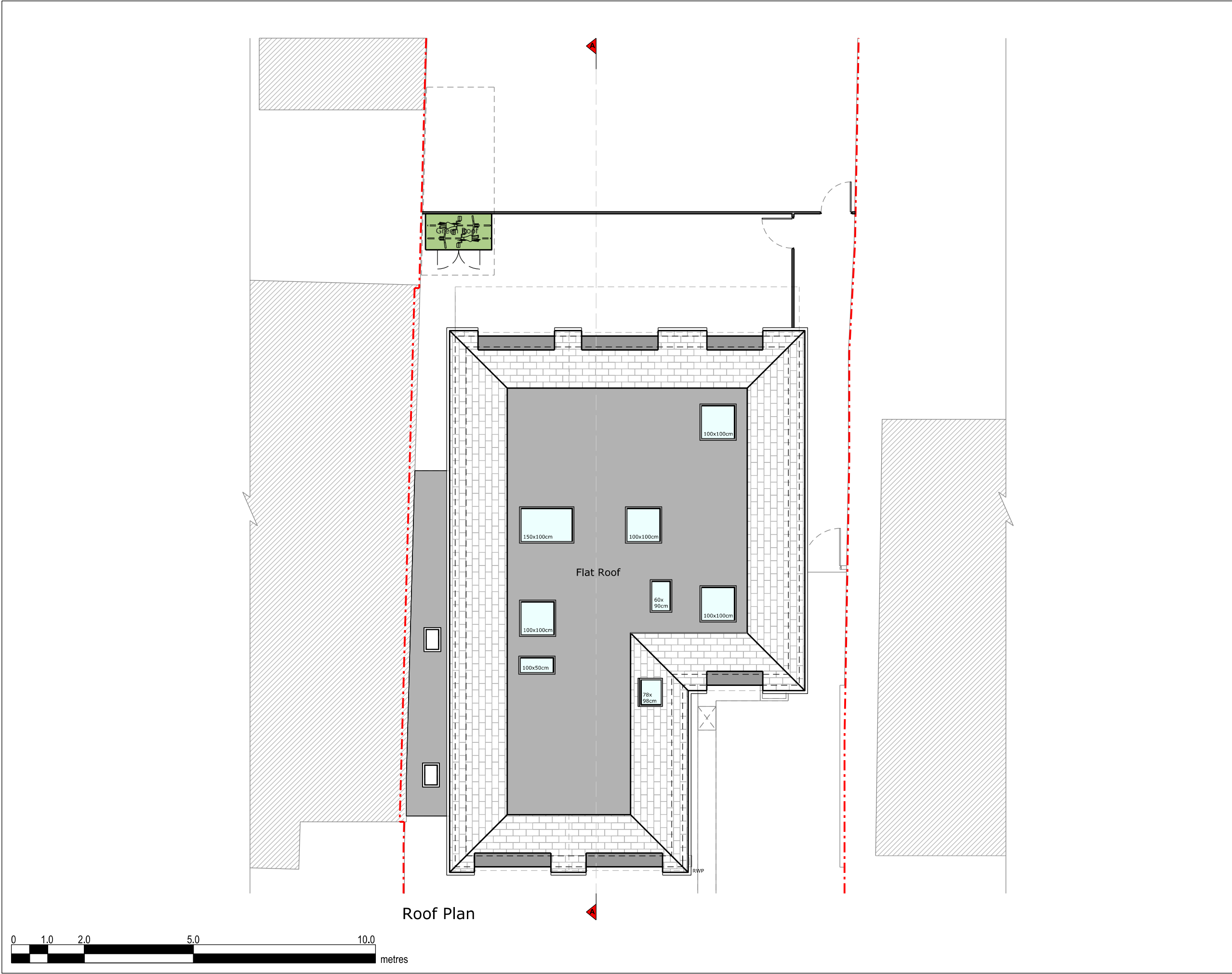
DRAWN
CDC



DATE
Aug 2023

CHECKED
NS

DRAWING NO. 65243 - 01 - 107G







Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.

