

Planning Statement Design and Access Statement



2 Andover Close, Uxbridge, UB8 2XH

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1. Introduction

This planning statement has been prepared by Shape Urban Planning Consultants on behalf of the applicant in support of the proposal seeking approval for the construction of a single storey garden room with a green roof at 2 Andover Close, Uxbridge, UB8 2XH.

The purpose of this statement is to explain how the proposed development pays regard to relevant planning policy, as well as other relevant and best practice guidance and material considerations. This aims to elaborate on how the proposed development would meet the objectives of such policies and therefore represents an appropriate and acceptable development for the area.

This statement should be read in conjunction with other planning documents submitted, including:

- Application form
- CIL form 1
- Site Location Plan
- Existing & Proposed Site Plan
- Proposed Garden Room Plans
- Flood Risk Assessment

The applicant seeks to add a garden room to suit the needs of a changing family by providing storage and a work from home space, while being committed to delivering an exemplar development on this site to protect and enhance the local character and achieve efficient land use, with high quality design.

2. The site



The application relates to a three storey, semi-detached dwelling located to the South of Andover Close. The brick and tile dwelling is set back from the road by over 6 metres by an area of hardstanding which allows space to park two cars safely within the curtilage. To the rear of the dwelling is a garden area which acts as the private amenity space for the occupiers of the property.

The application property is attached to No.4 Andover Close to the East and shares a side boundary with No.5 Church Close to the West. With the rear gardens of 74 and 75 Cowley Mill Road also backing onto the west. To the rear lies the rear garden of No.77 Cowley Mill Road.

The area is residential in character and appearance. The application site lies within the Developed Area as identified in the Hillingdon Local Plan: Part Two - Saved UDP Policies (November,2012).







3. Design proposal

The proposal seeks approval for a single storey garden room with a green roof with the height totalling 2.9m at 2 Andover Close, Uxbridge, UB8 2XH.

4. Planning History

4.1. Site history

Planning Reference:	Address	Proposal	Date Granted
<u>65356/APP/2025/2144</u>	2 Andover Close, Uxbridge, UB8 2XH.	Erection of a single storey wraparound extension to the side and rear	Awaiting decision
<u>65356/APP/2025/1856</u>	2 Andover Close, Uxbridge, UB8 2XH.	Erection of a porch and outbuilding to rear garden. Conversion of garage to habitable use	07/08/2025

		(Application for a Certificate of Lawful Development for a proposed Development).	
<u>65356/APP/2023/563</u>	2 Andover Close, Uxbridge, UB8 2XH.	Conversion of roof space to habitable use to include a rear dormer with juliette balcony, 3 front roof lights and removal of chimney stacks. (Application for a Certificate of Lawful Development for a Proposed Development)	21/03/2023

5. Relevant precedents in the vicinity of the site



Aerial Photograph showing garden rooms at 6 Andover Close and 78 & 79 Cowley Mill Road.

5.1. Fallback Position

Under application reference 65356/APP/2025/2144, a Certificate of Lawful Development was approved for a garden room at the similar site. The current proposal only differs by increasing the height to 2.9 meters. This modest height adjustment results in a minimal impact on neighbouring amenity, particularly in terms of shadowing and the creation of a sense of enclosure, as discussed further in the policy compliance sections below. The approved lawful development confirms that the proposed scale and use are consistent with existing planning permissions, reinforcing the proposal's acceptability.

5.2. Garden Rooms at 6 Andover Close, 78 Cowley Mill Road and 79 Cowley Mill Road.

While the height of the proposed garden room at 2.9 meters is higher, it is important to note the presence and popularity of existing garden rooms at 6 Andover Close, 78 Cowley Mill Road, and 79 Cowley Mill Road. These properties demonstrate a strong precedent for the use of garden rooms within the local area. Although the existing examples do not set a direct height comparison, their presence underscores the acceptance and commonality of garden rooms as an ancillary feature, supporting the case for the current proposal.

