

EXISTING AREAS		
	Floor	GIA
	Floor 1	119.88 sqm
	Floor 2	79.83 sqm

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NOTES

Revision

Rev	Notes	Date
-	Preliminary Issue	16/05/2023
A	Preliminary Issue	29/05/2023
B	Preliminary Issue	13/06/2023
C	Planning Issue	20/06/2023
D	Planning Issue	29/06/2023
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY	
Proposed walls	Boundary lines
Existing walls	Proposed beam
Existing removed	Proposed drainage
RWP	1.8m head height
ST	1.5m head height
Bathroom	Proposed rooflight

JOB TITLE
Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS
Planning

DRAWING TITLE
Existing Ground Floor Plan

CLIENT
William Ormrod

SCALE
1:100 at A3

DATE
Aug 2023

DRAWING NO. 65243 - 01 - 101G



EXISTING AREAS		
Floor	GIA	
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Floor 2	79.83 sqm	

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KEY	
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Proposed rooflight	1.8m head height
	1.5m head height

JOB TITLE
Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS
Planning

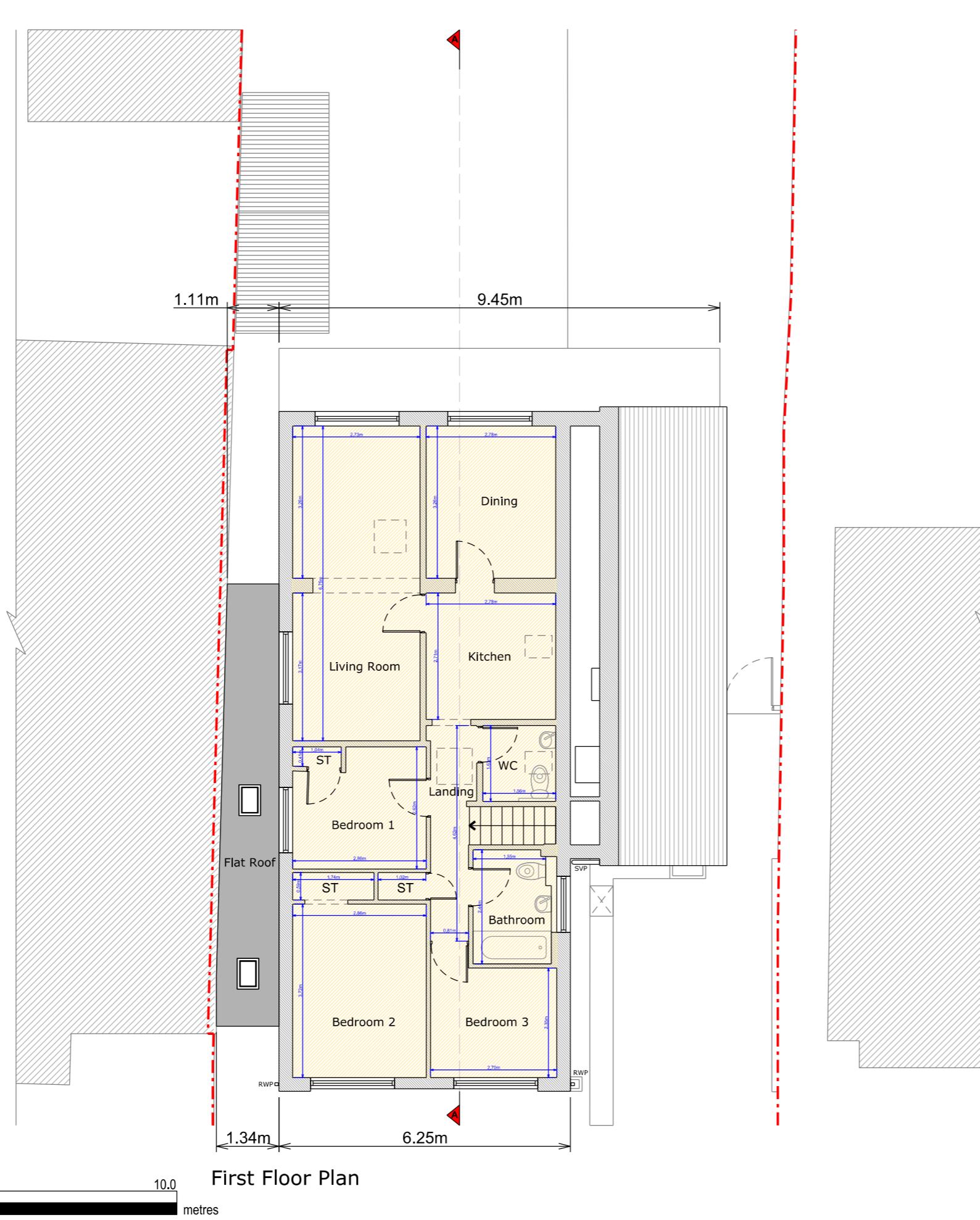
DRAWING TITLE
Existing First Floor Plan

CLIENT
William Ormrod

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1:100 at A3

DATE
Aug 2023

DRAWING NO. 65243 - 01 - 102G



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KEY	
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Existing walls	Proposed beam
Existing removed	Proposed drainage
Proposed rooflight	1.8m head height
	1.5m head height