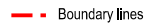
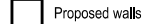


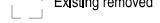
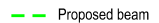



All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES

Revision		
Rev	Notes	Date
-	Preliminary Issue	09/06/2023
A	Preliminary Issue	29/05/2023
B	Preliminary Issue	13/06/2023
C	Planning Issue	20/06/2023
D	Planning Issue	29/06/2023
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

	Boundary lines
	Proposed walls
	Existing walls
	Existing removed
	Proposed rooflight
	Proposed beam
	Proposed drainage
	1.8m head height
	1.5m head height

JOB TITLE
Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS
Planning

DRAWING TITLE
Proposed Roof Plan

CLIENT
William Ormrod

SCALE 1:100 at A3	DRAWN CDC
DATE Aug 2023	CHECKED NS

DRAWING NO. 65243 - 01 - 108G

Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES

Materials:

Brickwork / Walls - Yellow brick and timber cladding

Pitched Roof - Slate tiles

Flat Roof - GRP (fibreglass)

Windows - Anthracite grey aluminium casement windows and rooflights

Doors - Anthracite grey aluminium bifolding doors and composite glazed front door

RWP / Gutters / Fascia - Black uPVC downpipes and guttering with black painted timber fascias

Revision

Rev	Notes	Date
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

	Boundary lines
	Proposed walls
	Existing walls
	Existing removed
	Proposed rooflight
	Proposed beam
	Proposed drainage
	1.8m head height
	1.5m head height

JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Proposed Elevations

CLIENT

William Ormrod

SCALE

1:100 at A3

DRAWN

CDC

DATE

Aug 2023

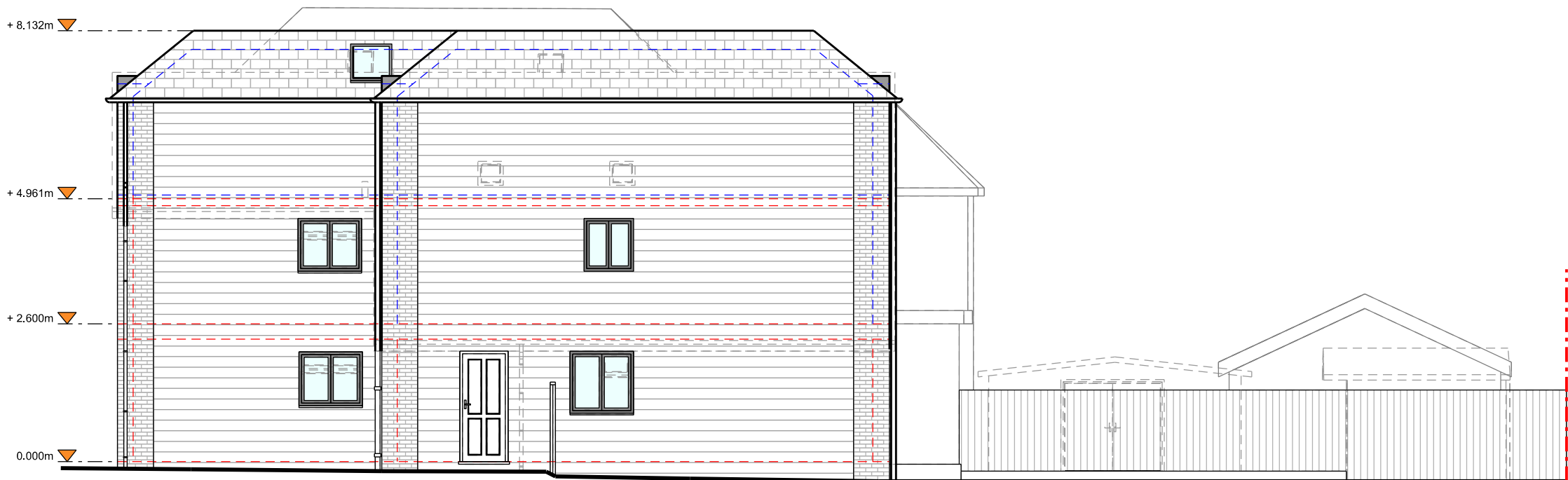
CHECKED

NS

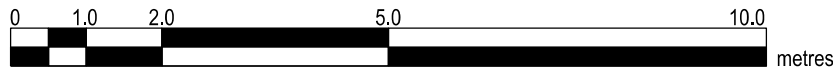
DRAWING NO. 65243 - 01 - 203G



Front Elevation

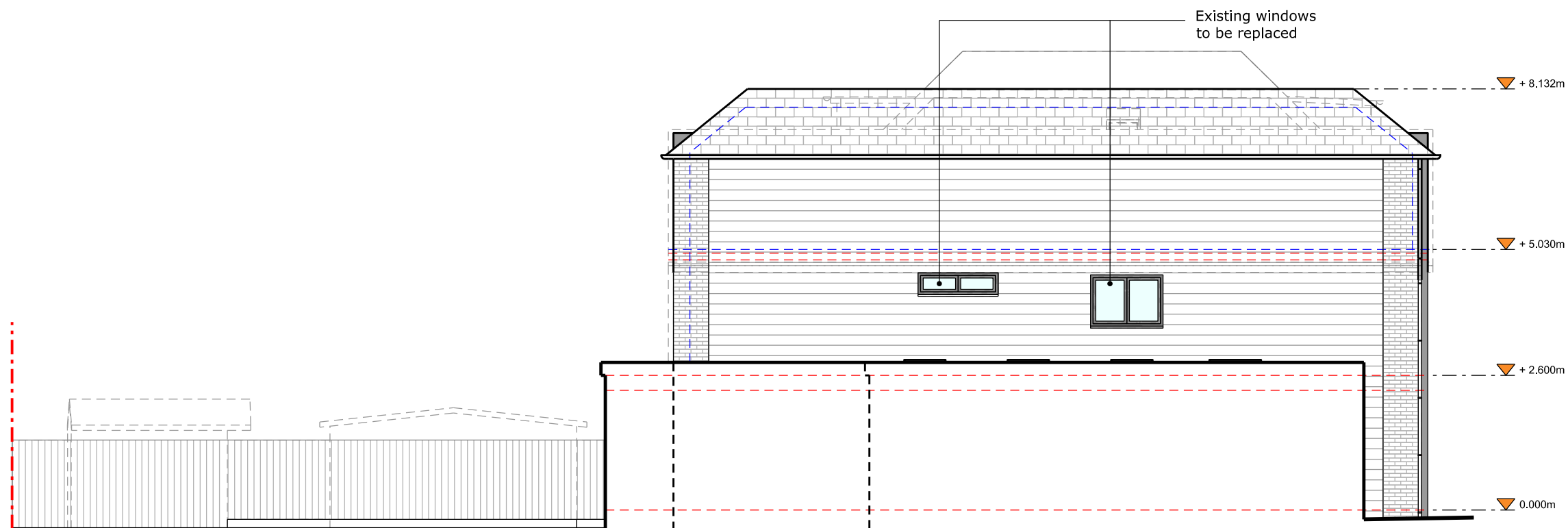


Right Side Elevation

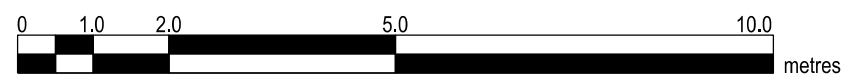




Rear Elevation



Left Side Elevation



RESI

DESIGN SQUARED
ARCHITECTS

Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.

Print to scale (as actual size)

NOTES

Materials:

Brickwork / Walls - Yellow brick and timber cladding

Pitched Roof - Slate tiles

Flat Roof - GRP (fibreglass)

Windows - Anthracite grey aluminium casement windows and rooflights

Doors - Anthracite grey aluminium bifolding doors and composite glazed front door

RWP / Gutters / Fascia - Black uPVC downpipes and guttering with black painted timber fascias

Revision

Rev	Notes	Date
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

	Proposed walls		Boundary lines
	Existing walls		Proposed beam
	Existing removed		Proposed drainage
	Proposed rooflight		1.8m head height
			1.5m head height

JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Proposed Elevations

CLIENT

William Ormrod

SCALE

1:100 at A3

DRAWN

CDC

DATE

Aug 2023

CHECKED

NS

DRAWING NO. 65243 - 01 - 204G

Copyright in design and this drawing is the property of Resi and Design Squared.

Reproduction in whole or in part is forbidden without written sanction of Resi and Design Squared.

All dimensions to be cross-checked on site prior to completing a Building Regulations package, structural engineering, the party wall process and construction.