6. Policy

6.1. Planning Policy Framework

This planning statement has been prepared in accordance with the national, regional, and local planning policy framework. At the national level, the National Planning Policy Framework (NPPF, 2024) sets out the Government's overarching planning objectives, with a strong emphasis on sustainable development, good design, and climate resilience. At the regional level, the London Plan (2021) provides the strategic spatial plan for Greater London, guiding borough-level decisions on growth, design, and environmental sustainability. Locally, the proposal is assessed against the policies of the London Borough of Hillingdon's Local Plan, which comprises the Strategic Policies (Part 1, 2012) and Development Management Policies (Part 2, 2020). These tiers of policy collectively inform the assessment of design, residential amenity, water management, and environmental impact.

Relevant National Planning Policy Framework (NPPF, 2024) Policies

- **Paragraph 135(f):** Developments should ensure a high standard of amenity for existing and future users.
- **Chapter 14:** Meeting the challenge of climate change, flooding and coastal change: Encourages proactive strategies to adapt to climate change, including flood risk mitigation and sustainable drainage systems (SuDS).
- **Chapter 15:** Conserving and enhancing the natural environment: Requires proposals to avoid harm to water resources and improve biodiversity and environmental quality.

Relevant London Plan (2021) Policies

- **Policy D3 – Optimising Site Capacity through a Design-Led Approach:** Emphasises context-sensitive, high-quality design.
- **Policy D4 – Delivering good design:** Requires new garden structures to respect local character and contribute positively to the urban environment.
- **Policy D6 – Housing Quality and Standards:** Sets standards for residential quality, including privacy, outlook, and amenity.
- **Policy SI 12 – Flood Risk Management:** Requires proposals to mitigate and adapt to flood risk through sustainable design.
- **Policy SI 13 – Sustainable Drainage:** Encourages SuDS to manage surface water and improve water quality.

Relevant Local Policy – London Borough of Hillingdon (Part 1, 2012 & Part 2, 2020)

- **Policy PT2.DMHD 2:** Outbuildings
- **Policy PT2.DMEI 10:** Water Management, Efficiency and Quality
- **Policy PT2.DMEI 11:** Protection of Ground Water Sources

- **Policy PT2.DMHB 11:** Design of New Development
- **Policy PT2/DMHB 18:** Private Outdoor Amenity Space
- **Policy PT1.BE1:** Built Environment
- **Policy PT1.EM1:** Climate Change Adaptation and Mitigation
- **Policy PT1.EM6:** Flood Risk Management & **POLICY PT2.DMEI 9:** Management of Flood Risk

6.2. Policy Compliance

6.2.1. Local Policy – London Borough of Hillingdon

Policy PT2.DMHD 2: Outbuildings

The outbuilding has been thoughtfully designed to achieve a high standard of finish, utilising materials that harmonise with the host dwelling and surrounding garden. Its placement at the southern end of the garden ensures minimal visual and environmental impact on neighbouring properties and the private amenity space of the host property. The proposal seeks a garden room with a maximum height of 2.9m, a slight increase on the garden room already permitted. The shadowing effect is anticipated to be minimal, particularly on the gardens of 4 Andover Close to the east and 74 Cowley Mill Road to the west. The proposed garden room does not generate a sense of enclosure, aligning similarly with what is permitted under application reference 65356/APP/2025/2144. Additionally, existing features such as garden sheds at 74 Cowley Mill Road and tall hedges at 77 Cowley Mill Road further mitigate any potential adverse visual, sense of enclosure or overshadowing impacts. These points are supported by the photographs included below.





The development footprint is proportionate relative to the existing dwellinghouse and the residential curtilage. As demonstrated in the accompanying Existing and Proposed Plans, the proposal conserves approximately 81% of the rear garden area, maintaining a generous outdoor space.

The proposed use of the outbuilding is ancillary to the enjoyment of the main dwellinghouse. It is intended solely for storage and a workspace for home working, with no plumbing, bathroom, or kitchen facilities planned. This ensures the outbuilding remains a subordinate addition in line with local policy.

