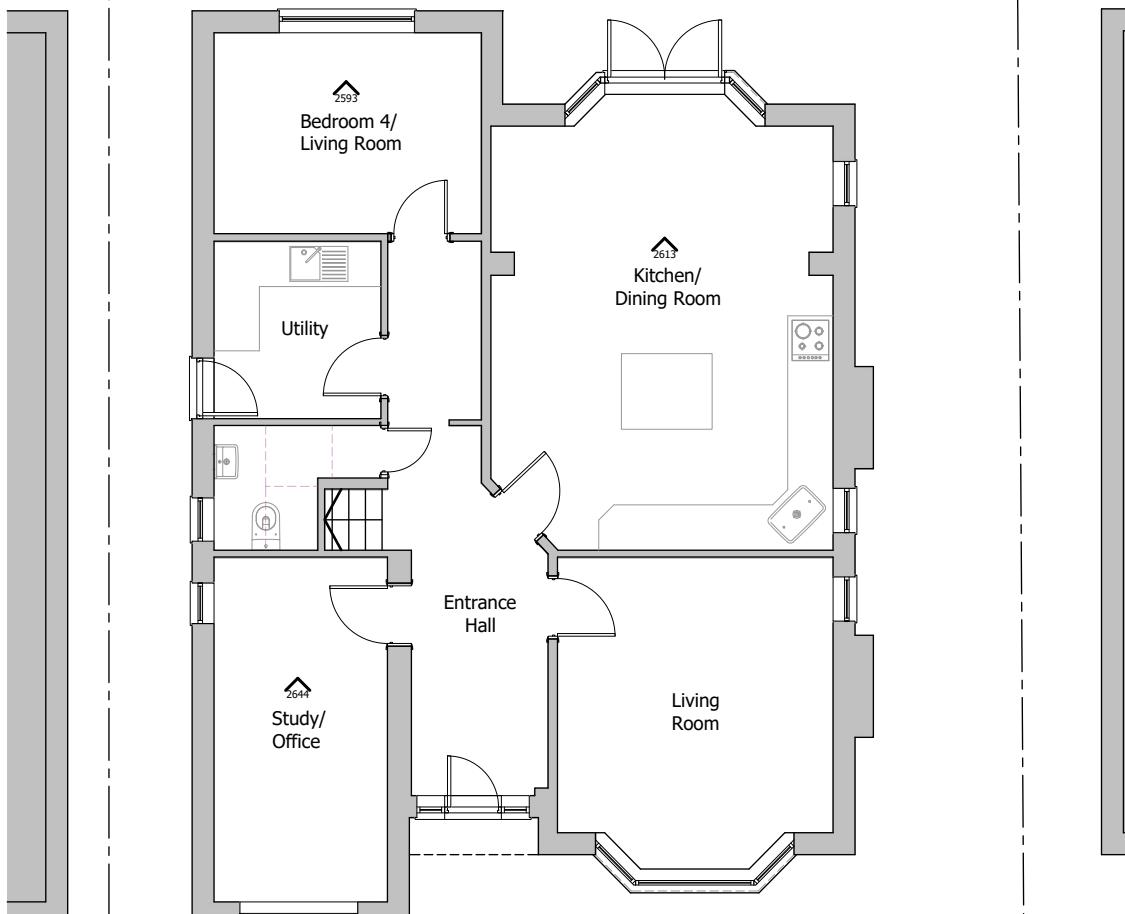
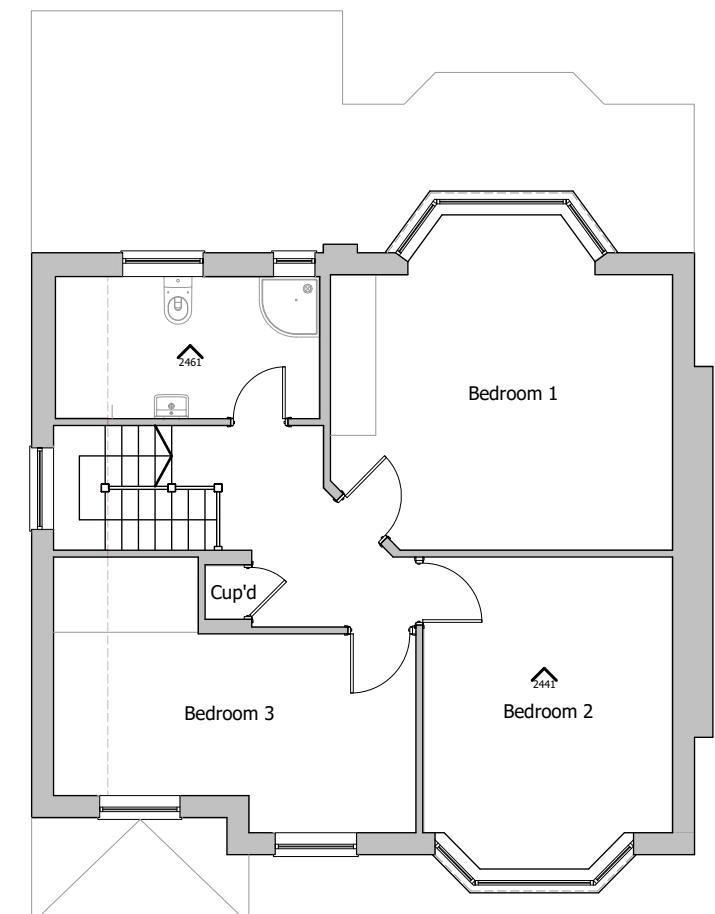