JOB TITLE
Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS
Planning

DRAWING TITLE
Existing Loft Floor Plan

CLIENT
William Ormrod

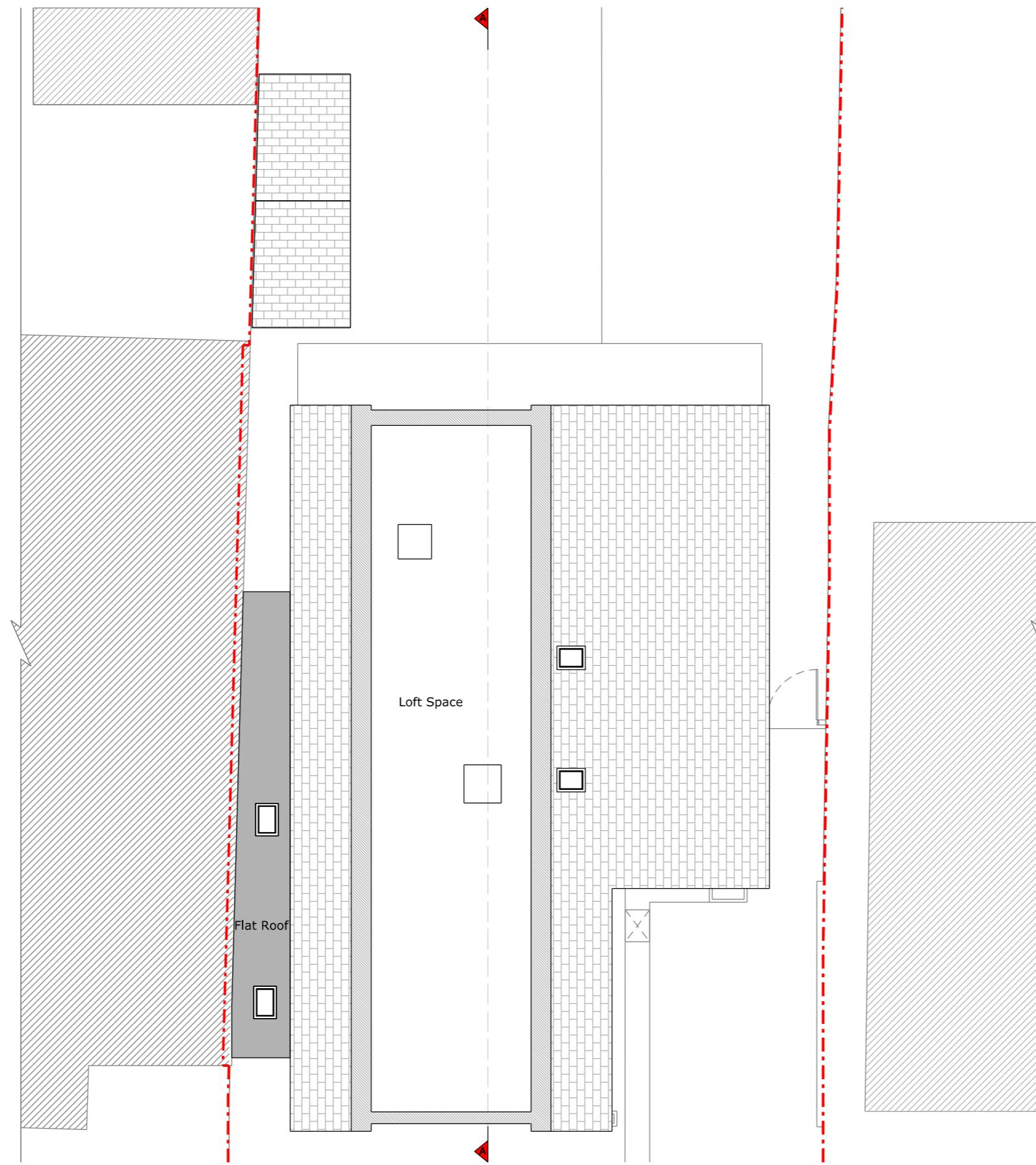
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HD

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Aug 2023

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DRAWING NO. 65243 - 01 - 103G



0 1.0 2.0 5.0 10.0 metres

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KEY	
	Boundary lines
	Proposed walls
	Existing walls
	Existing removed
	Proposed rooflight
	Proposed beam
	Proposed drainage
	1.8m head height
	1.5m head height

JOB TITLE
Proposed airspace development, extension to the trade alternative to residential design and 50% tinted Approach 48 & 50 Section Approach, HA4 6RZ

STATUS
Planning

DRAWING TITLE
Existing Roof Plan

CLIENT
William Ormrod

SCALE
1:100 at A3

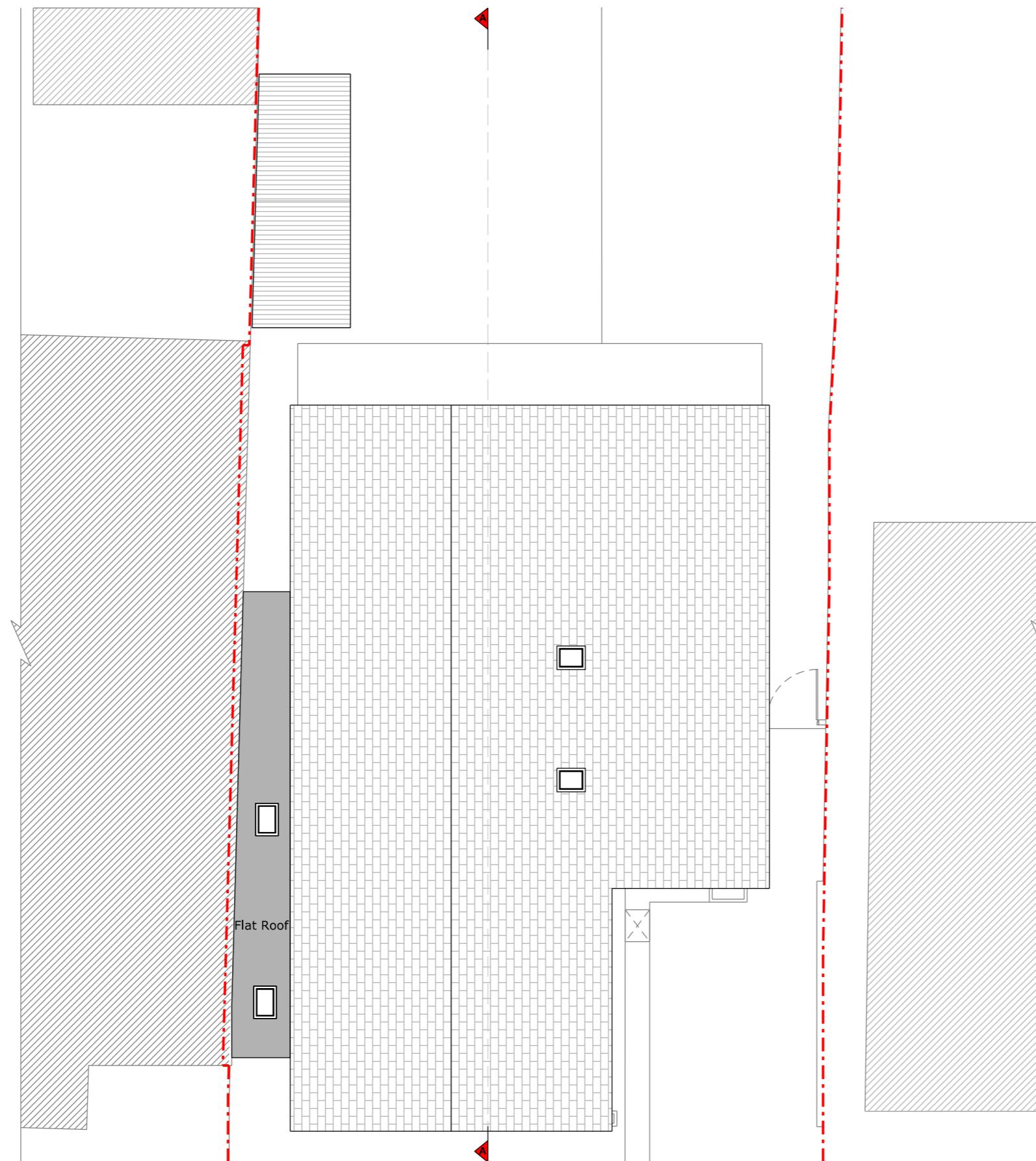
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Aug 2023