Policy PT2.DMEI 10: Water Management, Efficiency and Quality

The development is designed to promote sustainable water management practices and uphold water quality, in accordance with Policy DMEI 10. The inclusion of a green roof on the garden room supports this objective by attenuating rainfall, improving runoff quality, and reducing surface water flow into the drainage system. The design avoids unnecessary impermeable surfacing and incorporates natural drainage features where possible. No plumbing or sewage are to be connected to the garden room and the modest scale of the proposals ensures there is no adverse impact on local water quality or drainage infrastructure.

Policy PT2.DMEI 11: Protection of Ground Water Sources

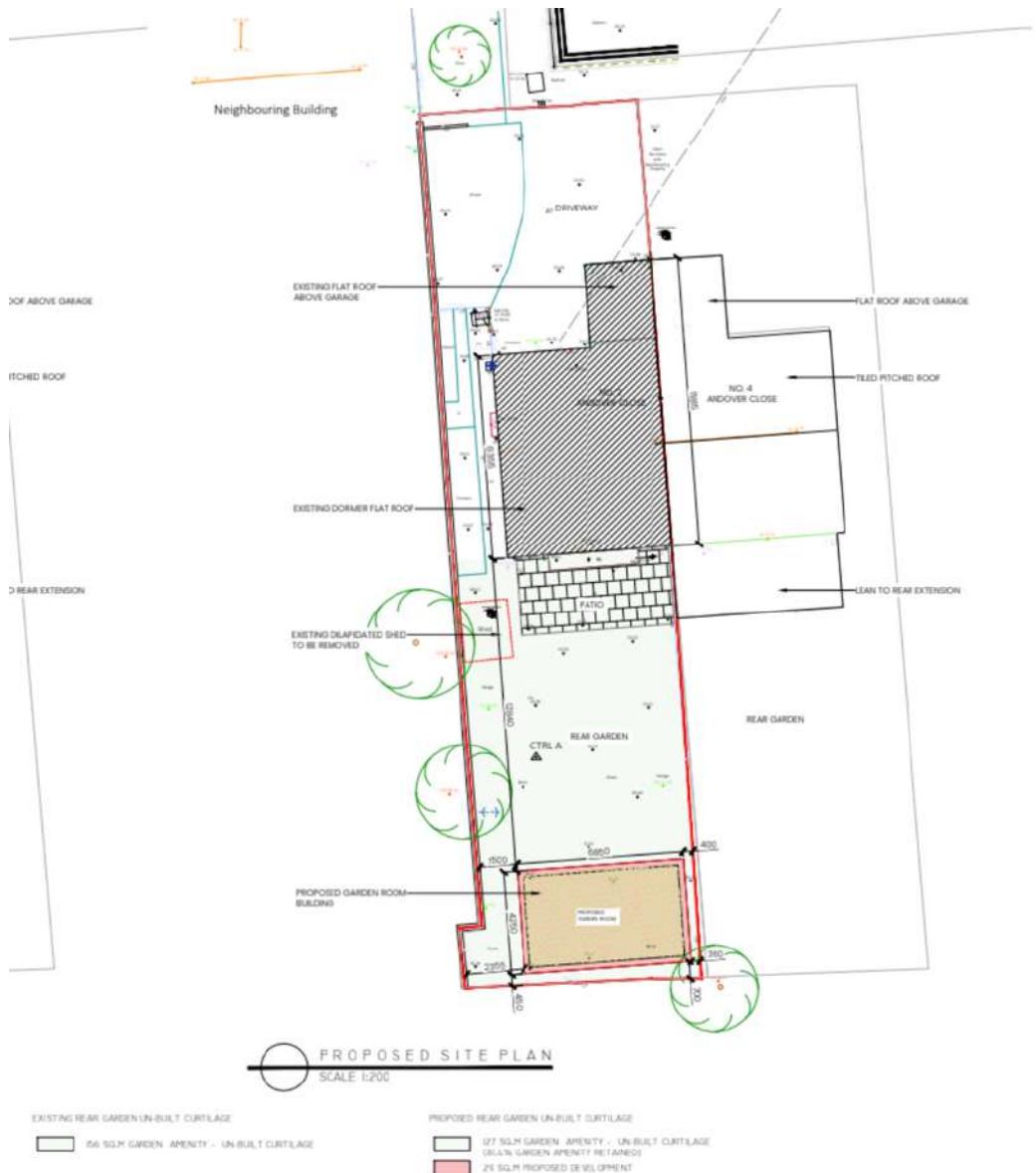
The site lies within drinking water safeguard zone for surface water not ground water. It is not within a Source Protection Zone (SPZ). In line with Policy DMEI 11, the proposed development has been designed to ensure that it does not pose any risk to the quality or quantity of surface water or groundwater resources. The works involve a modest single-storey garden room with a green roof — which avoids the introduction of any hazardous substances, subterranean tanks, or activities that could pose a risk to water infiltration or pollution. No direct discharges to ground are proposed. The proposed development ensures that water runoff is managed safely through an appropriate use of drainage. The proposals therefore comply with Policy DMEI 11 and follow the precautionary, risk-based approach advocated in the Environment Agency's position statements.

