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SETTING OUT TO BE AGREED ON SITE BETWEEN CLIENT AND CONTRACTOR.

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SEQUENCE OF WORK TO BE AGREED WITH THE CLIENT.

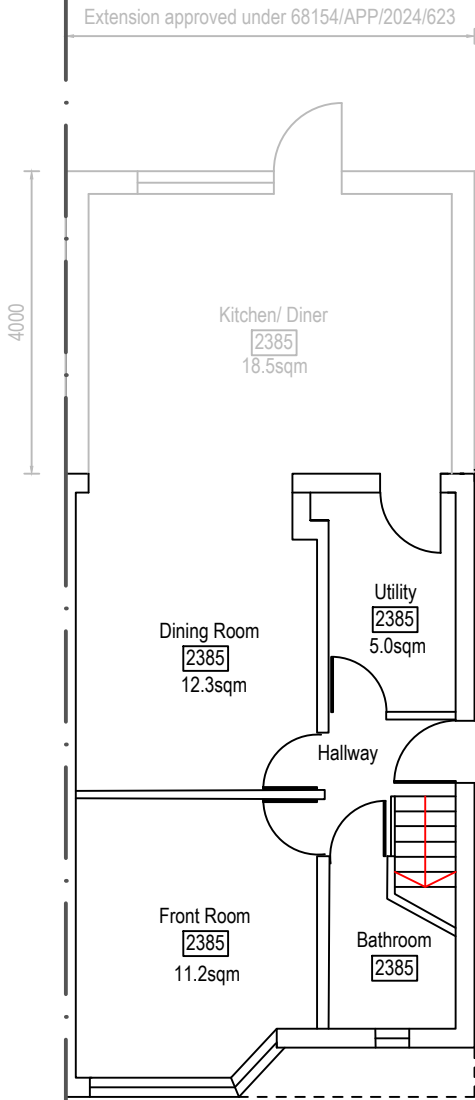
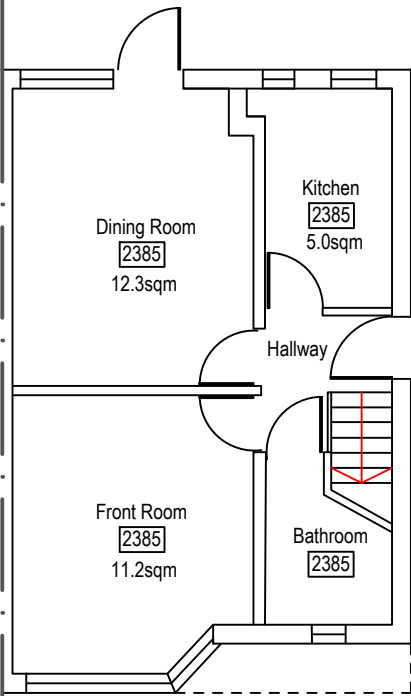
PARTY WALL NOTICES TO BE SERVED AND AGREEMENTS REACHED WITH ADJOINING NEIGHBOURS BEFORE ANY WORK COMMENCES ON SITE.

SCALING FOR PLANNING PURPOSES ONLY.

WORK TO BE CARRIED OUT IN ACCORDANCE WITH BYE-LAWS AND REGULATIONS OF LOCAL AUTHORITIES AND STATUTORY UNDERTAKERS.

PRINT PDF OF THE DWG IN ACTUAL SIZE.

REV:	DESCRIPTION:	BY:	DATE:
STATUS:			
CLIENT:	Mr Umair Iqbal 14 Hyde Way Hayes UB3 4PA		
DRAWN BY:			
SITE:	14 Hyde Way UB3 4PA		
TITLE:	Location Plan		
SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:1250	20.05.24		
PROJECT NO:	DRAWING NO:	REVISION:	
0301	0301-001	P1	