1/100	2m	4m
1/200	4m	8m
1/500	10m	20m

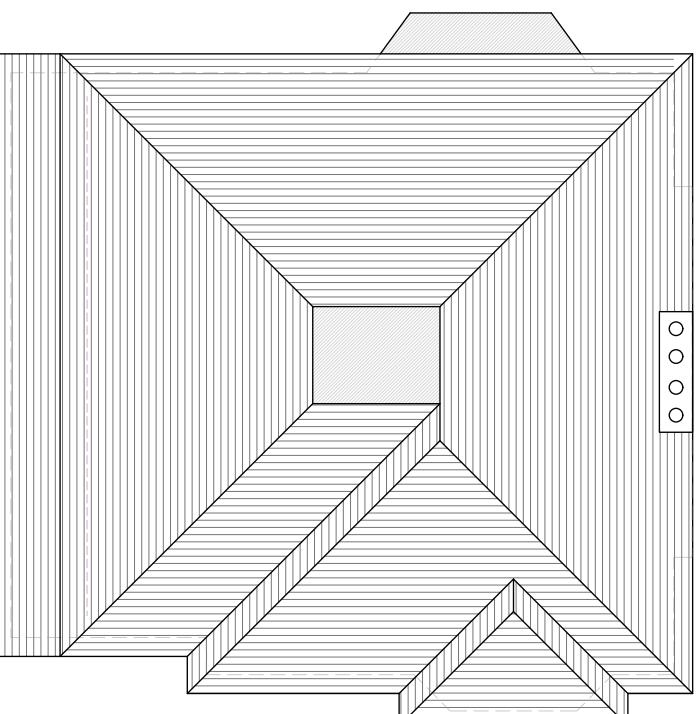
Date Rev. Details



GROUND FLOOR PLAN



FIRST FLOOR PLAN



ROOF PLAN

PROJECT Loft extension, single storey rear and porch extension

ADDRESS 12 Belmont Close, Uxbridge UB8 1RF

DRAWING Existing GA

DATE 05/2024

REV SCALE 1/100

PAGE 01 PAPER A3



BLUEPRINT  
VISTA +  
ARCHITECTURE

Architecture + Interiors + Planning + Engineering

Unit 1 Cowley Mill Trading Estate  
Longbridge Way, Uxbridge  
UB8 2YG

T +44 (0) 7973 663 706

E info@blueprintvista.co.uk

W www.blueprintvista.co.uk

1/100	2m	4m
1/200	4m	8m
1/500	10m	20m

Date	Rev.	Details
-	-	-

Collar roof detail is NOT original and set at a slightly shallower angle than the main roof to which it is connected