Policy PT2.DMHB 11 – Design of New Development

The proposal is consistent with the design-led principles set out in DMHB 11. The slightly increased height of the garden room at 2.9m would remain subordinate to the host dwelling in scale and massing and is constructed in materials that are complementary to the existing property. The roof form, fenestration and overall appearance have been sensitively designed to integrate with the existing built context, preserving local character. The commentary within the previous section 'Policy PT2.DMHD 2: Outbuildings' demonstrates that there are limited impacts on overshadowing or impacts on neighbouring amenity.

Policy PT2.DMHB 18 – Private Outdoor Amenity Space

The proposed works retain a generous amount (81%) of rear garden space as demonstrated within the Existing and Proposed Site Map partially shown below. This is consistent with the policy requirement for private amenity provision. The extension occupied only a modest footprint relative to the total site area, ensuring continued usability and visual openness.



Policy PT1.BE1 – Built Environment

The development is of a high standard of design, uses appropriate materials, and complements the existing architectural language of the host dwelling and surrounding area. It does not result in any unacceptable impacts on amenity, heritage, or townscape and contributes positively to the local built environment.

Policy PT1.EM1: Climate Change Adaptation and Mitigation

The development has considered both adaptation and mitigation principles to address climate change, as required under Policy EM1. Key measures include the installation of a green roof, which contributes to passive cooling, local biodiversity, rainwater attenuation, and reduced urban heat island effect. Additionally, the scale, massing, and thermal efficiency of the new structure aligns with sustainable building principles. By increasing insulation and reducing long-term energy demand, the proposal actively contributes to borough-wide goals for climate resilience and low-carbon development.

Policy PT1.EM6: Flood Risk Management & POLICY PT2.DMEI 9: Management of Flood Risk

The wider site lies within Flood Zone 2 and the proposal has been accompanied by a Flood Risk Assessment (FRA) to ensure compliance with Policies EM6 and DMEI 9. The FRA demonstrates that the development will be resilient to flood risk, with no increased risk to surrounding properties. Key mitigations include maintaining existing ground floor levels, using resilient construction techniques, raising electrical outlets and installing sufficient drainage. The proposed green roof further aids in water attenuation. These measures ensure the development is acceptable in flood risk terms and aligned with both local and national flood policy.

7. Conclusion

The proposed development at 2 Andover Close, comprising a single-storey garden room with a green roof has been carefully designed to reflect the character of the surrounding area and respect the amenity of neighbouring occupiers. The proposal responds positively to national, regional, and local planning policy objectives by promoting high-quality design, enhancing sustainability through the incorporation of a green roof, and managing flood and water risk in a manner that is both appropriate and proportionate.

The development complies with relevant policies in the National Planning Policy Framework (2024), the London Plan (2021), and the London Borough of Hillingdon Local Plan, including those relating to outbuildings, flood risk, and climate adaptation.

Overall, the proposed works represent a well-considered and policy-compliant form of development that delivers tangible benefits to the applicant while preserving the residential character of the locality. Planning permission is therefore respectfully sought.