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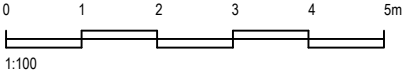
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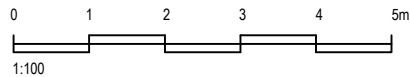
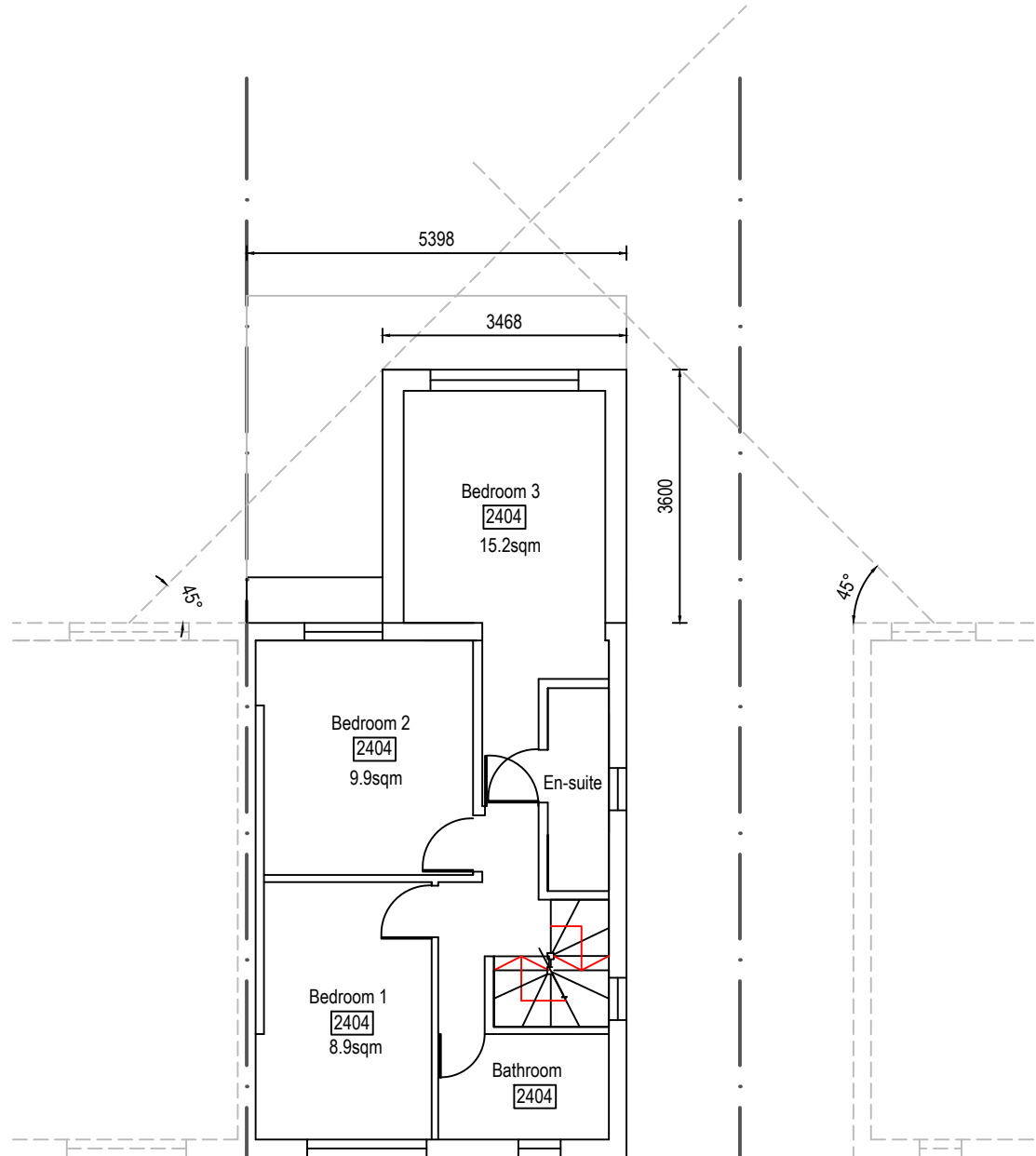
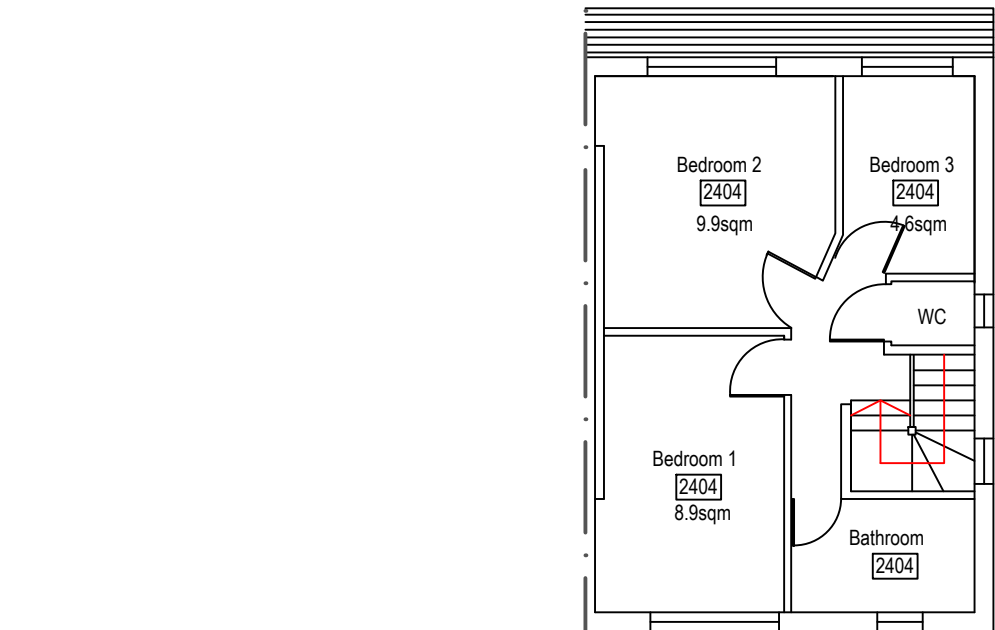
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REV:	DESCRIPTION:	BY:	DATE:
STATUS:			
CLIENT: Mr Umair Iqbal 14 Hyde Way Hayes UB3 4PA			
DRAWN BY:			
SITE: 14 Hyde Way UB3 4PA			
TITLE: Existing and proposed ground floor plans			
SCALE AT A3: 1:100	DATE: 20.05.24	DRAWN:	CHECKED:
PROJECT NO: 0301	DRAWING NO: 0301-100	REVISION: P1	





