

Notes:

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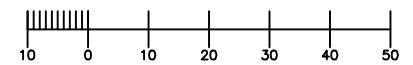
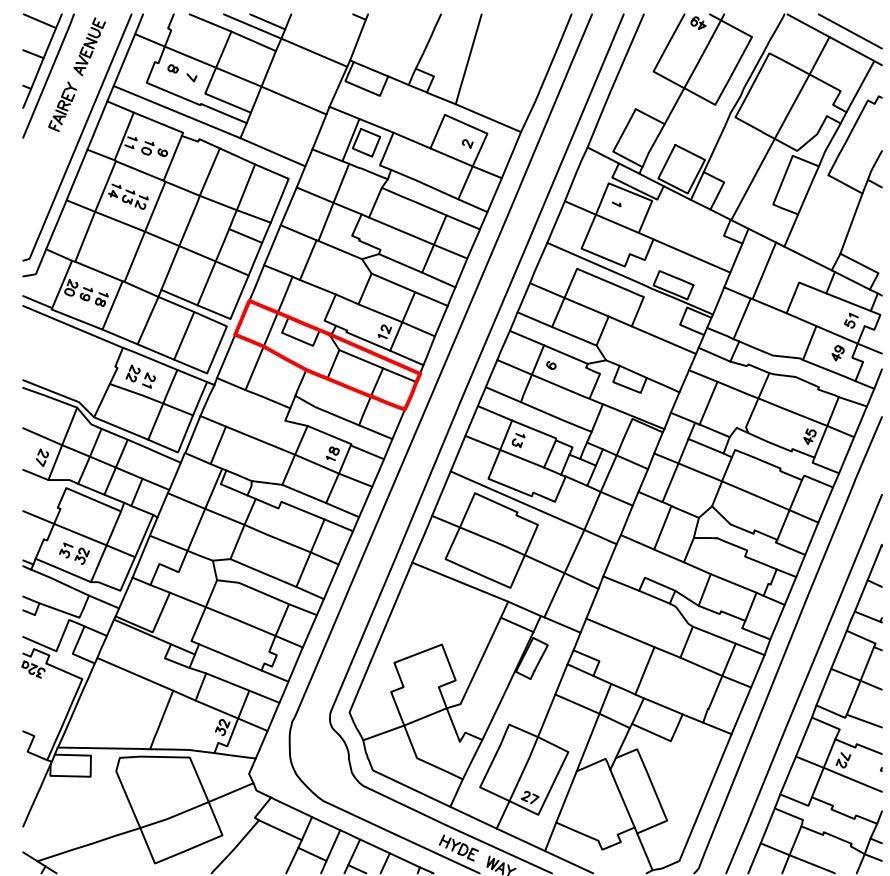
SEQUENCE OF WORK TO BE AGREED WITH THE CLIENT.

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SCALING FOR PLANNING PURPOSES ONLY.

WORK TO BE CARRIED OUT IN ACCORDANCE WITH BYE-LAWS AND REGULATIONS OF LOCAL AUTHORITIES AND STATUTORY UNDERTAKERS.

PRINT PDF OF THE DWG IN ACTUAL SIZE.



REV:	DESCRIPTION:	BY:	DATE:
STATUS:			

CLIENT: Mr Umair Iqbal
14 Hyde Way
Hayes
UB3 4PA

DRAWN BY:

SITE: 14 Hyde Way
UB3 4PA

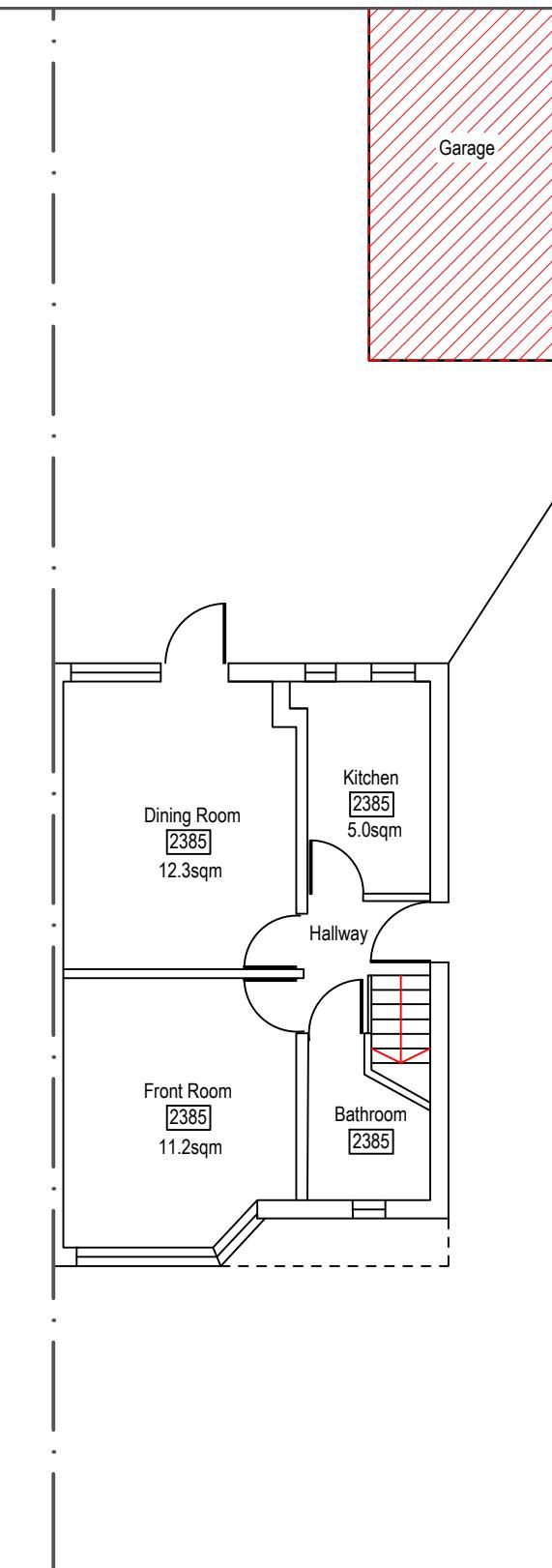
TITLE: Location Plan

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
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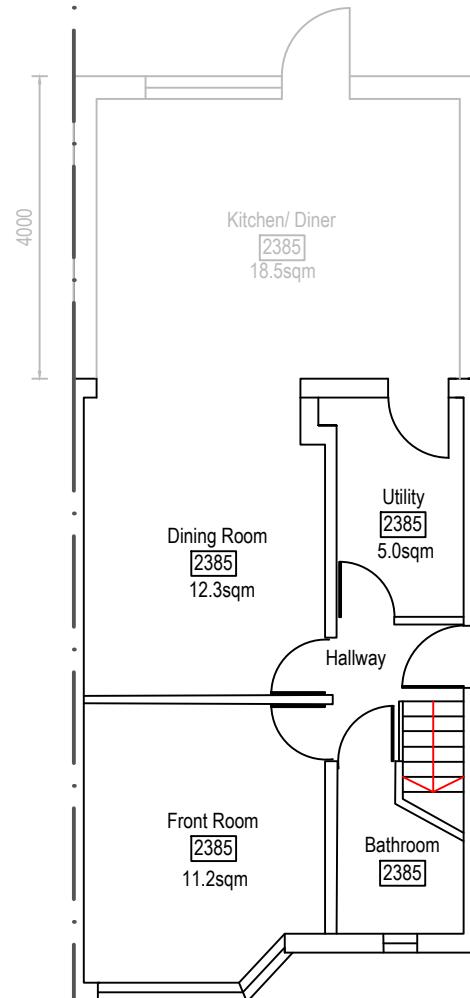
1:1250	20.05.24		
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PROJECT NO:	DRAWING NO:	REVISION:
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0301	0301-001	P1
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Extension approved under 68154/APP/2024/623