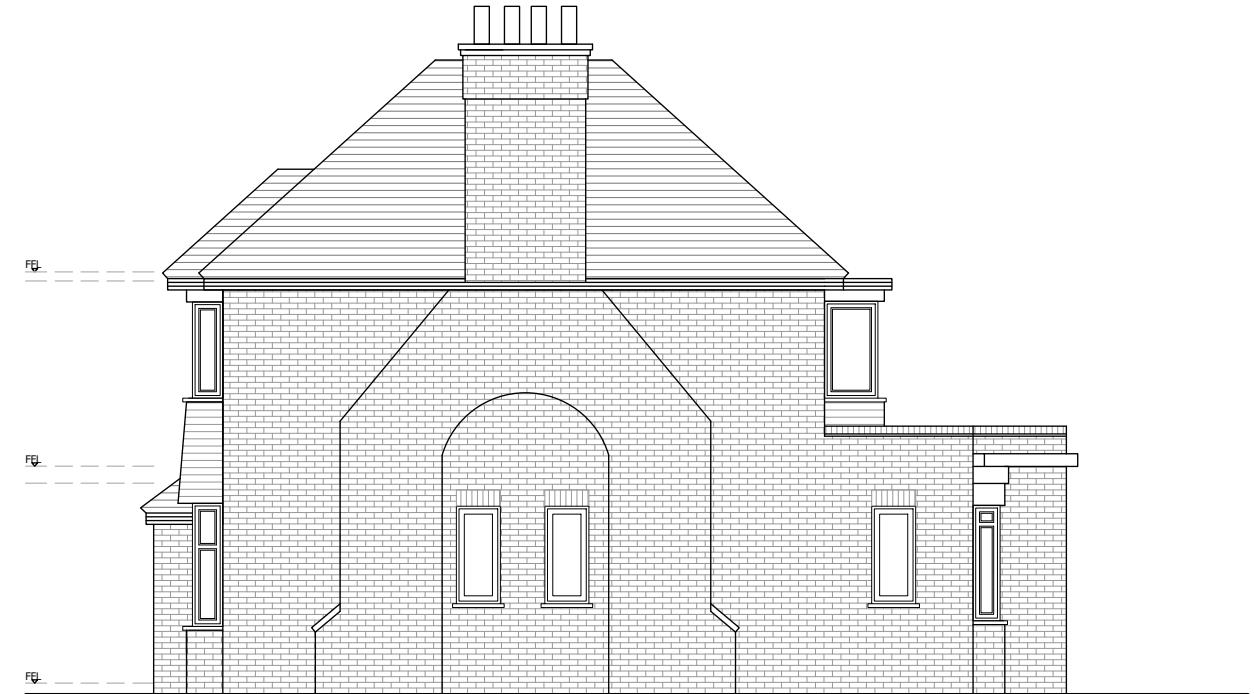
FRONT ELEVATION



FLANK ELEVATION (EAST)



REAR ELEVATION



FLANK ELEVATION (WEST)

