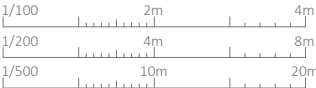
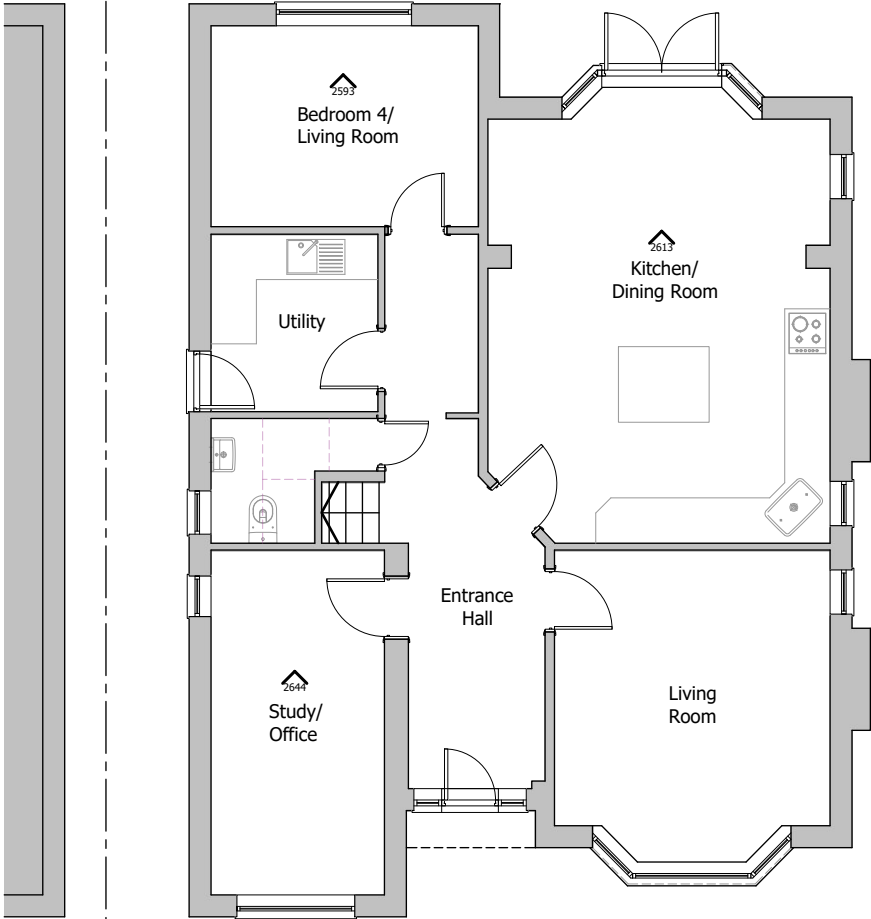


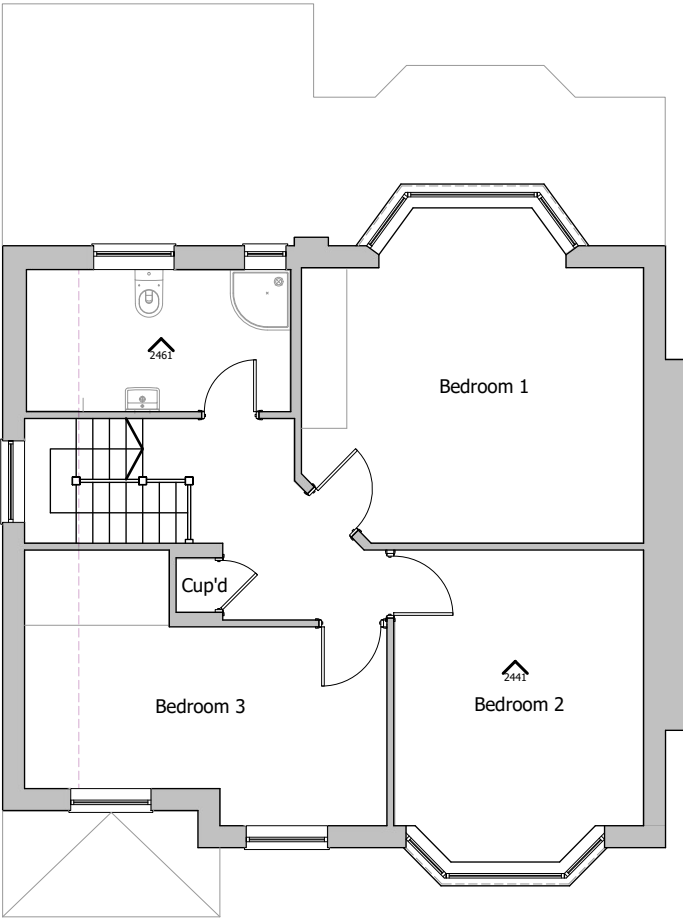
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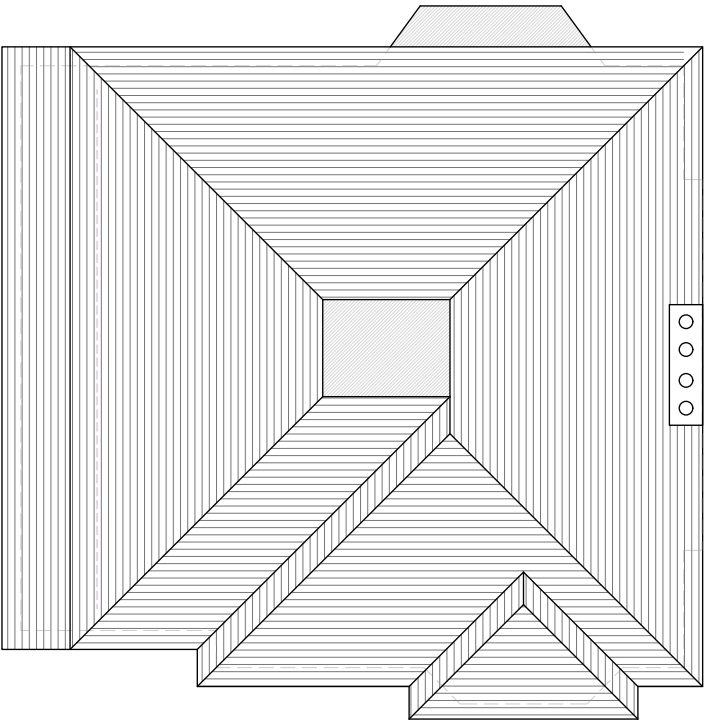
Date	Rev.	Details
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GROUND FLOOR PLAN