Print to scale (as actual size)

NOTES

Revision

Rev	Notes	Date
-	Preliminary Issue	16/05/2023
A	Planning Issue	20/06/2023
B	Planning Issue	12/07/2023
C	Planning Issue	20/06/2023
D	Planning Issue	29/06/2023
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

	Proposed walls		Boundary lines
	Existing walls		Proposed beam
	Existing removed		Proposed drainage
	Proposed rooflight		1.8m head height
			1.5m head height

JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Proposed Section A - A

CLIENT

William Ormrod

SCALE

1:100 at A3

DRAWN

CZ

DATE

Aug 2023

CHECKED

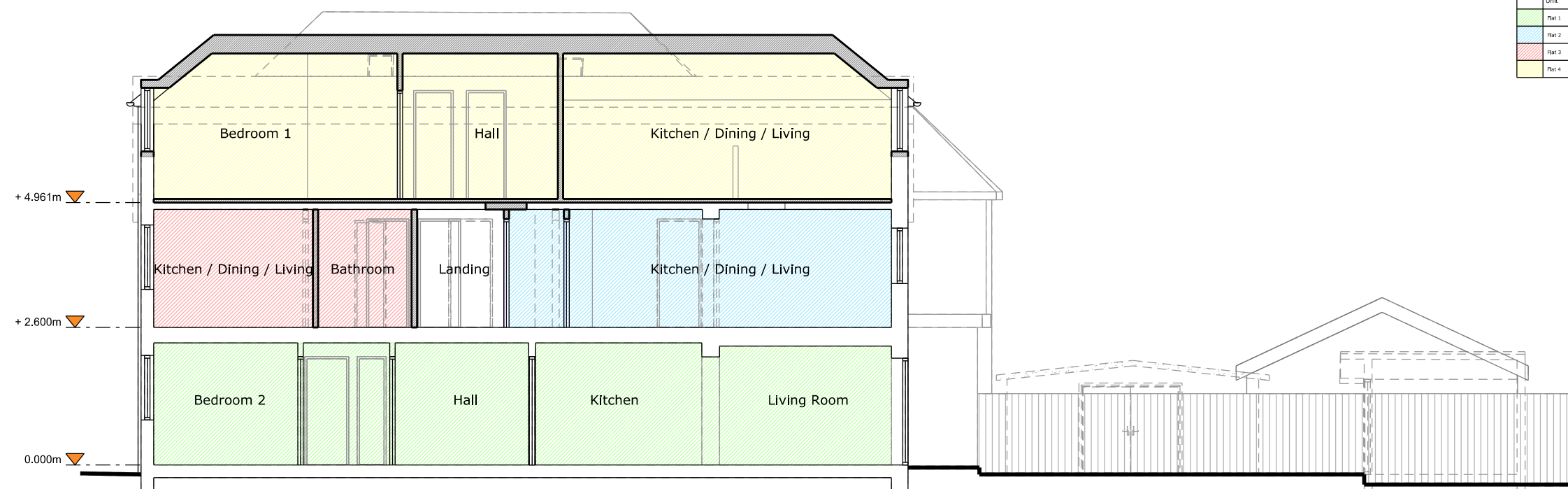
NS

DRAWING NO. 65243 - 01 - 302G

Table 3.1 - Minimum internal space standards for new dwellings*

Type of dwelling	Number of bedrooms (b)	Number of bed spaces (persons(p))	Minimum gross internal floor areas* and storage (square metres)			
			1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p		39 (37) *	N/A	N/A	1
	2p		50	58	N/A	1.5
2b	3p		61	70	N/A	2
	4p		70	79	N/A	2
3b	4p		74	84	90	2.5
	5p		86	93	99	2.5
4b	6p		95	102	108	2.5
	5p		90	97	103	3
	6p		99	106	112	3
	7p		108	115	121	3
5b	8p		117	124	130	3
	6p		103	110	116	3.5
	7p		112	119	125	3.5
	8p		121	128	134	3.5
6b	7p		116	123	129	4
	8p		125	132	138	4

PROPOSED AREAS		
Unit	Dwelling Type	GIA
Flat 1	4 bed (existing)	119.08 sqm
Flat 2	2 bed + 3 persons	64.48 sqm
Flat 3	1 bed + 1 person	37.14 sqm
Flat 4	3 bed + 6 person	103.94 sqm



Section A - A