PROJECT Loft extension, single storey rear and porch extension

ADDRESS 12 Belmont Close, Uxbridge UB8 1RF

DRAWING Existing GA 2

DATE 05/2024

REV SCALE 1/100

PAGE 02 PAPER A3

BLUEPRINT  
VISTA +  
ARCHITECTURE

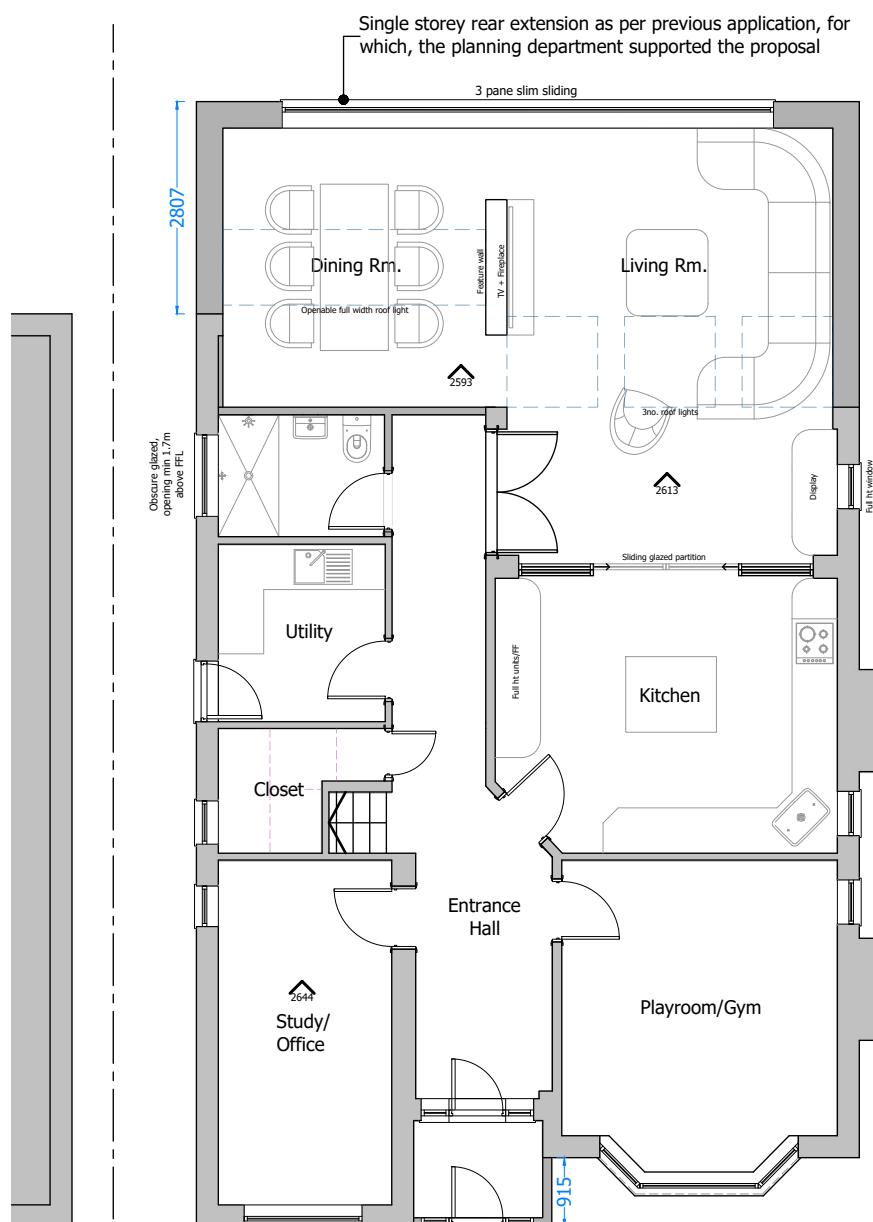
Architecture + Interiors + Planning + Engineering