FIRST FLOOR PLAN



ROOF PLAN

PROJECT	Loft extension, single storey rear and porch extension		
ADDRESS	12 Belmont Close, Uxbridge UB8 1RF		
DRAWING	Existing GA	DATE	05/2024
REV	SCALE 1/100	PAGE 01	PAPER A3
<div>BLUEPRINT VISTA + ARCHITECTURE</div>		Unit 1 Cowley Mill Trading Estate Longbridge Way, Uxbridge UB8 2YG	
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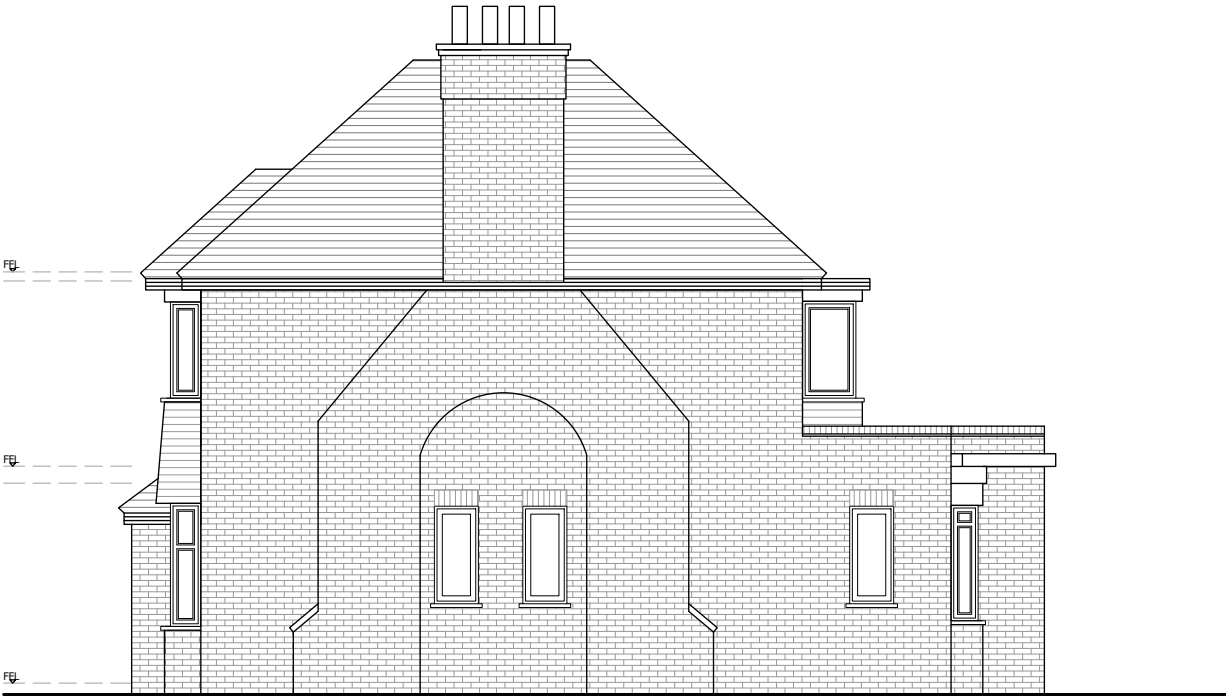
FRONT ELEVATION