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DRAWING NO. 65243 - 01 - 104G



Roof Plan



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Print to scale (as actual size)

NOTES

Materials:

Brickwork / Walls - White painted render and timber cladding and yellow brick

Pitched Roof - Concrete tiles

Windows & Doors - White uPVC windows

RWP / Gutters / Fascia - White uPVC downpipes and guttering with white painted timber fascias

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—	Proposed beam
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—	Proposed drainage
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—	1.5m head height

JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Existing Elevations

CLIENT

William Ormrod

SCALE

1:100 at A3

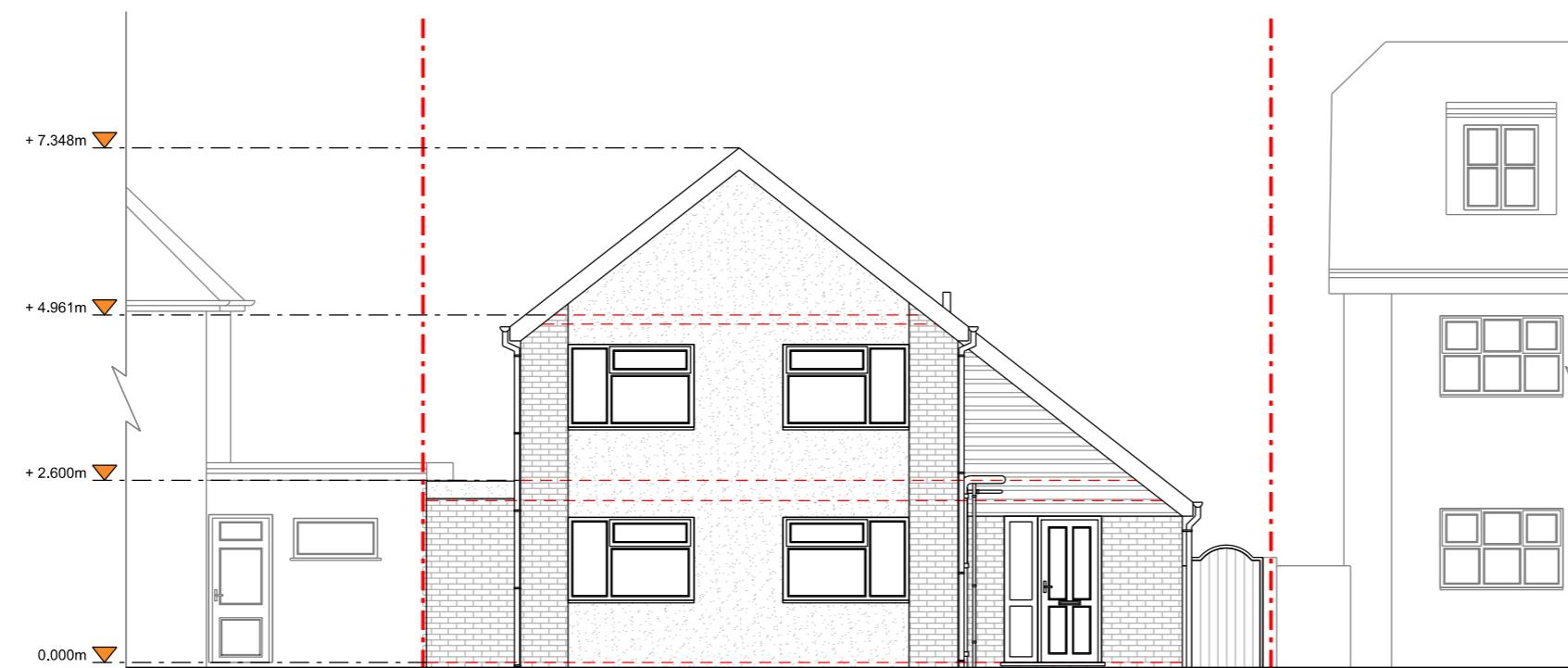
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HD

DATE

Aug 2023

CHECKED
NS

DRAWING NO. 65243 - 01 - 201G



Front Elevation



Right Side Elevation

0 1.0 2.0 5.0 10.0 metres

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KEY

—	Boundary lines
—	Proposed beam
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—	Proposed drainage
—	Existing removed
—	1.8m head height
—	Proposed rooflight
—	1.5m head height

JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Existing Elevations

CLIENT

William Ormrod

SCALE

1:100 at A3

DRAWN
HD

DATE

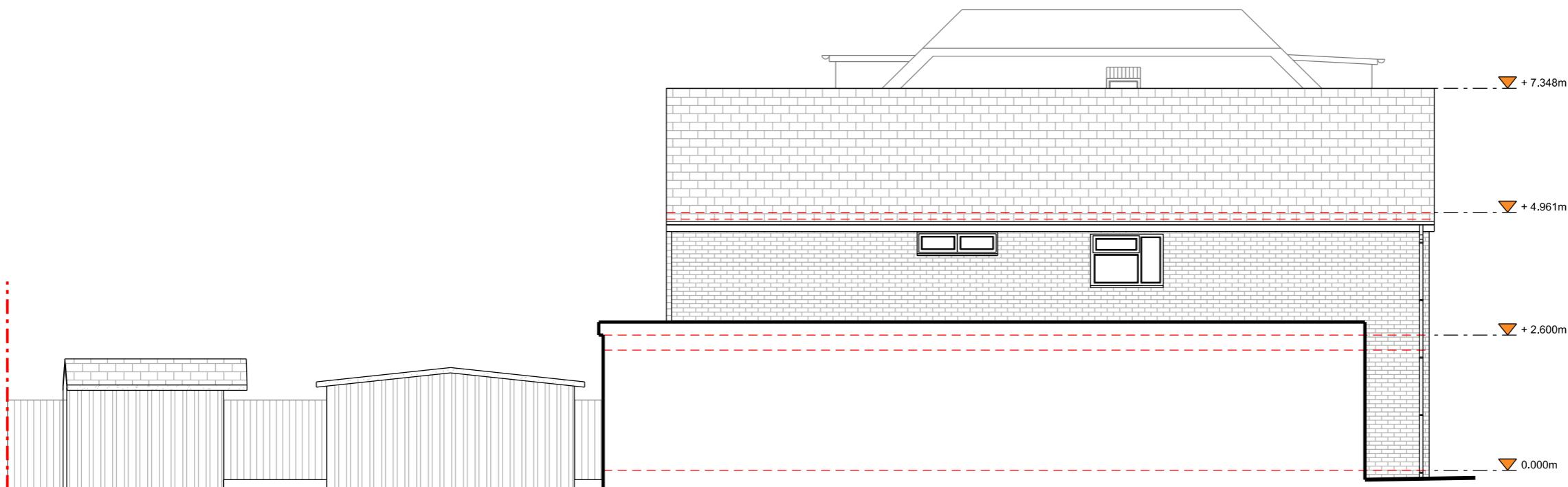
Aug 2023

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DRAWING NO. 65243 - 01 - 202G



Rear Elevation



Left Side Elevation

0 1.0 2.0 5.0 10.0 metres

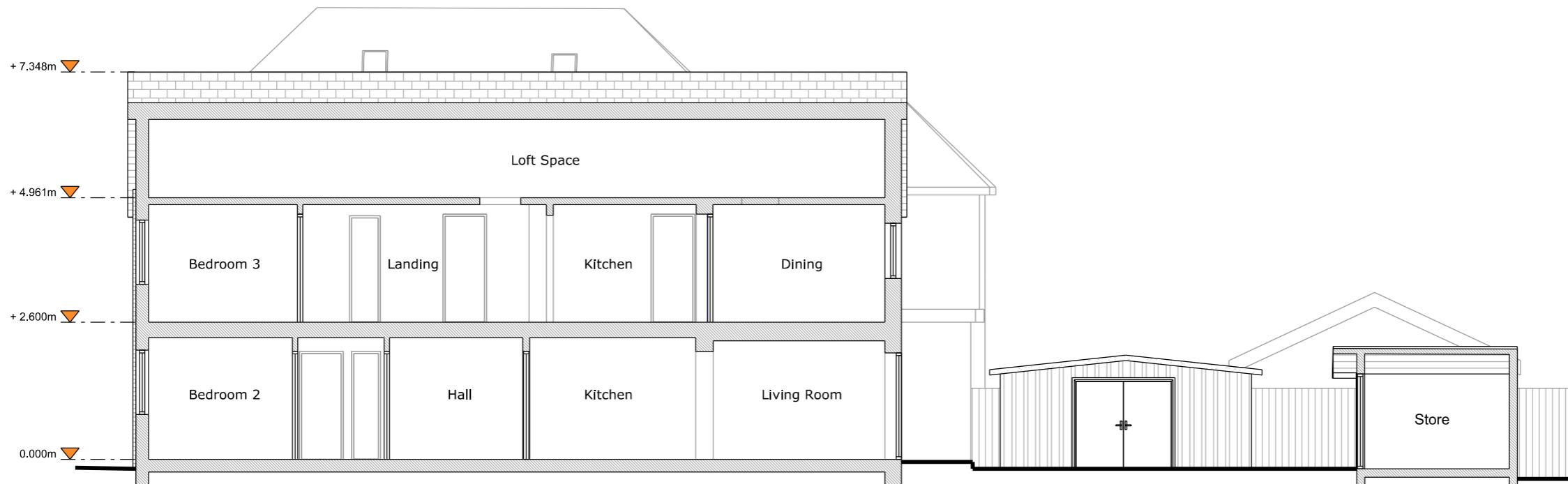
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G	Planning Issue	09/08/2023

KEY

Proposed walls	Boundary lines
Existing walls	Proposed beam
Existing removed	Proposed drainage
	1.8m head height
	Proposed rooflight
	1.5m head height

JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Existing Section A - A

CLIENT

William Ormrod

SCALE

1:100 at A3

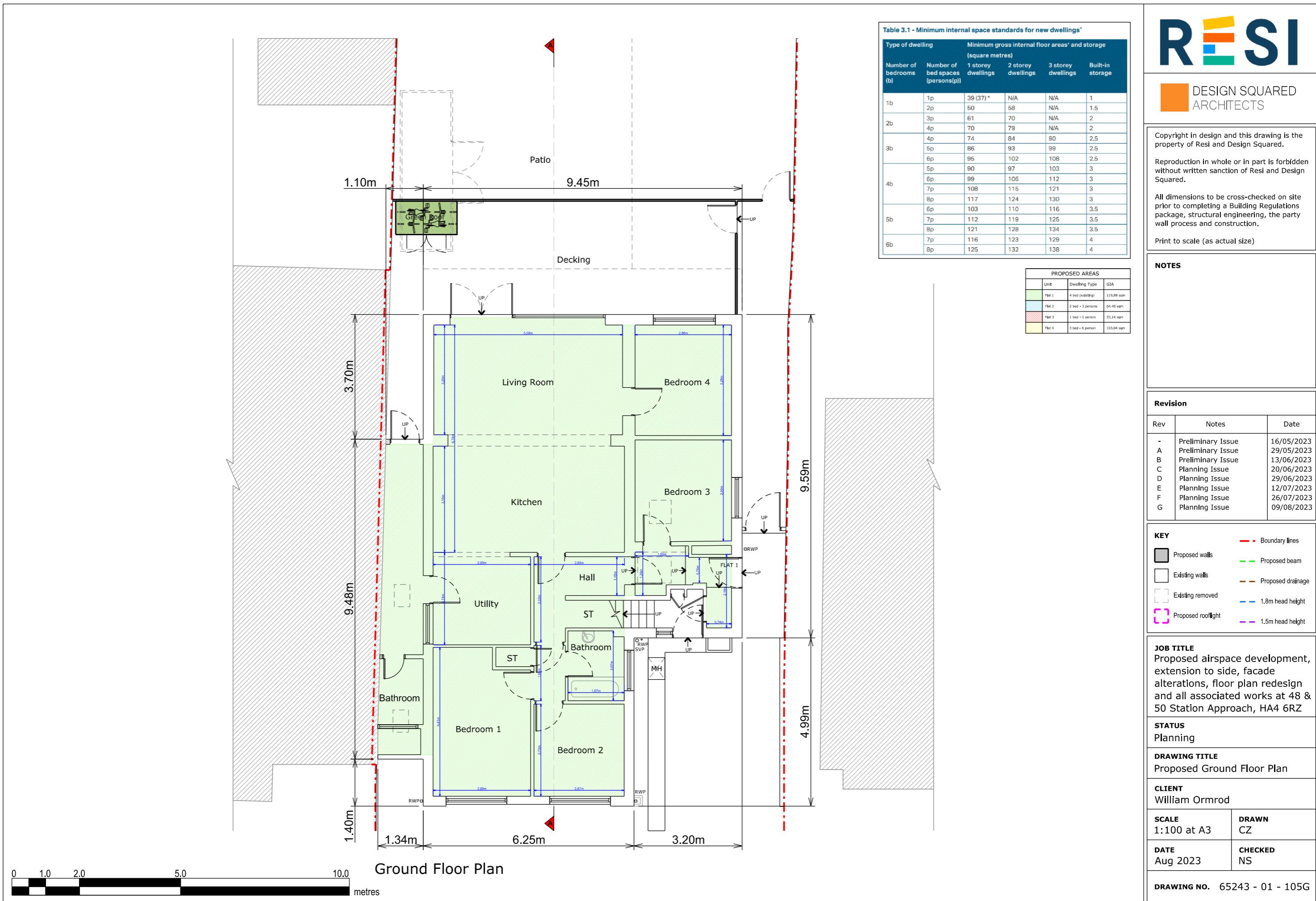
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Table 3.1 - Minimum internal space standards for new dwellings*

Type of dwelling	Minimum gross internal floor areas* and storage (square metres)				
Number of bedrooms (b)	Number of bed spaces (persons(p))	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) *	N/A	N/A	1
	2p	50	58	N/A	1.5
2b	3p	61	70	N/A	2
	4p	70	79	N/A	2
3b	4p	74	84	90	2.5
	5p	86	93	99	2.5
4b	6p	95	102	108	2.5
	5p	90	97	103	3
5b	6p	99	106	112	3
	7p	108	115	121	3
6b	8p	117	124	130	3
	6p	103	110	116	3.5
7p	7p	112	119	125	3.5
	8p	121	128	134	3.5
8p	7p	116	123	129	4
	8p	125	132	138	4

PROPOSED AREAS		
Unit	Dwelling Type	GIA
Flat 1	4 bed (existing)	119.88 sqm
Flat 2	2 bed + 3 persons	64.48 sqm
Flat 3	1 bed + 1 person	37.14 sqm
Flat 4	3 bed + 6 person	133.94 sqm

NOTES

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G	Planning Issue	09/08/2023

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Proposed walls	Boundary lines
Existing walls	Proposed beam
Existing removed	Proposed drainage
Proposed rooflight	1.8m head height
	1.5m head height