Unit 1 Cowley Mill Trading Estate  
Longbridge Way, Uxbridge  
UB8 2YG

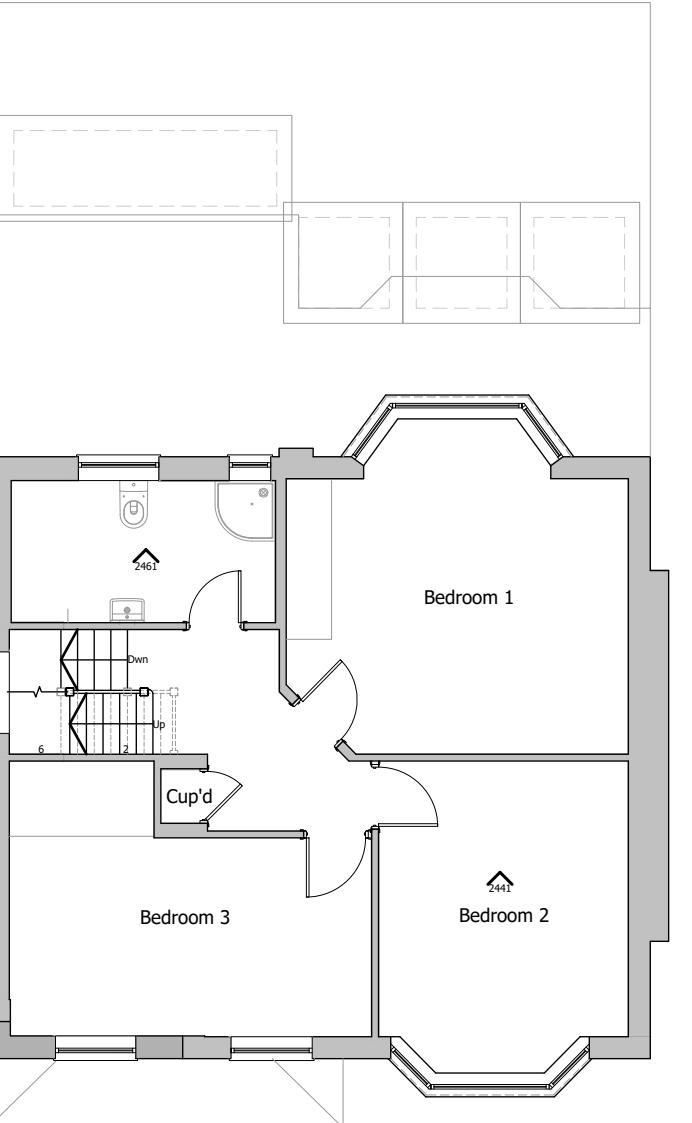
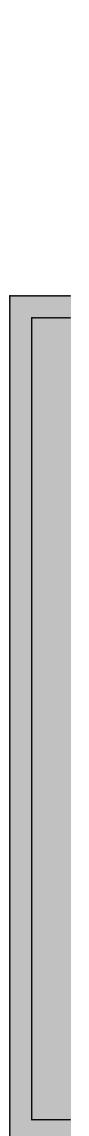
T +44 (0) 7973 663 706  
E info@blueprintvista.co.uk  
W www.blueprintvista.co.uk



Date Rev. Details



GROUND FLOOR PLAN



FIRST FLOOR PLAN

PROJECT Loft extension, single storey rear and porch extension

ADDRESS 12 Belmont Close, Uxbridge UB8 1RF

DRAWING Proposed GA

DATE 05/2024

REV SCALE 1/100

PAGE 03

PAPER A3



BLUEPRINT  
VISTA +  
ARCHITECTURE

Architecture + Interiors + Planning + Engineering

Unit 1 Cowley Mill Trading Estate  
Longbridge Way, Uxbridge  
UB8 2YG

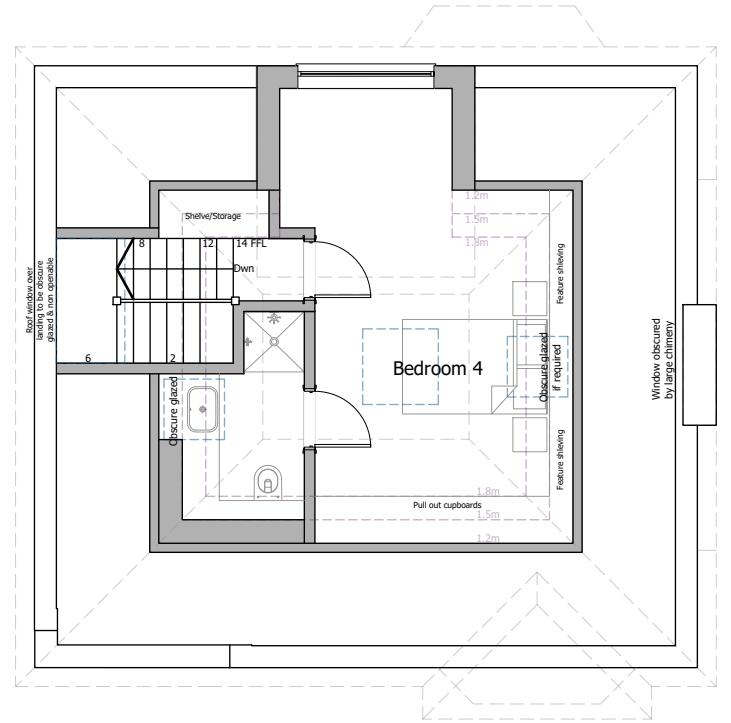
T +44 (0) 7973 663 706  
E info@blueprintvista.co.uk  
W www.blueprintvista.co.uk