FLANK ELEVATION (EAST)

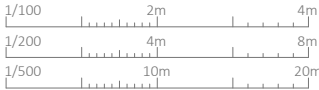


REAR ELEVATION



FLANK ELEVATION (WEST)

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Date	Rev.	Details
-		

PROJECT	Loft extension, single storey rear and porch extension		
ADDRESS	12 Belmont Close, Uxbridge UB8 1RF		
DRAWING	Existing GA 2	DATE	05/2024
REV	SCALE 1/100	PAGE 02	PAPER A3

BLUEPRINT  
VISTA  
ARCHITECTURE

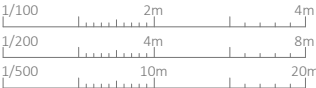
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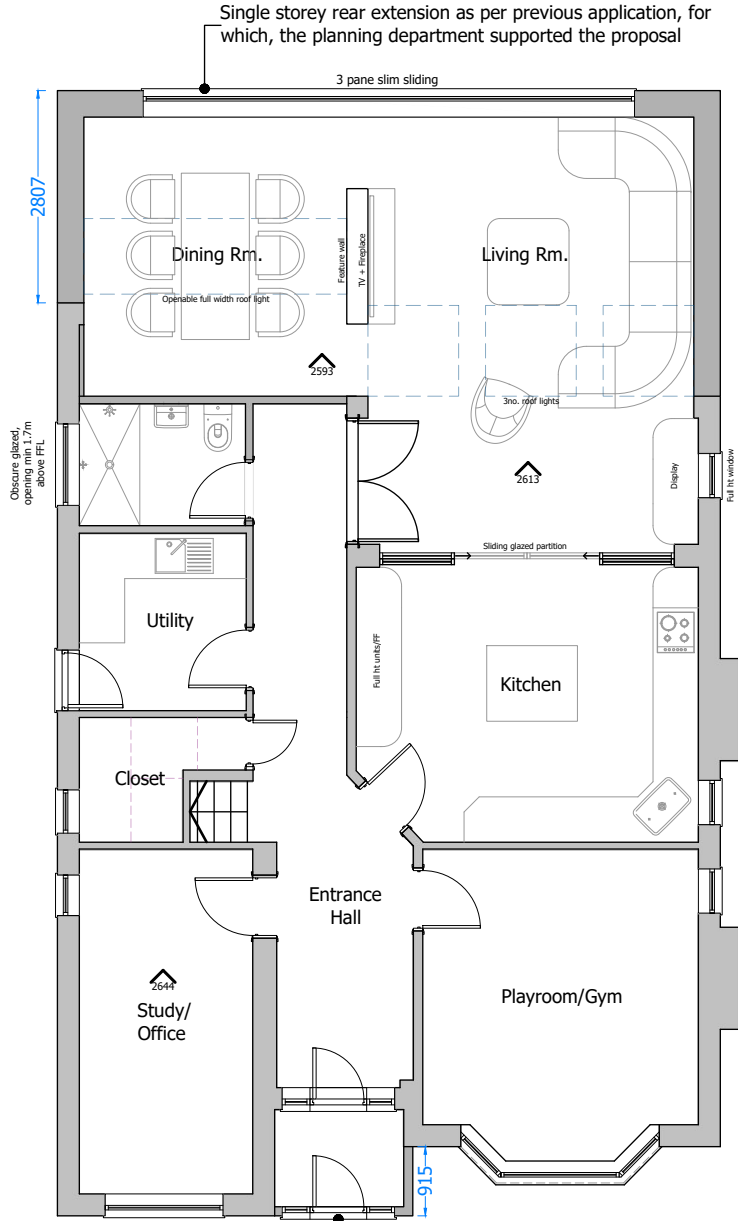
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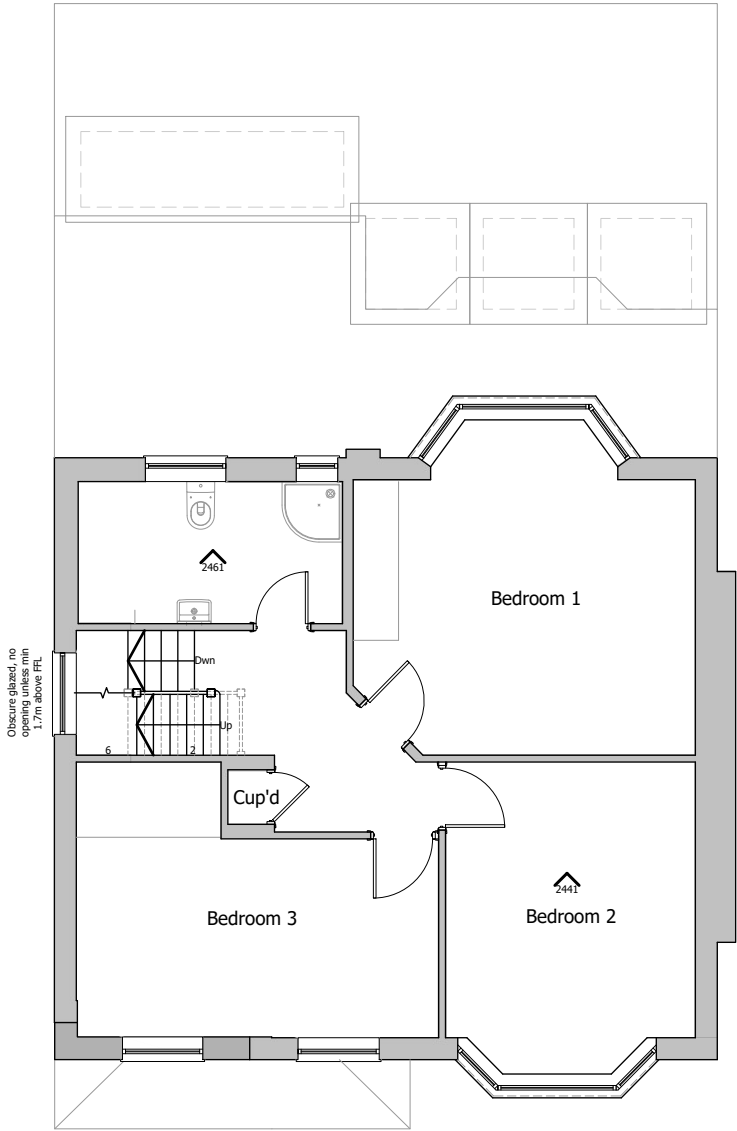