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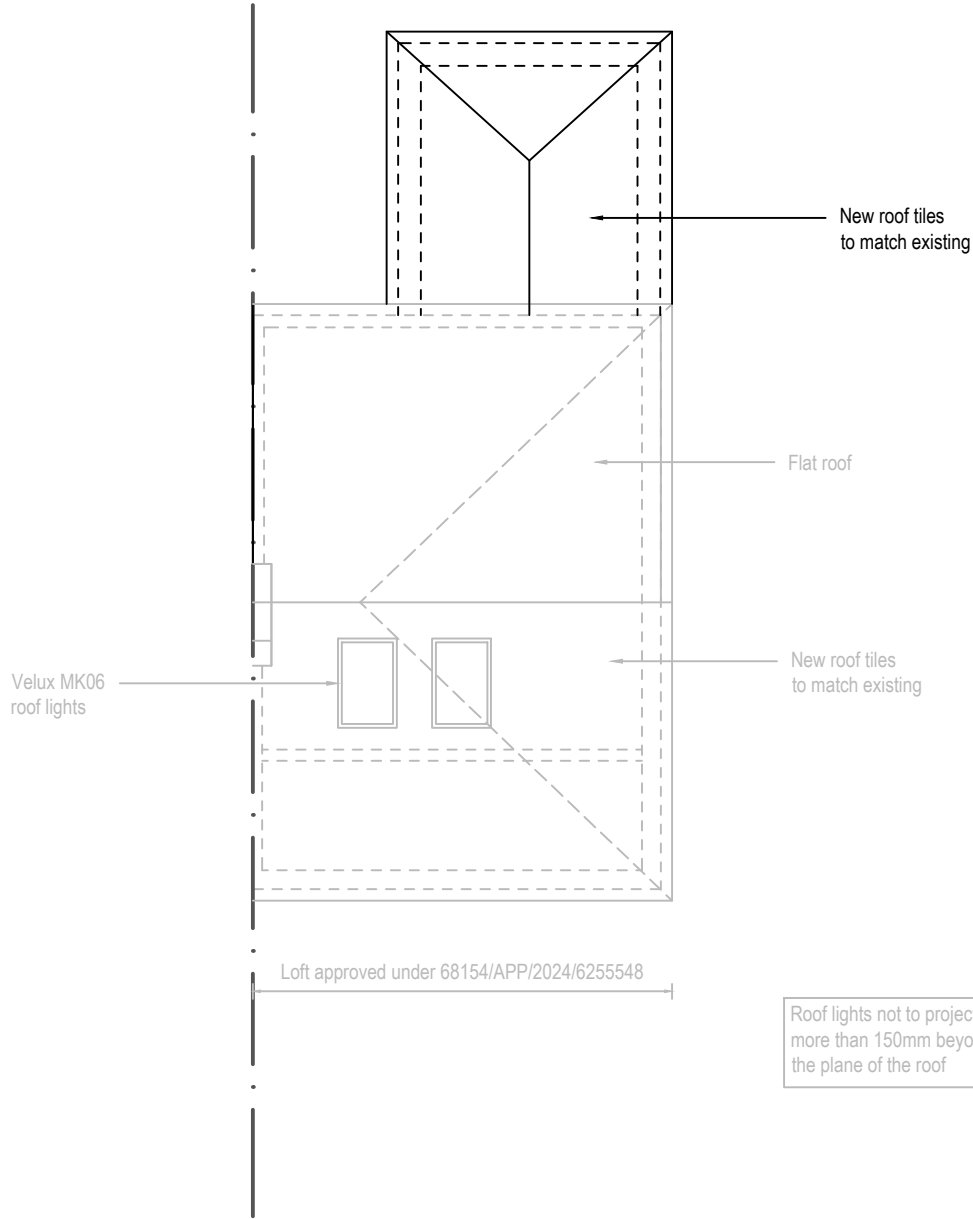
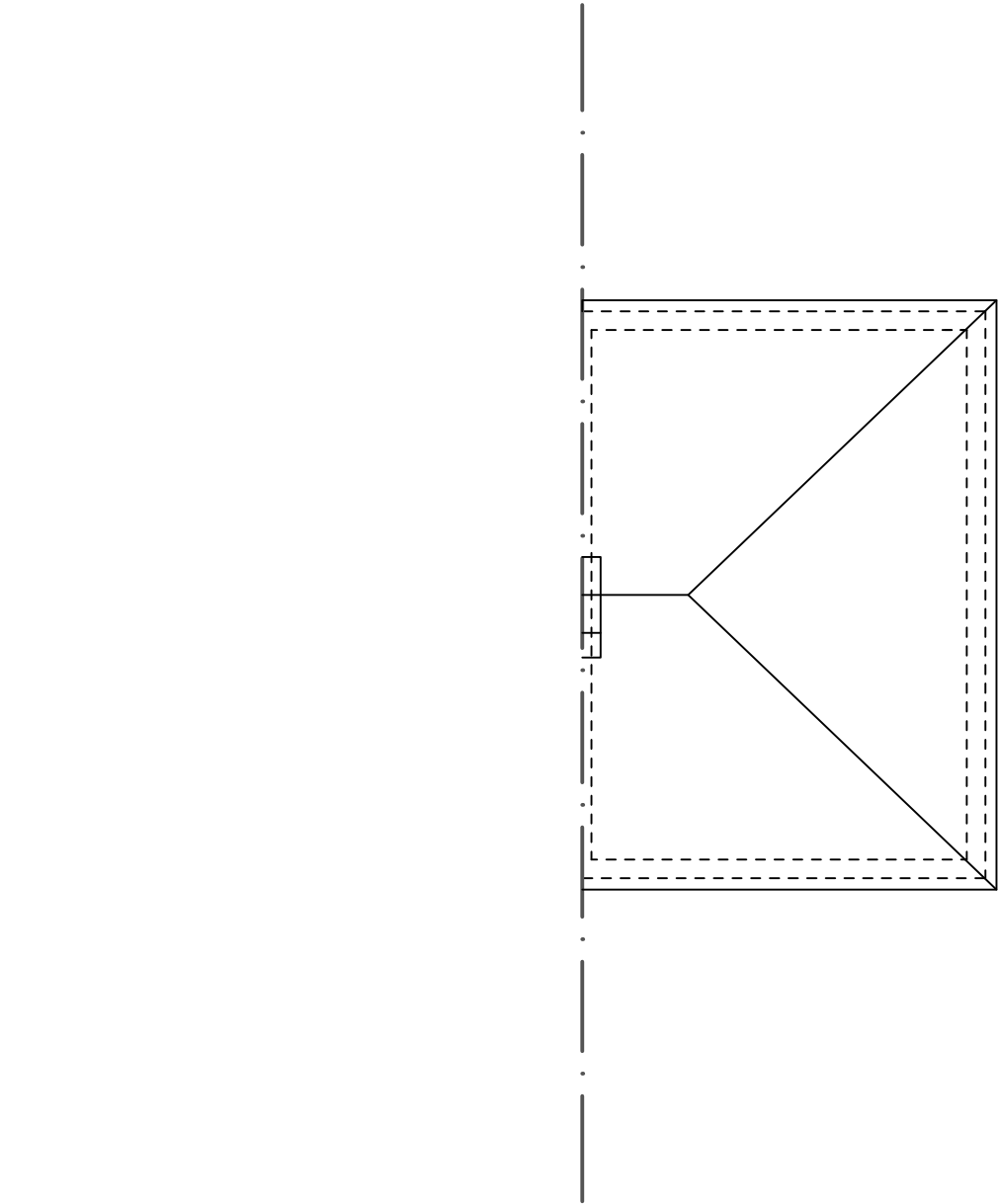
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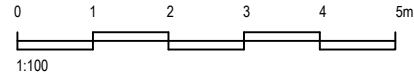
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STATUS:			
CLIENT: Mr Umair Iqbal 14 Hyde Way Hayes UB3 4PA			
DRAWN BY:			
SITE: 14 Hyde Way UB3 4PA			
TITLE: Existing and proposed first floor plans			
SCALE AT A3: 1:100	DATE: 20.05.24	DRAWN:	CHECKED:
PROJECT NO: 0301	DRAWING NO: 0301-110	REVISION: P1	