1/100	2m	4m
1/200	4m	8m
1/500	10m	20m

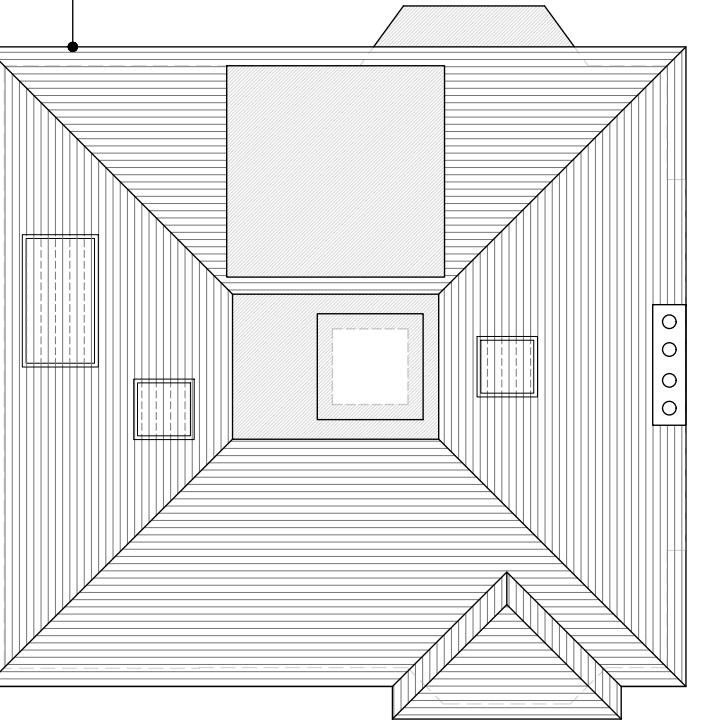
Date Rev. Details

-	-	-
---	---	---

Roof pitch matches that of the original dwelling. The dormer flat roof has been offset to be lower than the ridge. The principle of the design, size, height, bulk etc. is commonly seen in this area as well throughout Uxbridge; local examples being 4, 8, 12, 14, 15, 25 Belmont Cl. No. 15's crown roof being approx twice as large as our proposal. Other notable mentions are 125 Belmont Rd, 187 & 201 Park Rd, 5 South Common Rd, 2 & 6 Norfolk Rd. As well as 1, 2, 2A, 4, 15, 35, 37 Fairfield Rd. Therefore, the proposed is NOT out of context, character nor design of Belmont Close as well as the wider immediate context.



SECOND FLOOR PLAN



ROOF PLAN

PROJECT Loft extension, single storey rear and porch extension

ADDRESS 12 Belmont Close, Uxbridge UB8 1RF

DRAWING Proposed GA 2

DATE 05/2024

REV SCALE 1/100

PAGE 04

PAPER A3  
Unit 1 Cowley Mill Trading Estate  
Longbridge Way, Uxbridge  
UB8 2YG