JOB TITLE
Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS
Planning

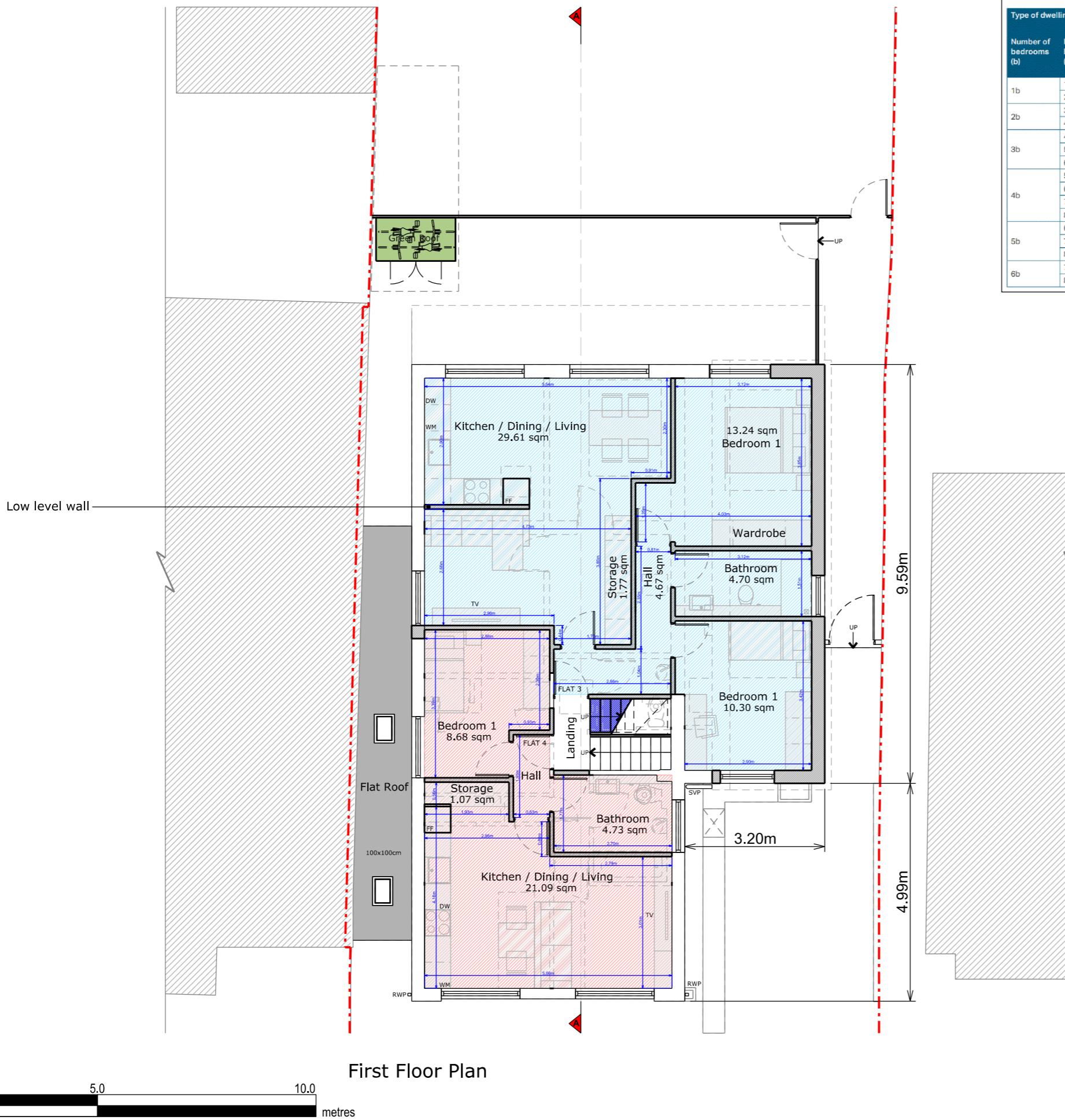
DRAWING TITLE
Proposed First Floor Plan

CLIENT
William Ormrod

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DATE
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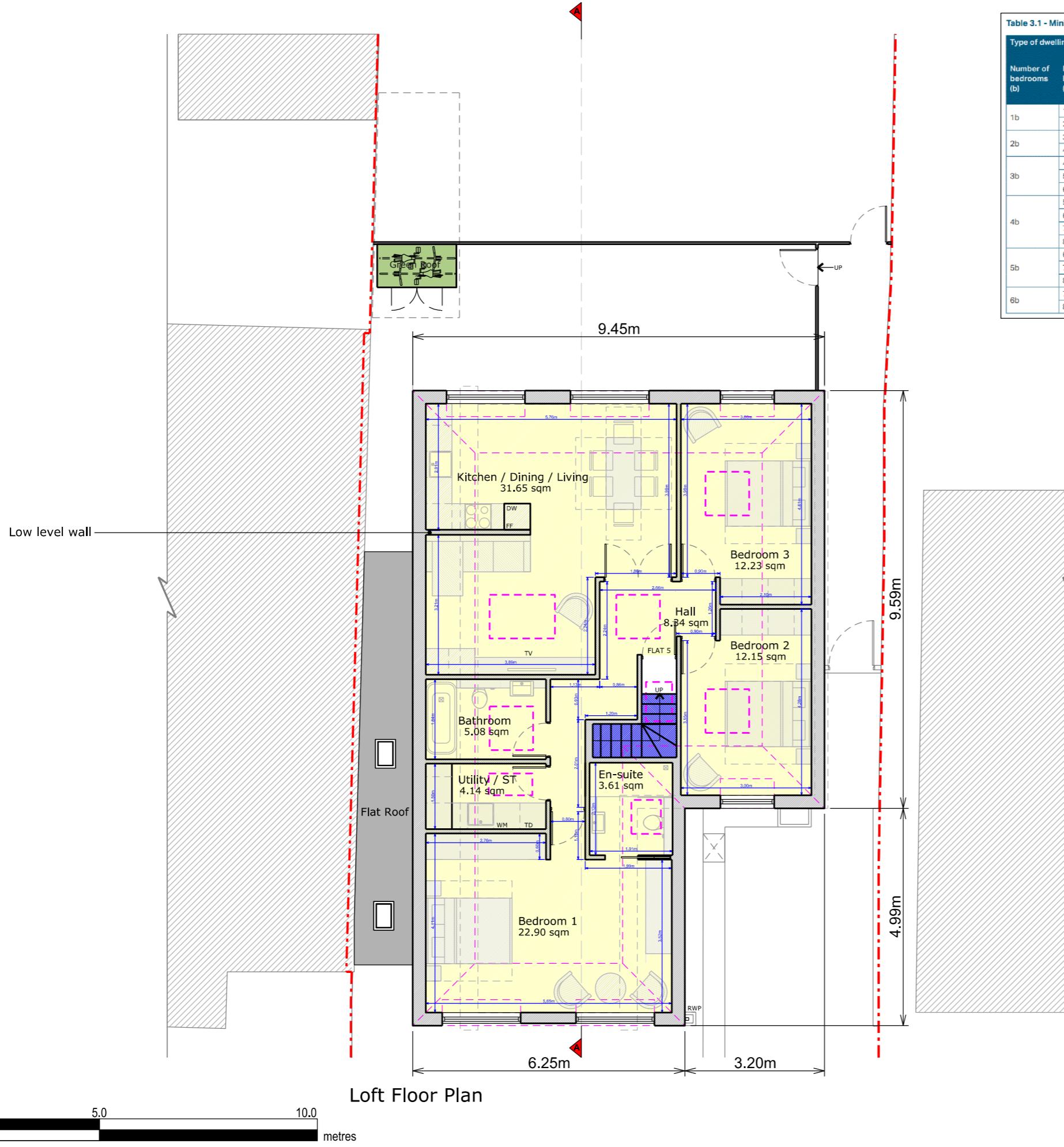
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Type of dwelling		Minimum gross internal floor areas* and storage (square metres)			
Number of bedrooms (b)	Number of bed spaces (persons(p))	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) *	N/A	N/A	1
	2p	50	58	N/A	1.5
2b	3p	61	70	N/A	2
	4p	70	79	N/A	2
3b	4p	74	84	90	2.5
	5p	86	93	99	2.5
4b	6p	95	102	108	2.5
	5p	90	97	103	3
5b	6p	99	106	112	3
	7p	108	115	121	3
6b	8p	117	124	130	3
	6p	103	110	116	3.5
7p	7p	112	119	125	3.5
	8p	121	128	134	3.5
8p	7p	116	123	129	4
	8p	125	132	138	4