Date	Rev.	Details
-		



Porch size, width, style etc., finished with a lean to pitched roof, is similar to other examples in the area; some, which the council have approved, being considerably larger. There are similar examples on Belmont Cl such as no. 6, 10, 23, 16 & 27 along with those nearby on Belmont Rd no. 18, 127 as well as Park Rd no. 187 & 191. Therefore, it is not overly dominant nor out of context.

GROUND FLOOR PLAN



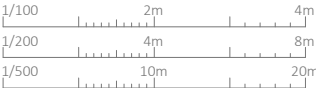
FIRST FLOOR PLAN

PROJECT	Loft extension, single storey rear and porch extension		
ADDRESS	12 Belmont Close, Uxbridge UB8 1RF		
DRAWING	Proposed GA	DATE	05/2024
REV	SCALE 1/100	PAGE 03	PAPER A3

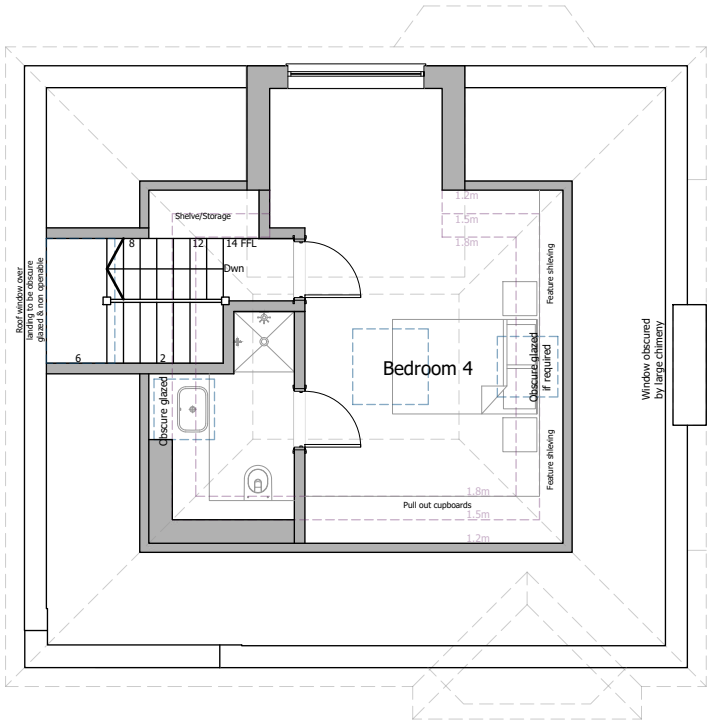
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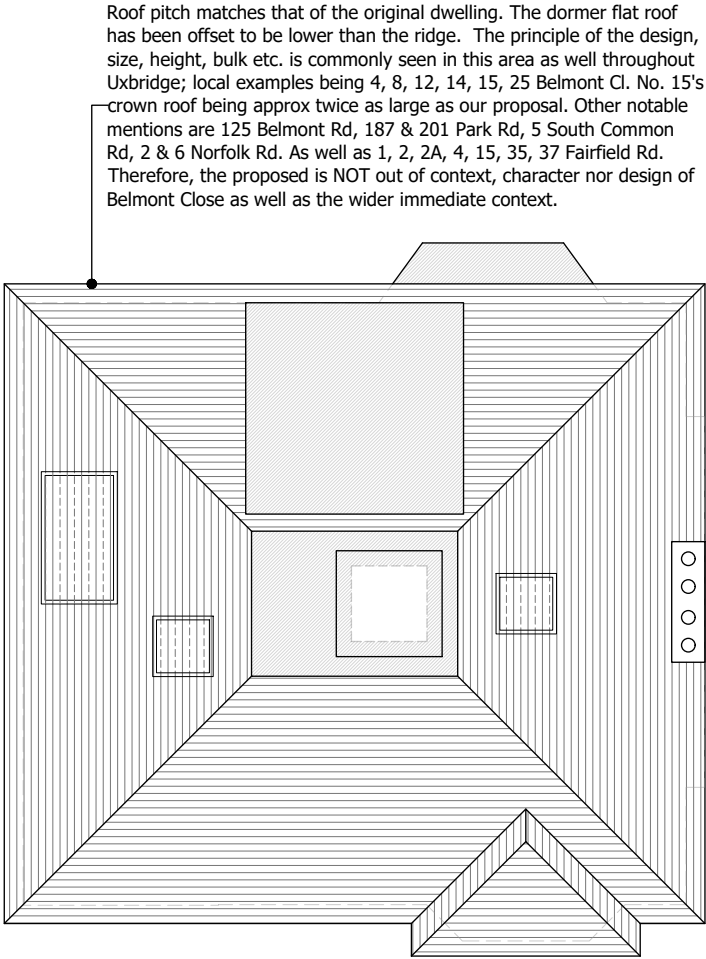
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Date	Rev.	Details
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SECOND FLOOR PLAN

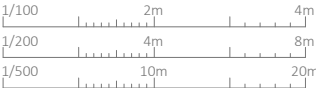


ROOF PLAN

Roof pitch matches that of the original dwelling. The dormer flat roof has been offset to be lower than the ridge. The principle of the design, size, height, bulk etc. is commonly seen in this area as well throughout Uxbridge; local examples being 4, 8, 12, 14, 15, 25 Belmont Cl. No. 15's crown roof being approx twice as large as our proposal. Other notable mentions are 125 Belmont Rd, 187 & 201 Park Rd, 5 South Common Rd, 2 & 6 Norfolk Rd. As well as 1, 2, 2A, 4, 15, 35, 37 Fairfield Rd. Therefore, the proposed is NOT out of context, character nor design of Belmont Close as well as the wider immediate context.