T +44 (0) 7973 663 706  
E info@blueprintvista.co.uk

W www.blueprintvista.co.uk

BLUEPRINT  
VISTA +  
ARCHITECTURE

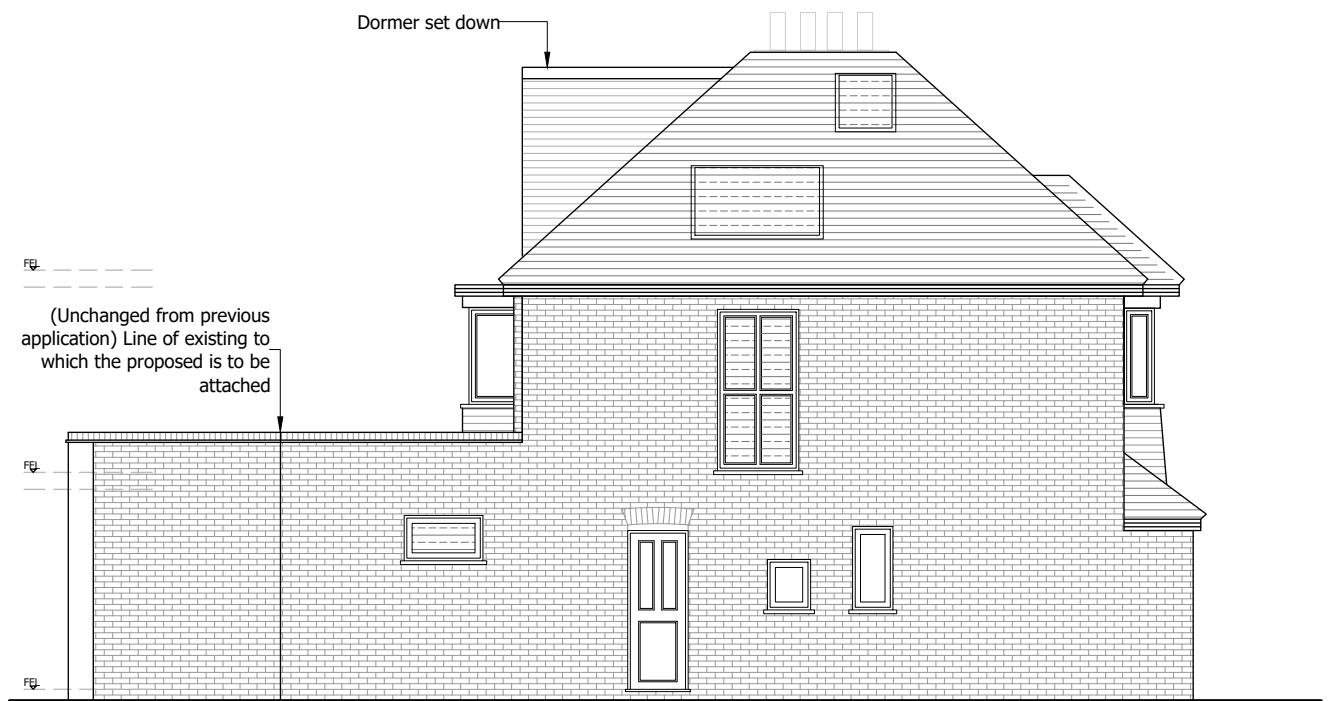
Architecture + Interiors + Planning + Engineering

1/100	2m	4m
1/200	4m	8m
1/500	10m	20m

Date Rev. Details



FRONT ELEVATION



FLANK ELEVATION (EAST)



REAR ELEVATION



FLANK ELEVATION (WEST)