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STATUS:			

CLIENT: Mr Umair Iqbal
14 Hyde Way
Hayes
UB3 4PA

DRAWN BY:

SITE: 14 Hyde Way
UB3 4PA

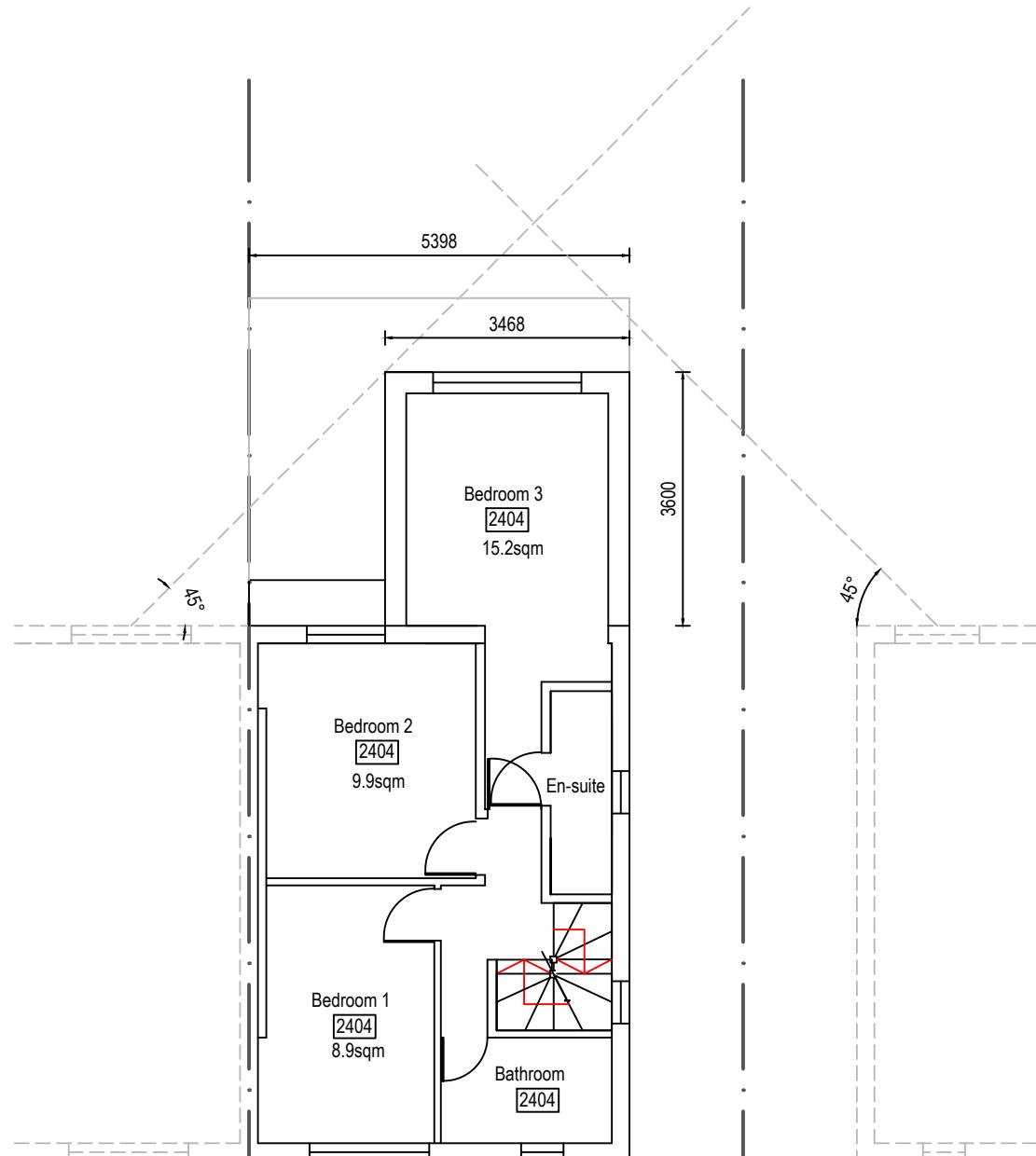
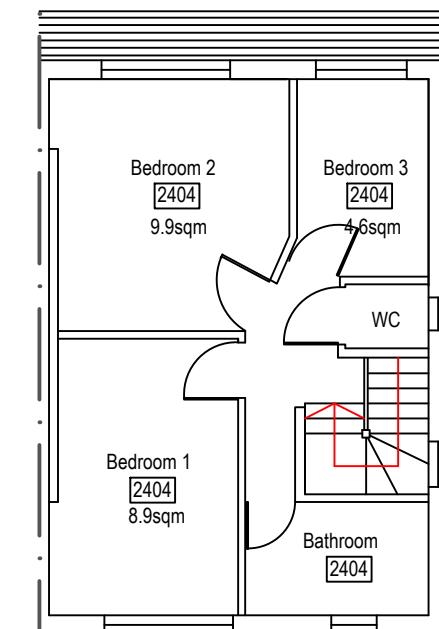
TITLE: Existing and proposed
ground floor plans