PROJECT	Loft extension, single storey rear and porch extension		
ADDRESS	12 Belmont Close, Uxbridge UB8 1RF		
DRAWING	Proposed GA 2	DATE	05/2024
REV	SCALE 1/100	PAGE 04	PAPER A3
<div>BLUEPRINT VISTA + ARCHITECTURE</div>		Unit 1 Cowley Mill Trading Estate Longbridge Way, Uxbridge UB8 2YG	
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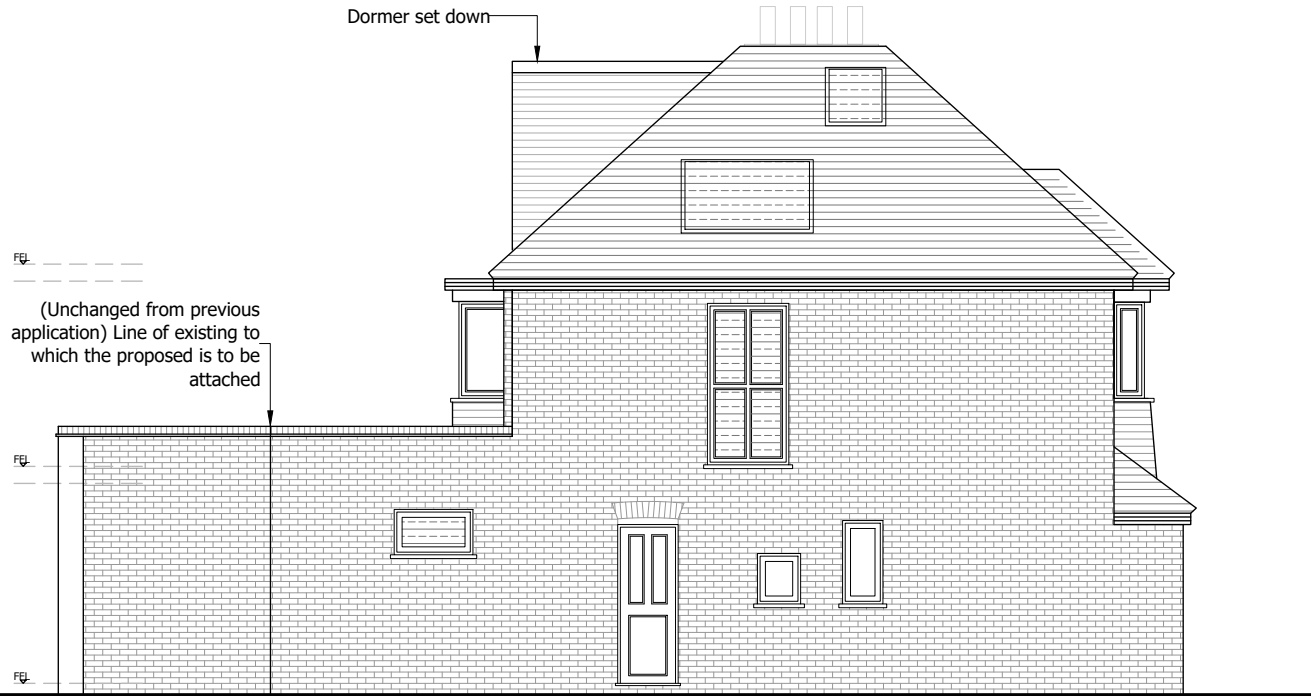
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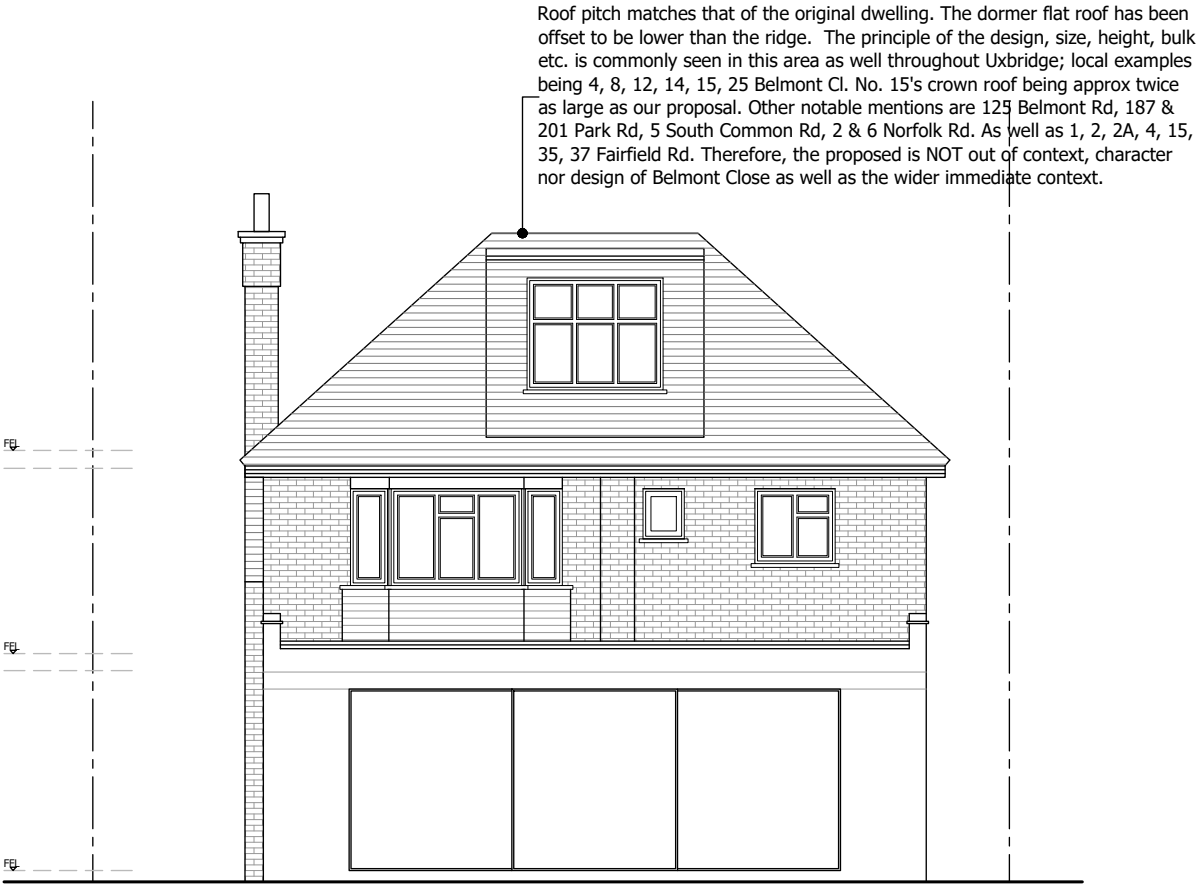
Date	Rev.	Details
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FRONT ELEVATION



