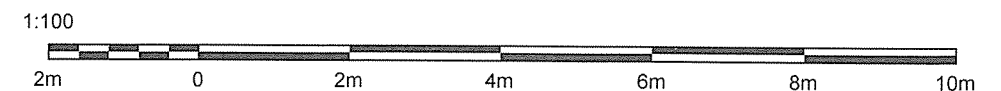



EXISTING ROOF PLAN
scale 1:100



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ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE, THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

DRAWING STATUS		PLANNING		GENERAL NOTES: Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineers calculations and any specialist supplier's drawings. Prior to commencement of building works the contractor or homeowner is responsible and should:- 1. Ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site. 2. Inform the Building control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works. 3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, electrical, water & other services drainages ect. within the site prior to the commencement of excavations. Owner is responsible for establishing own boundary lines as DPL are not responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor. 4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for works being carried out on a building notice. No project should start without calcs. 5. Owner is responsible for purchasing additional materials and covering extra engineering design costs for any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works. 6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (clients responsibility)	
REV.	DATE	NAME	DESCRIPTION		
 <div>Architectural Design Studio 4 ST ANNES, DORIC WAY, EUSTON, LONDON NW1 1LG +44 07838 155 957</div>				OTHER NOTES: All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed skylights shown on this drawing will be designed not protrude more than 150mm from the existing roof profile. All new proposed windows shown on this drawing which overlook other property's are designed to be non opening and of obscure glazing. For a permitted development loft design the dormer designed on this drawing is set back from the eaves by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations. An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results. ALL DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR. TERMS - this drawing has been created by discount plans ltd for the "client" only, a bound contract has been made between both party's in which a signed contract for creation of works involving person-working hours for this drawing has been made, no refund will be allowed or claim made of drawing and any other drawing/s relating to this project for whatever reason can be made against DPL. Discount plans ltd hold full copyright of this material and have the full right to control the use of these works. any company, department or person that infringes these rights will be subject to legal compensation brought against them. client accepting these terms has agreed on all the above by signing contract between both party's and understands that no refunds can be given. 12. All drainage connections is assumed & is subject for checking by builder, Thames water & building control, foul and surface connections should be approved by Thames water before works commence. PRINT @ A3 SHEET SIZE discountplansltd@gmail.com THIS DRAWINGS CONTENT INCLUDING NOTES IS BOND TO SIGNED AGREED CONTRACT BETWEEN CLIENT & DISCOUNT PLANS LTD	
SITE ADDRESS 45 ZEALAND AVENUE, WEST DRAYTON, MIDDLESEX, UB7 0BW				DRAWING TITLE EXISTING DRAWINGS	
DRAWN AT HEAD OFFICE				DRAWN BY	
SCALE as shown @ A3				09. SEPTEMBER, 2020	
DRAWING No.				REVISION	
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