Roof lights not to project more than 150mm beyond the plane of the roof



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STATUS:			
CLIENT: Mr Umair Iqbal 14 Hyde Way Hayes UB3 4PA			
DRAWN BY:			
SITE: 14 Hyde Way UB3 4PA			
TITLE: Existing and proposed roof plans			
SCALE AT A3: 1:100	DATE: 20.05.24	DRAWN:	CHECKED:
PROJECT NO: 0301	DRAWING NO: 0301-130	REVISION: P1	

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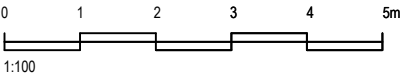
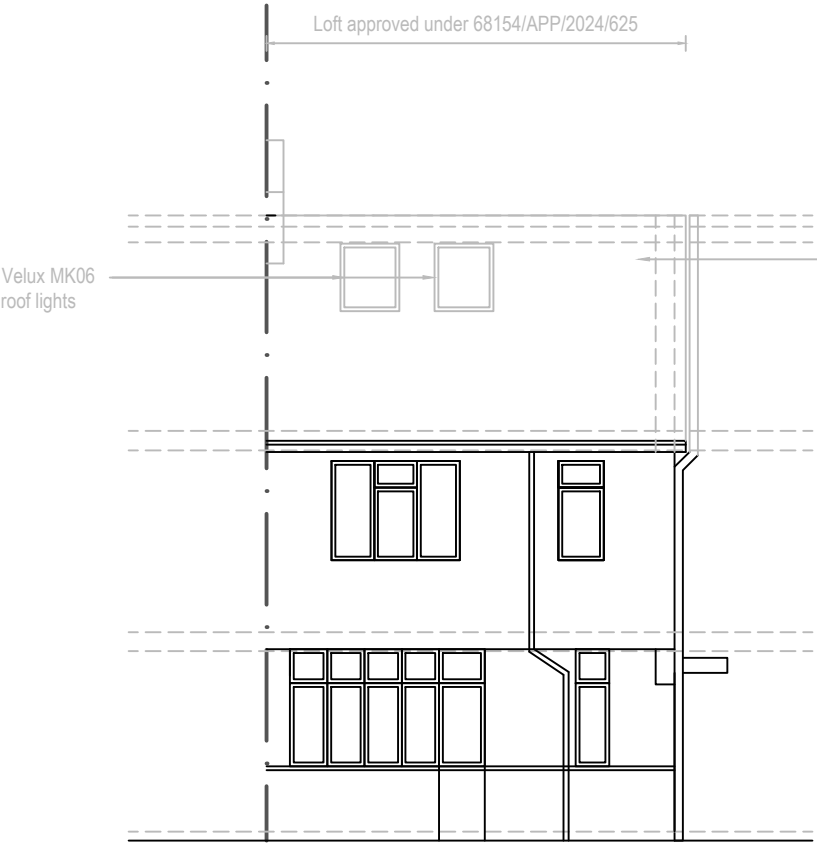
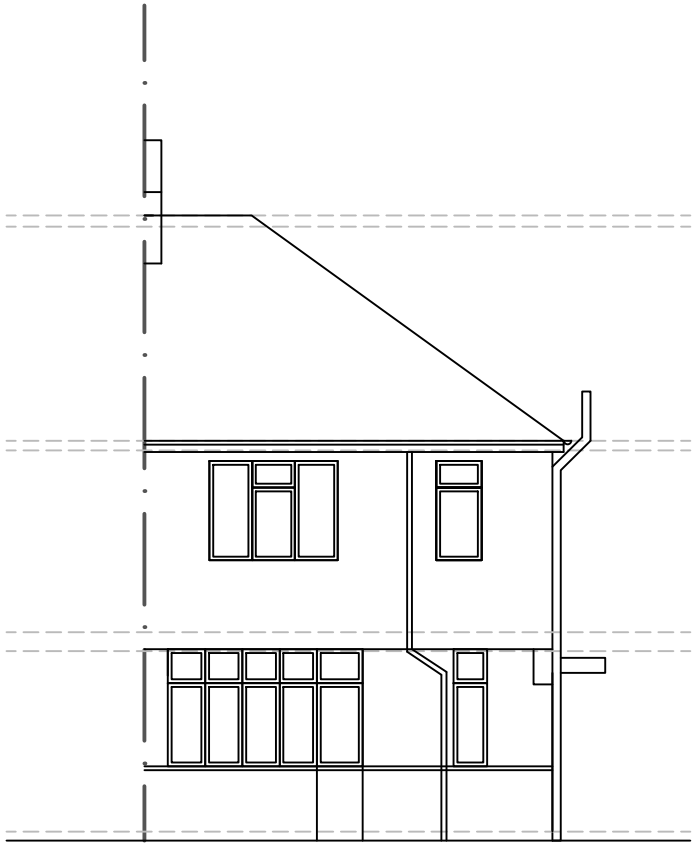
PRINT PDF OF THE DWG IN ACTUAL SIZE.