PROPOSED AREAS		
Unit	Dwelling Type	GIA
Flat 1	4 bed (existing)	119.88 sqm
Flat 2	2 bed + 3 persons	64.48 sqm
Flat 3	1 bed + 1 person	37.14 sqm
Flat 4	3 bed + 6 person	133.94 sqm



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KEY

Proposed walls	Boundary lines
Existing walls	Proposed beam
Existing removed	Existing walls
Proposed drainage	Proposed drainage
Existing drainage	Existing removed
1.8m head height	Existing drainage
Proposed rooflight	Proposed drainage
1.5m head height	Proposed rooflight

JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Proposed Loft Floor Plan

CLIENT

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KEY	
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—	Proposed beam
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—	Existing removed
—	1.8m head height
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—	1.5m head height

JOB TITLE
Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS
Planning

DRAWING TITLE
Proposed Roof Plan

CLIENT
William Ormrod

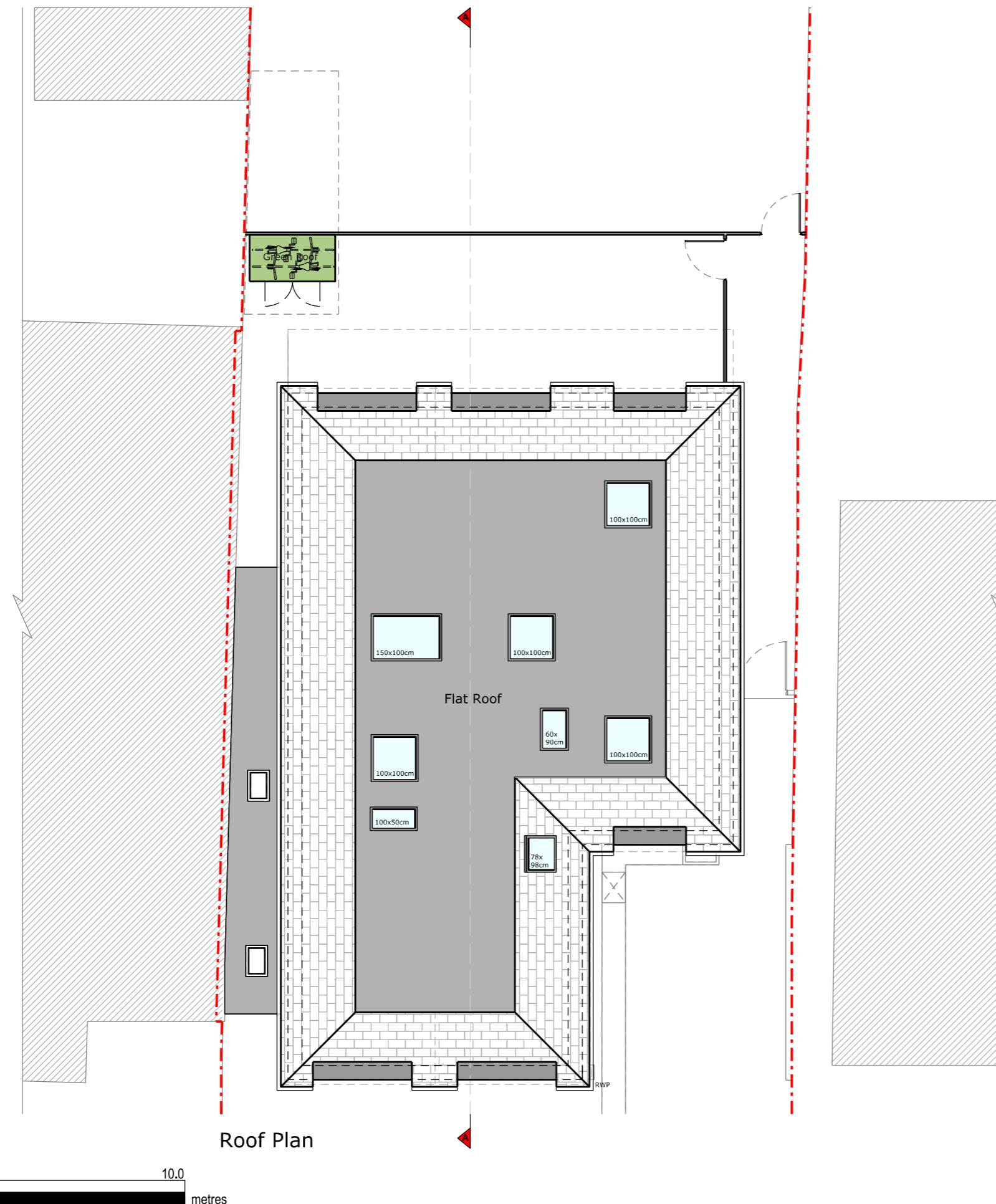
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Print to scale (as actual size)

NOTES

Materials:

Brickwork / Walls - Yellow brick and timber cladding

Pitched Roof - Slate tiles

Flat Roof - GRP (fibreglass)

Windows - Anthracite grey aluminium casement windows and rooflights

Doors - Anthracite grey aluminium bifolding doors and composite glazed front door

RWP / Gutters / Fascia - Black uPVC downpipes and guttering with black painted timber fascias

Revision

Rev	Notes	Date
E	Planning Issue	12/07/2023
F	Planning Issue	26/07/2023
G	Planning Issue	09/08/2023

KEY

— Boundary lines	
— Proposed walls	
— Existing walls	
— Existing removed	
— Proposed beam	
— Proposed drainage	
— 1.8m head height	
— Proposed rooflight	
— 1.5m head height	

JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Proposed Elevations

CLIENT

William Ormrod

SCALE

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DATE

Aug 2023

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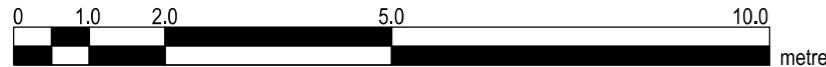
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Front Elevation