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
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1:100	20.05.24		
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PROJECT NO:	DRAWING NO:	REVISION:
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0301	0301-100	P1
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0 1 2 3 4 5m
1:100

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PRINT PDF OF THE DWG IN ACTUAL SIZE.

REV:	DESCRIPTION:	BY:	DATE:
STATUS:			

CLIENT: Mr Umair Iqbal
14 Hyde Way
Hayes
UB3 4PA

DRAWN BY:

SITE: 14 Hyde Way
UB3 4PA

TITLE: Existing and proposed
first floor plans

SCALE AT A3: DATE: DRAWN: CHECKED:

1:100 20.05.24

PROJECT NO: DRAWING NO: REVISION:

0301 0301-110 P1

Notes:

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PRINT PDF OF THE DWG IN ACTUAL SIZE.



Loft approved under 68154/APP/2024/625

0 1 2 3 4 5m
1:100

REV:	DESCRIPTION:	BY:	DATE:
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STATUS:

CLIENT: Mr Umair Iqbal
14 Hyde Way
Hayes
UB3 4PA

DRAWN BY:

SITE: 14 Hyde Way
UB3 4PA

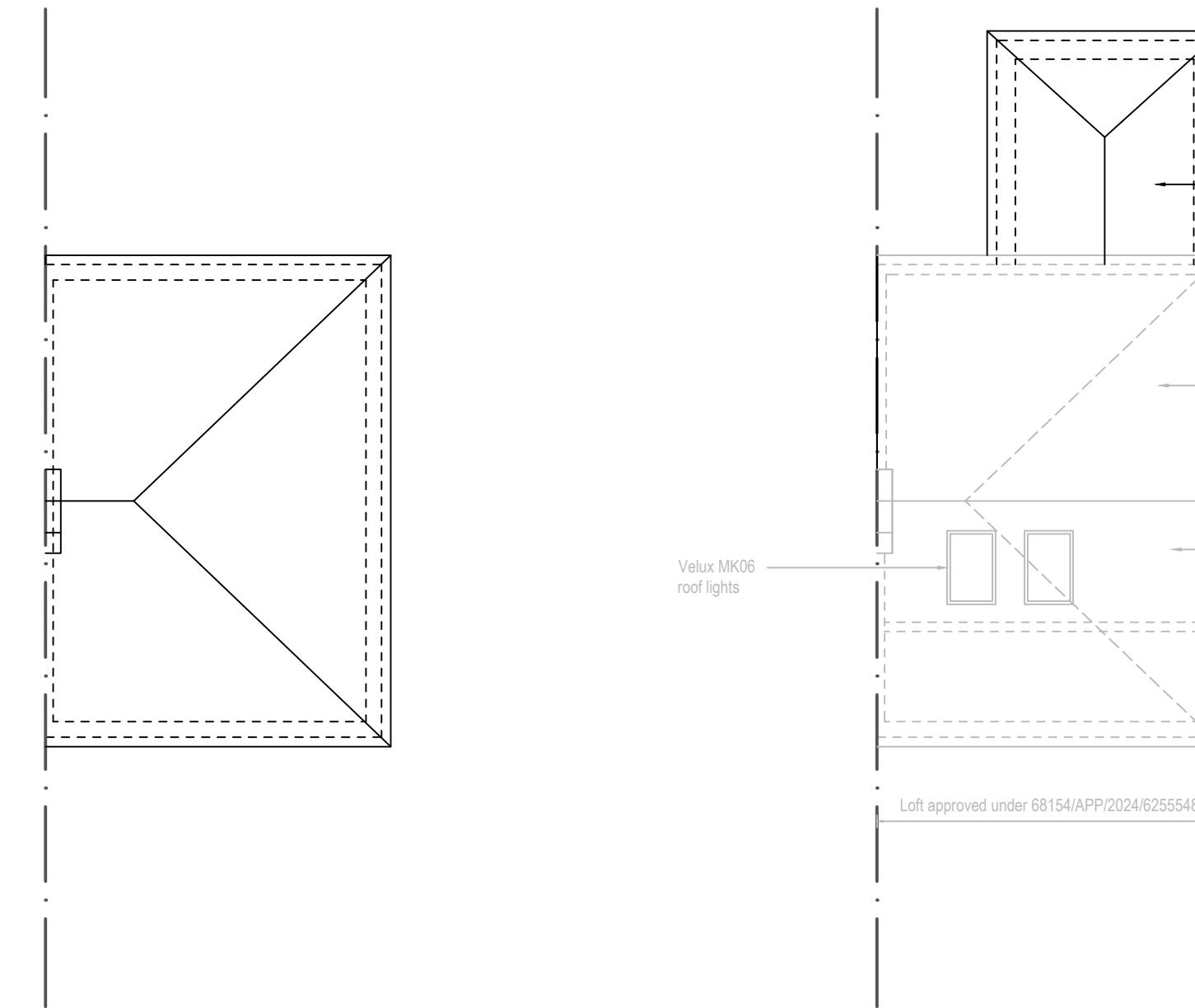
TITLE: Proposed second floor plan

SCALE AT A3: DATE: DRAWN: CHECKED:

1:100 20.05.24

PROJECT NO: DRAWING NO: REVISION:

0301 0301-120 P1



Loft approved under 68154/APP/2024/6255548

Roof lights not to project more than 150mm beyond the plane of the roof

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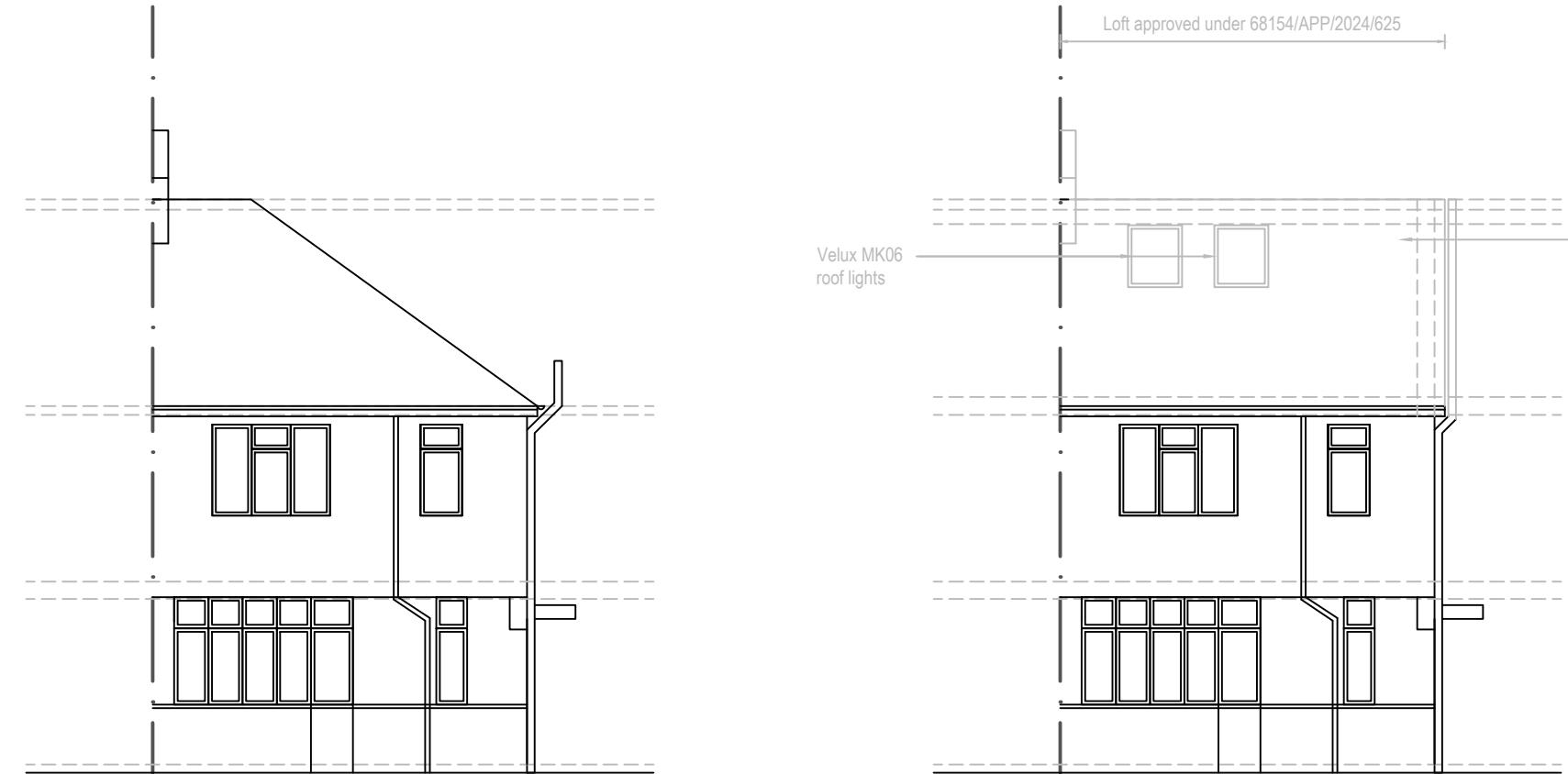
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PRINT PDF OF THE DWG IN ACTUAL SIZE.

REV:	DESCRIPTION:	BY:	DATE:
STATUS:			
<p>CLIENT: Mr Umair Iqbal 14 Hyde Way Hayes UB3 4PA</p>			
DRAWN BY:			
<p>SITE: 14 Hyde Way UB3 4PA</p>			
<p>TITLE: Existing and proposed roof plans</p>			
SCALE AT A3: 1:100	DATE: 20.05.24	DRAWN:	CHECKED:
PROJECT NO: 0301	DRAWING NO: 0301-130	REVISION: P1	