Roof lights not to project more than 150mm beyond the plane of the roof

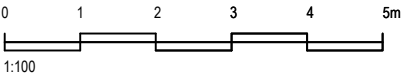
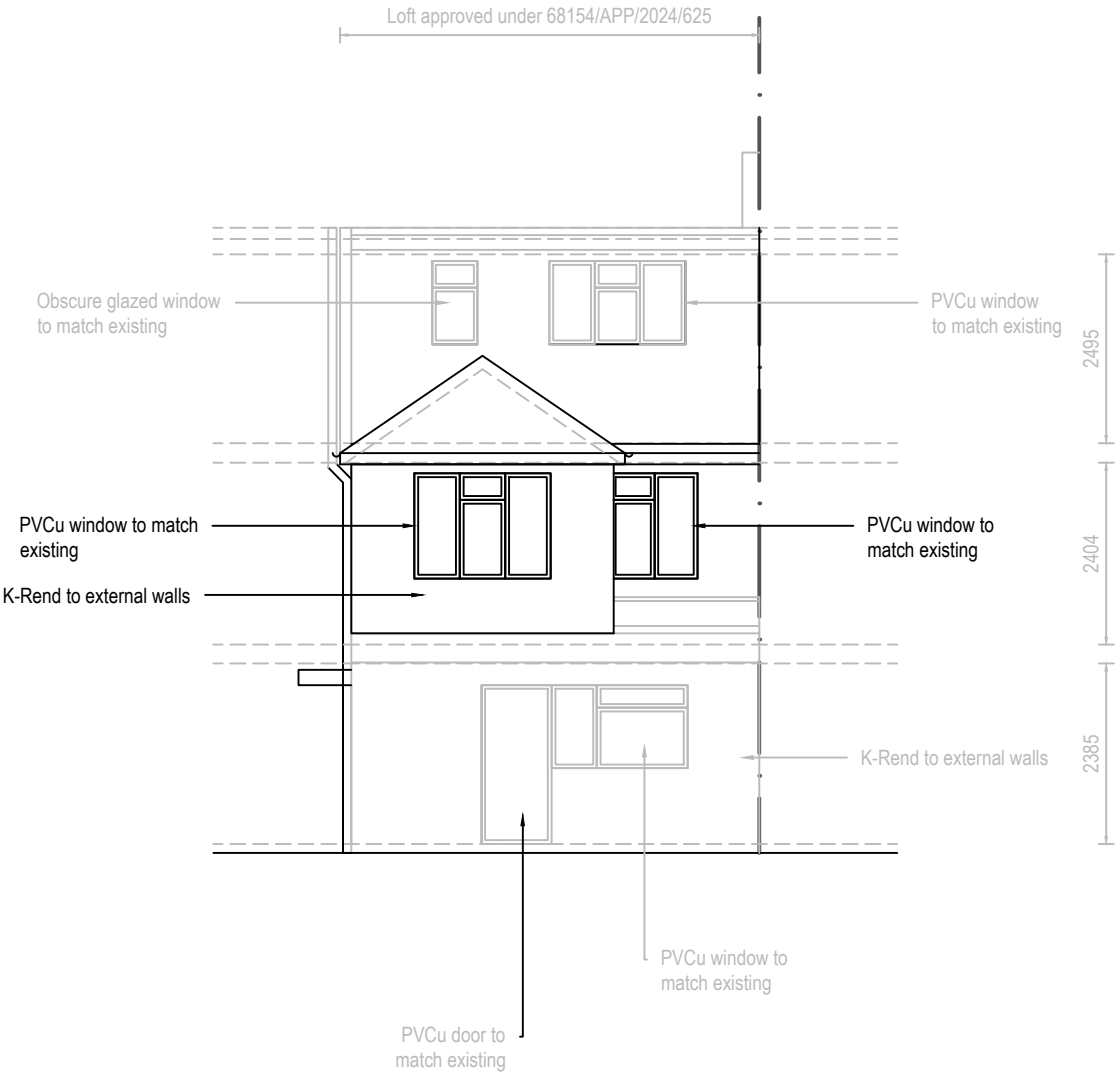
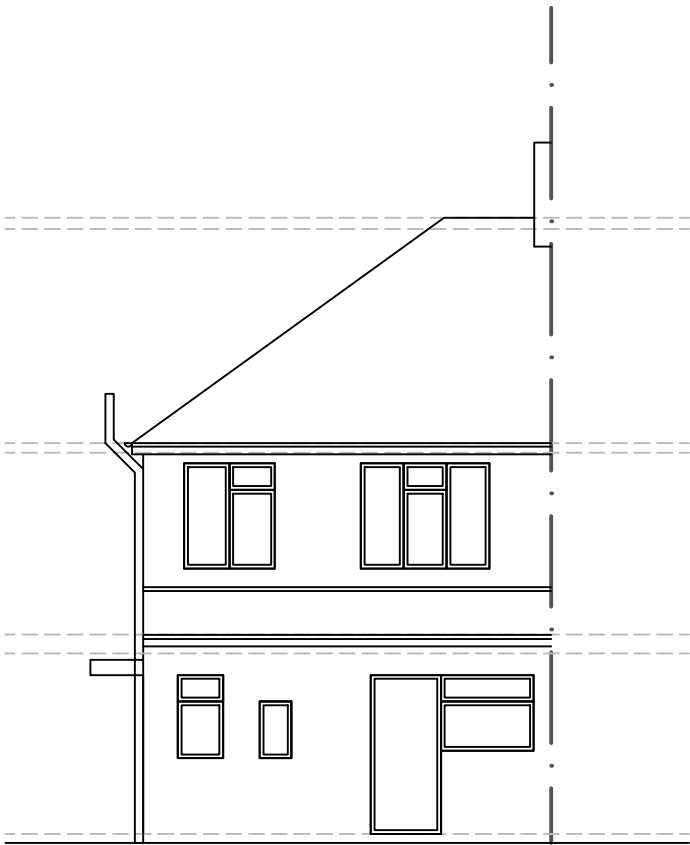
Loft approved under 68154/APP/2024/625

Velux MK06
roof lights

New roof tiles
to match existing



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STATUS:			
CJENT:	Mr Umair Iqbal 14 Hyde Way Hayes UB3 4PA		
DRAWN BY:			
SITE:	14 Hyde Way UB3 4PA		
TITLE:	Existing and proposed front elevations		
SCALE AT A3: 1:100	DATE: 20.05.24	DRAWN:	CHECKED:
PROJECT NO: 0301	DRAWING NO: 0301-200		REVISION: P1



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STATUS:			
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DRAWN BY:			
SITE: 14 Hyde Way UB3 4PA			
TITLE: Existing and proposed rear elevations			
SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:100	20.05.24		
PROJECT NO:	DRAWING NO:	REVISION:	
0301	0301-210	P1	