FLANK ELEVATION (EAST)



REAR ELEVATION



FLANK ELEVATION (WEST)

PROJECT	Loft extension, single storey rear and porch extension		
ADDRESS	12 Belmont Close, Uxbridge UB8 1RF		
DRAWING	Proposed GA 3	DATE	05/2024
REV	SCALE 1/100	PAGE 05	PAPER A3

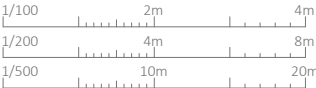


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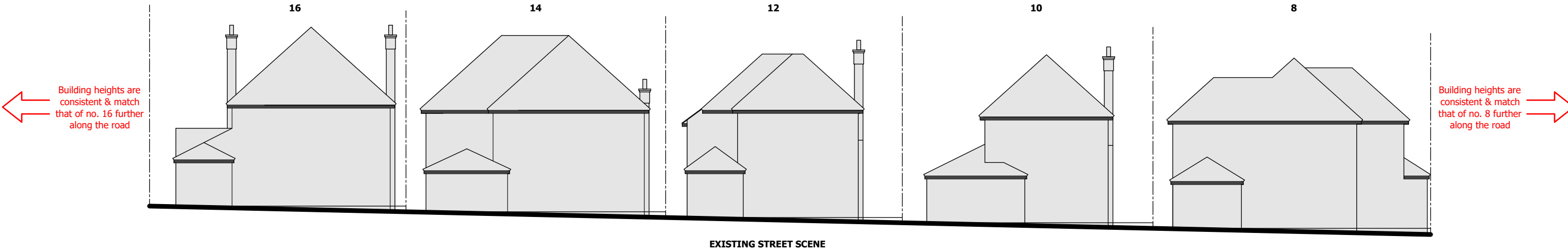
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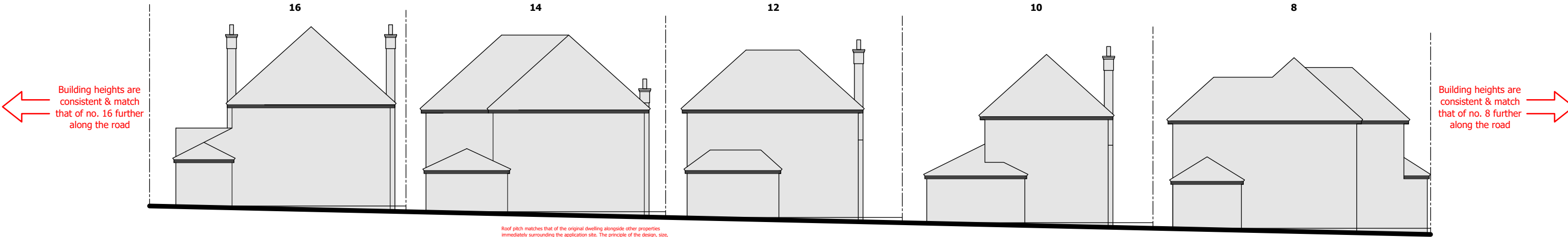
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Date	Rev.	Details
-		



EXISTING STREET SCENE



Roof pitch matches that of the original dwelling alongside other properties immediately surrounding the application site. The principle of the design, size, height, bulk etc. is commonly seen in this area as well throughout Uxbridge; local examples being 4, 8, 12, 14, 15, 25 Belmont Ct. No. 15's crown roof being approx twice as large as our proposal. Other notable mentions are 125 Belmont Rd, 187 & 201 Park Rd, 5 South Common Rd, 2 & 6 Norfolk Rd. As well as 1, 2, 2A, 4, 15, 35, 37 Fairfield Rd. Therefore, the proposed is NOT out of context, character nor design of Belmont Close as well as the wider immediate context

PROPOSED STREET SCENE

PROJECT	Loft extension, single storey rear and porch extension		
ADDRESS	12 Belmont Close, Uxbridge UB8 1RF		
DRAWING	Existing & Proposed Street Scene	DATE	05/2024
REV	SCALE 1/200	PAGE 06	PAPER A3