Roof lights not to project more than 150mm beyond the plane of the roof

Loft approved under 68154/APP/2024/625

Velux MK06 roof lights

New roof tiles to match existing

0 1 2 3 4 5m
1:100

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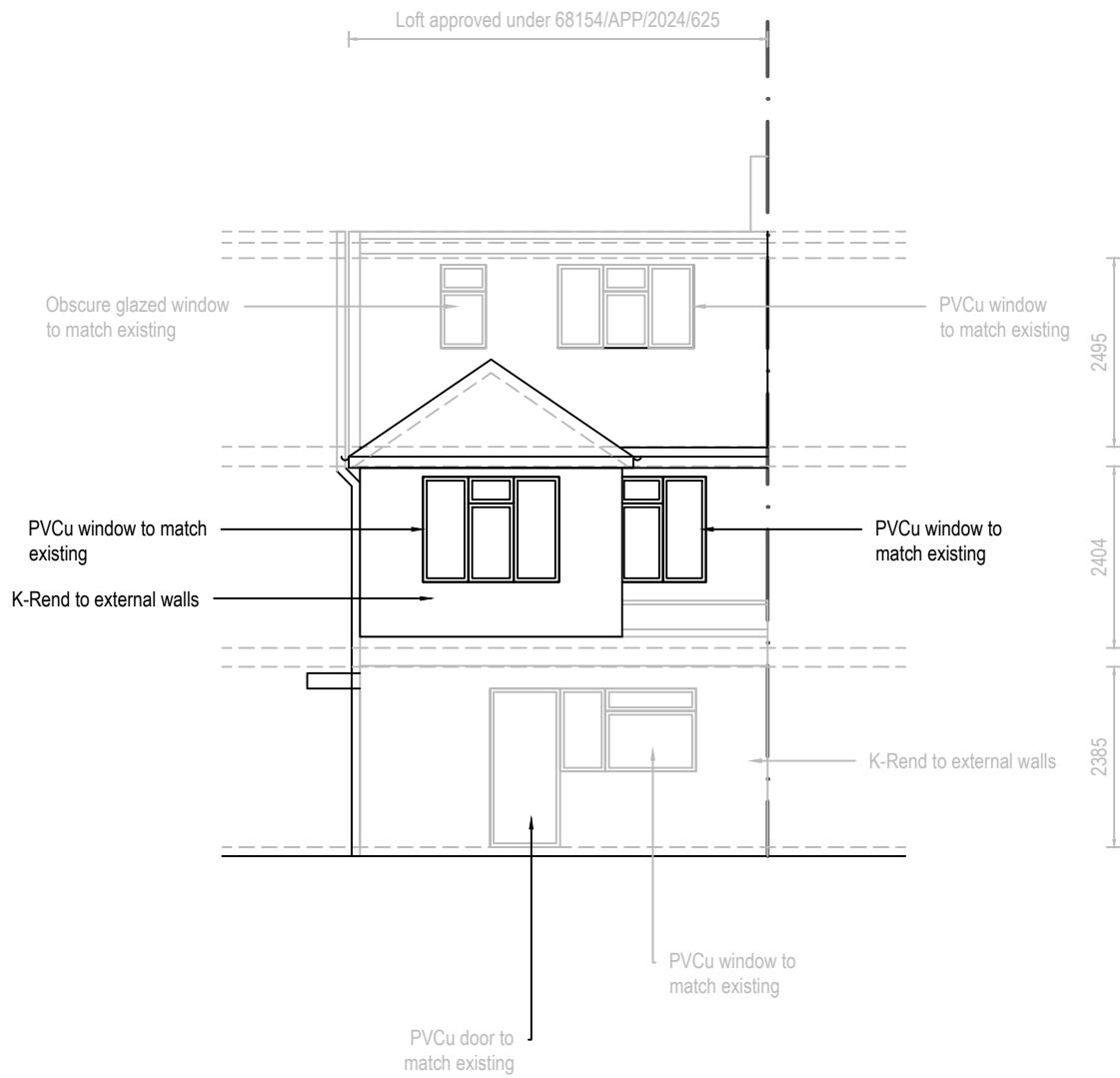
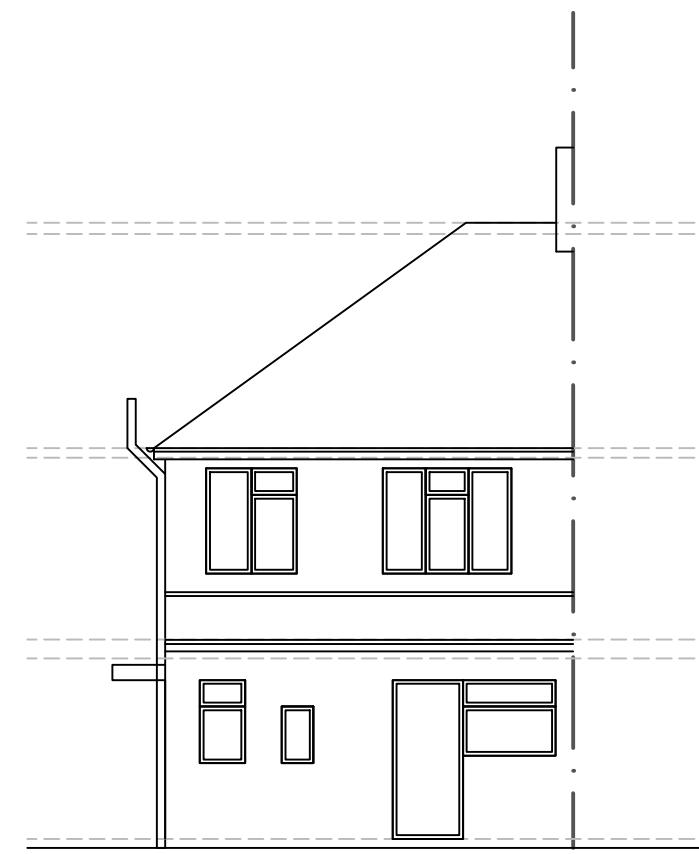
TITLE: Existing and proposed front elevations