Right Side Elevation



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G	Planning Issue	09/08/2023

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—	Boundary lines
□	Proposed walls
□	Existing walls
□	Existing removed
□	Proposed rooflight
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—	Proposed drainage
—	1.8m head height
—	1.5m head height

JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Proposed Elevation

CLIENT

William Ormrod

SCALE

1:100 at A3

DATE

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DRAWN

CDC

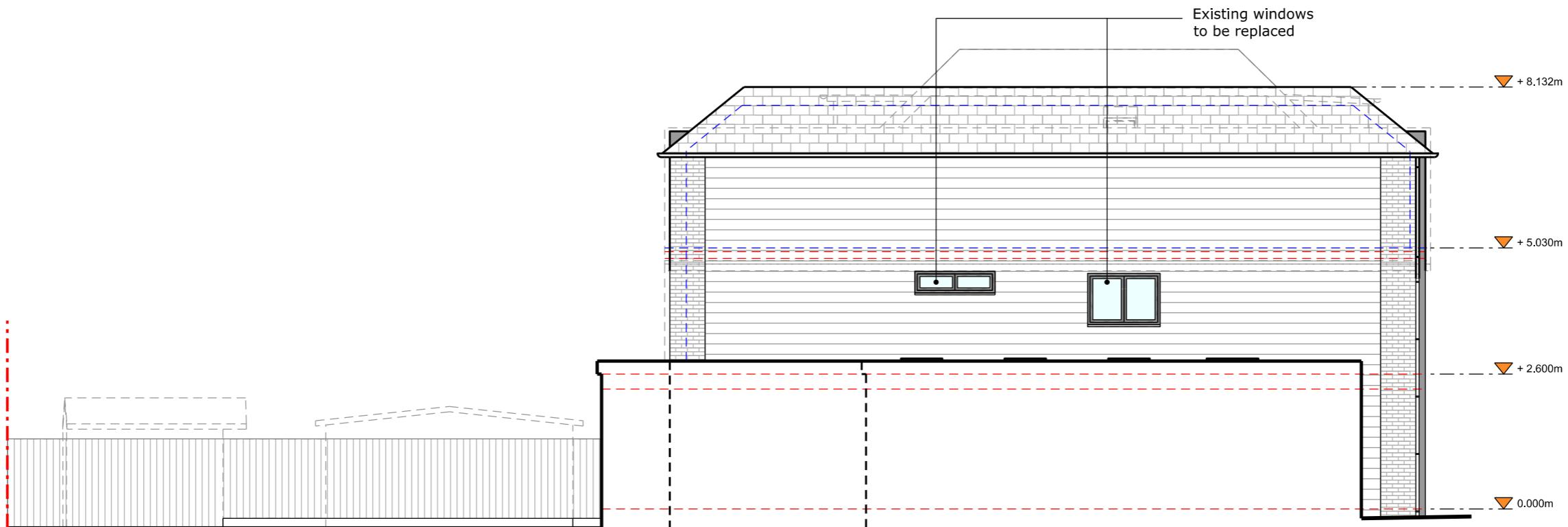
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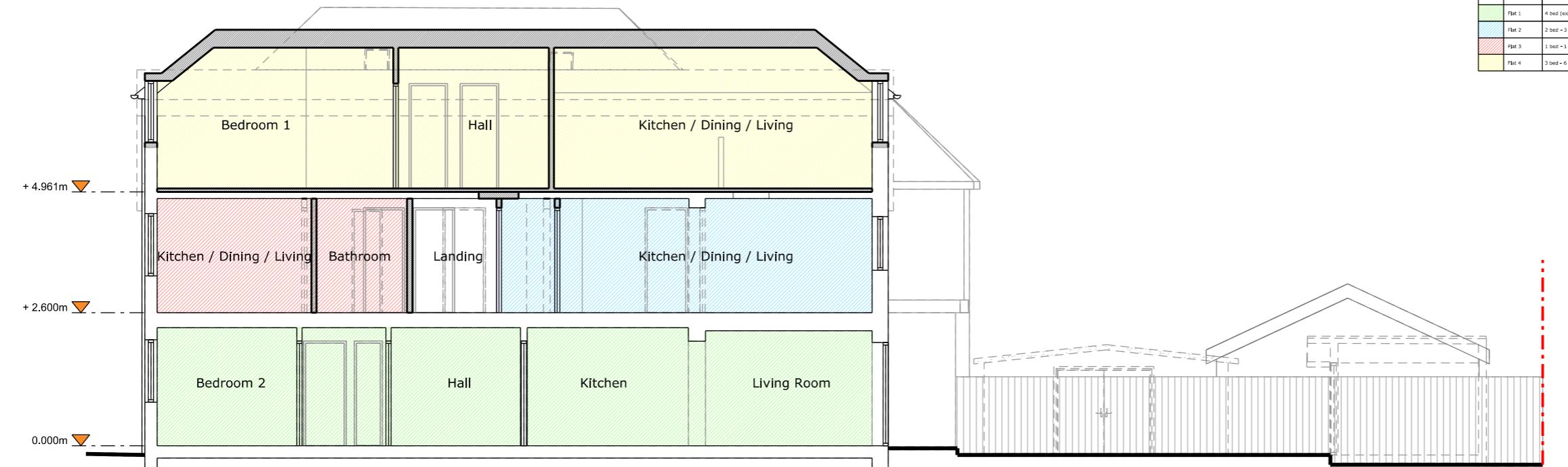


Rear Elevation



Left Side Elevation

0 1.0 2.0 5.0 10.0 metres



Section A - A

Type of dwelling		Minimum gross internal floor areas* and storage (square metres)			
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3b	4p	74	84	90	2.5
	5p	86	93	99	2.5
4b	6p	95	102	108	2.5
	5p	90	97	103	3
5b	6p	99	106	112	3
	7p	108	115	121	3
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JOB TITLE

Proposed airspace development, extension to side, facade alterations, floor plan redesign and all associated works at 48 & 50 Station Approach, HA4 6RZ

STATUS

Planning

DRAWING TITLE

Proposed Section A - A

CLIENT

William Ormrod

SCALE

1:100 at A3

DRAWN CZ

DATE

Aug 2023

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DRAWING NO. 65243 - 01 - 302G