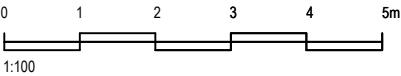
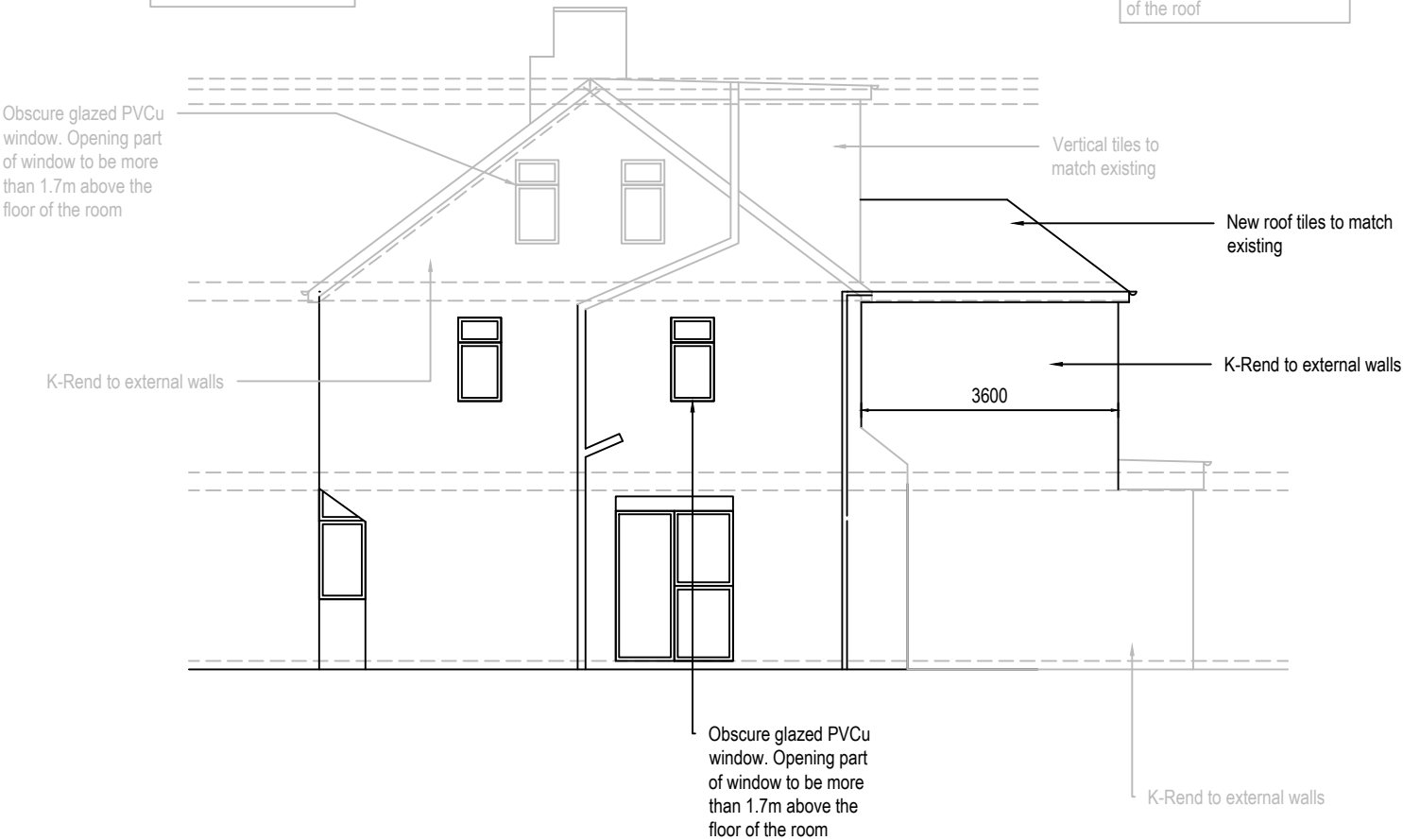


Volume Calculation		
01	Gable	$7.9 \times 3.1 \times 4.1/6 = 16.7\text{m}^3$
02	Rear dormer	$2.9 \times 3.8 \times 5.4/2 = 29.8\text{m}^3$
03	Total	$46.5\text{m}^3 < 50\text{m}^3$ therefore OK

Dormer to be setback 200mm from the original eaves level and not to overhang the outer face of the wall of the original house

Dormer not to project above existing ridge level

SVP not to extend more than 1m above the highest part of the roof



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SITE:	14 Hyde Way UB3 4PA		
TITLE:	Existing and proposed side elevations		
SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:100	20.05.24		
PROJECT NO:	DRAWING NO:	REVISION:	
0301	0301-220	P1	