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
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1:100	20.05.24		
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PROJECT NO:	DRAWING NO:	REVISION:
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0301	0301-200	P1
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<p>REV: <input type="text"/> DESCRIPTION: <input type="text"/> BY: <input type="text"/> DATE: <input type="text"/></p> <p>STATUS: <input type="text"/></p>			
<p>CLIENT: <input type="text"/> Mr Umair Iqbal 14 Hyde Way Hayes UB3 4PA</p>			
<p>DRAWN BY: <input type="text"/></p>			
<p>SITE: <input type="text"/> 14 Hyde Way UB3 4PA</p>			
<p>TITLE: <input type="text"/> Existing and proposed rear elevations</p>			
SCALE AT A3: <input type="text"/> 1:100	DATE: <input type="text"/> 20.05.24	DRAWN: <input type="text"/>	CHECKED: <input type="text"/>
PROJECT NO: <input type="text"/> 0301	DRAWING NO: <input type="text"/> 0301-210	REVISION: <input type="text"/> P1	

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Volume Calculation		
01	Gable	$7.9 \times 3.1 \times 4.1 / 6 = 16.7 \text{m}^3$
02	Rear dormer	$2.9 \times 3.8 \times 5.4 / 2 = 29.8 \text{m}^3$
03	Total	46.5m ³ < 50m ³ therefore OK

Dormer to be setback 200mm from the original eaves level and not to overhang the outer face of the wall of the original house

Dormer not to project above existing ridge level

SVP not to extend more than 1m above the highest part of the roof

Obscure glazed PVCu window. Opening part of window to be more than 1.7m above the floor of the room

Vertical tiles to match existing

New roof tiles to match existing

K-Rend to external walls

K-Rend to external walls

3600

K-Rend to external walls

Obscure glazed PVCu window. Opening part of window to be more than 1.7m above the floor of the room

K-Rend to external walls

0 1 2 3 4 5m
1:100

REV: DESCRIPTION: BY: DATE:
STATUS:

CLIENT: Mr Umair Iqbal
14 Hyde Way
Hayes
UB3 4PA

DRAWN BY:

SITE: 14 Hyde Way
UB3 4PA

TITLE: Existing and proposed side elevations

SCALE AT A3: 1:100 DATE: 20.05.24 DRAWN: CHECKED:
PROJECT NO: 0301 DRAWING NO: 0301-220 REVISION: P1