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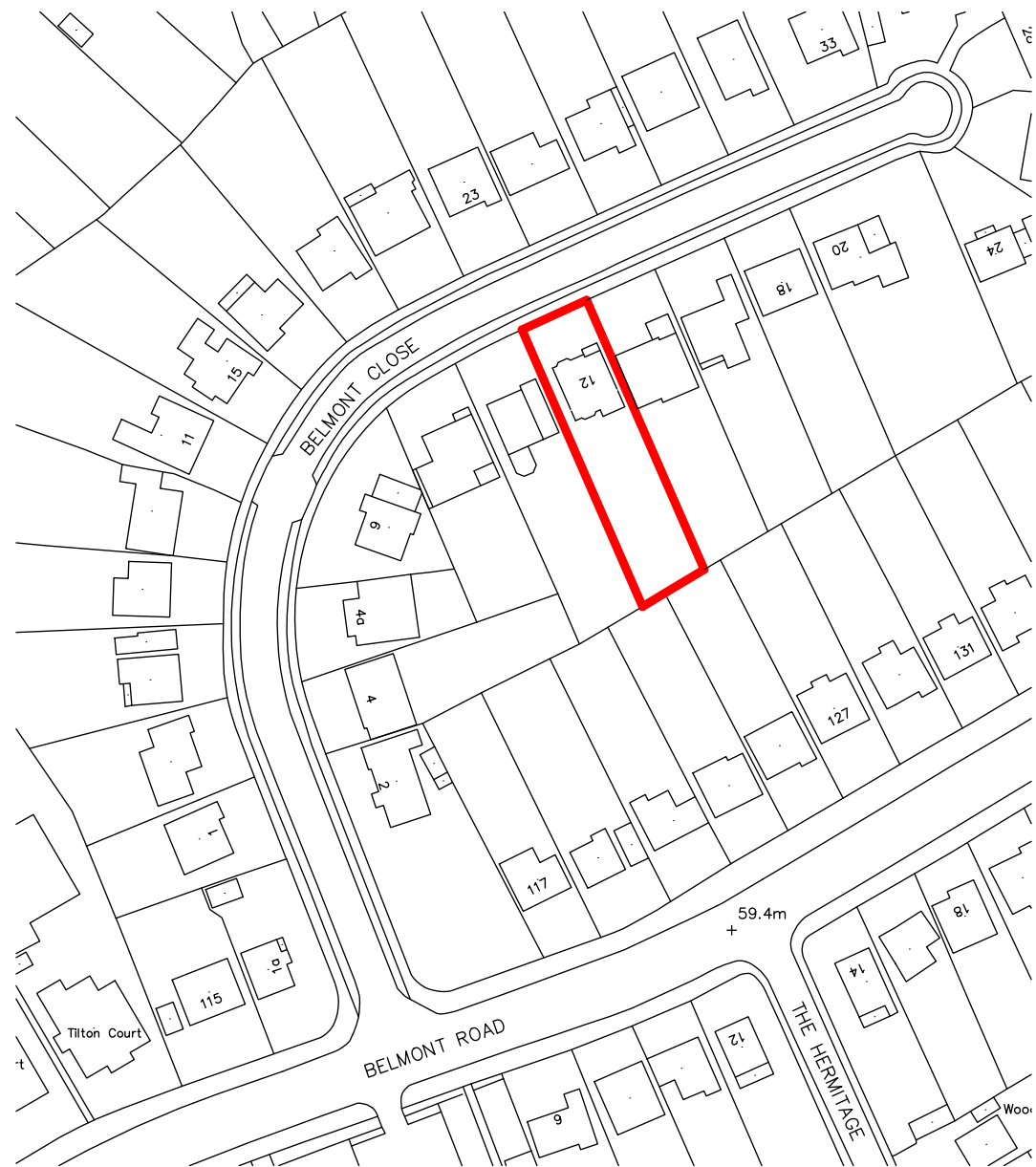
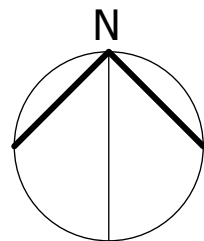
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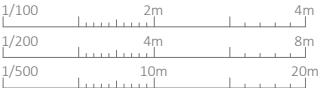


Proposed Site Plan  
1/500



Location Plan  
1/1250

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Date	Rev.	Details
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PROJECT	Loft extension, single storey rear and porch extension		
ADDRESS	12 Belmont Close, Uxbridge UB8 1RF		
DRAWING	Site & Location Plan	DATE	05/2024
REV	SCALE 1/500/1250	PAGE 07	PAPER A3

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