PROJECT Loft extension, single storey rear and porch extension

ADDRESS 12 Belmont Close, Uxbridge UB8 1RF

DRAWING Proposed GA 3

DATE 05/2024

REV SCALE 1/100

PAGE 05

PAPER A3



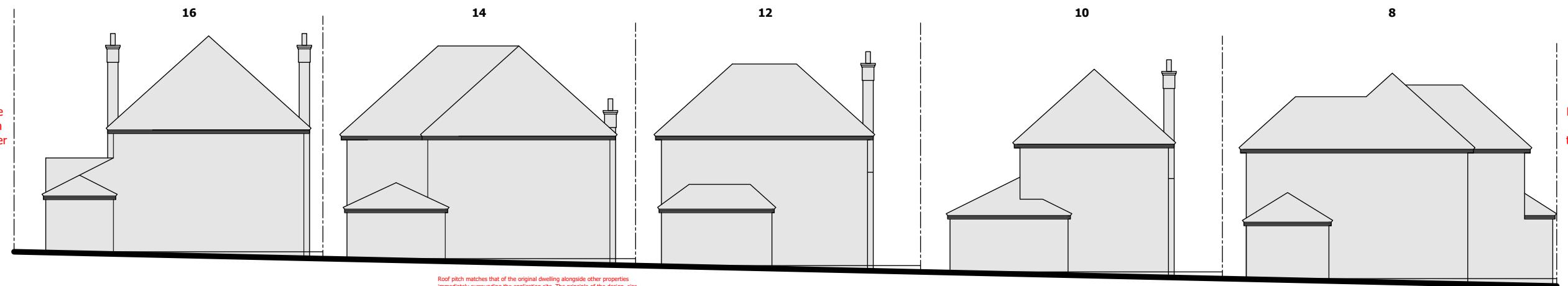
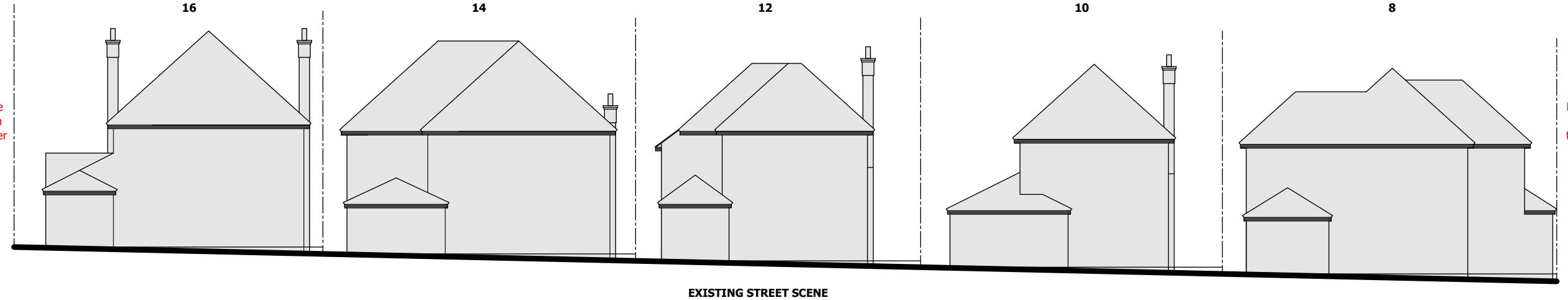
Architecture + Interiors + Planning + Engineering

Unit 1 Cowley Mill Trading Estate  
Longbridge Way, Uxbridge  
UB8 2YG

T +44 (0) 7973 663 706  
E info@blueprintvista.co.uk  
W www.blueprintvista.co.uk

1/100	2m	4m
1/200	4m	8m
1/500	10m	20m

Date	Rev.	Details
-	-	-



Roof pitch matches that of the original dwelling alongside other properties immediately surrounding the application site. The principle of roof design, size, heights, bulk etc. is common seen in the area as well throughout Uxbridge local examples being 4, 8, 12, 14, 15, 25 Belmont Cl. No. 15's crown roof being approx twice as large as our proposal. Other notable mentions are 125 Belmont Rd, 187 & 201 Park Rd, 5 South Common Rd, 2 & 6 Norfolk Rd. As well as 1, 2, 2A, 4, 15, 35, 37 Fairfield Rd. Therefore, the proposed is NOT out of context, character and design of Belmont Close as well as the wider immediate context.

PROJECT Loft extension, single storey rear and porch extension

ADDRESS 12 Belmont Close, Uxbridge UB8 1RF

DRAWING Existing & Proposed Street Scene DATE 05/2024

REV SCALE 1/200 PAGE 06 PAPER A3



BLUEPRINT  
VISTA +  
ARCHITECTURE

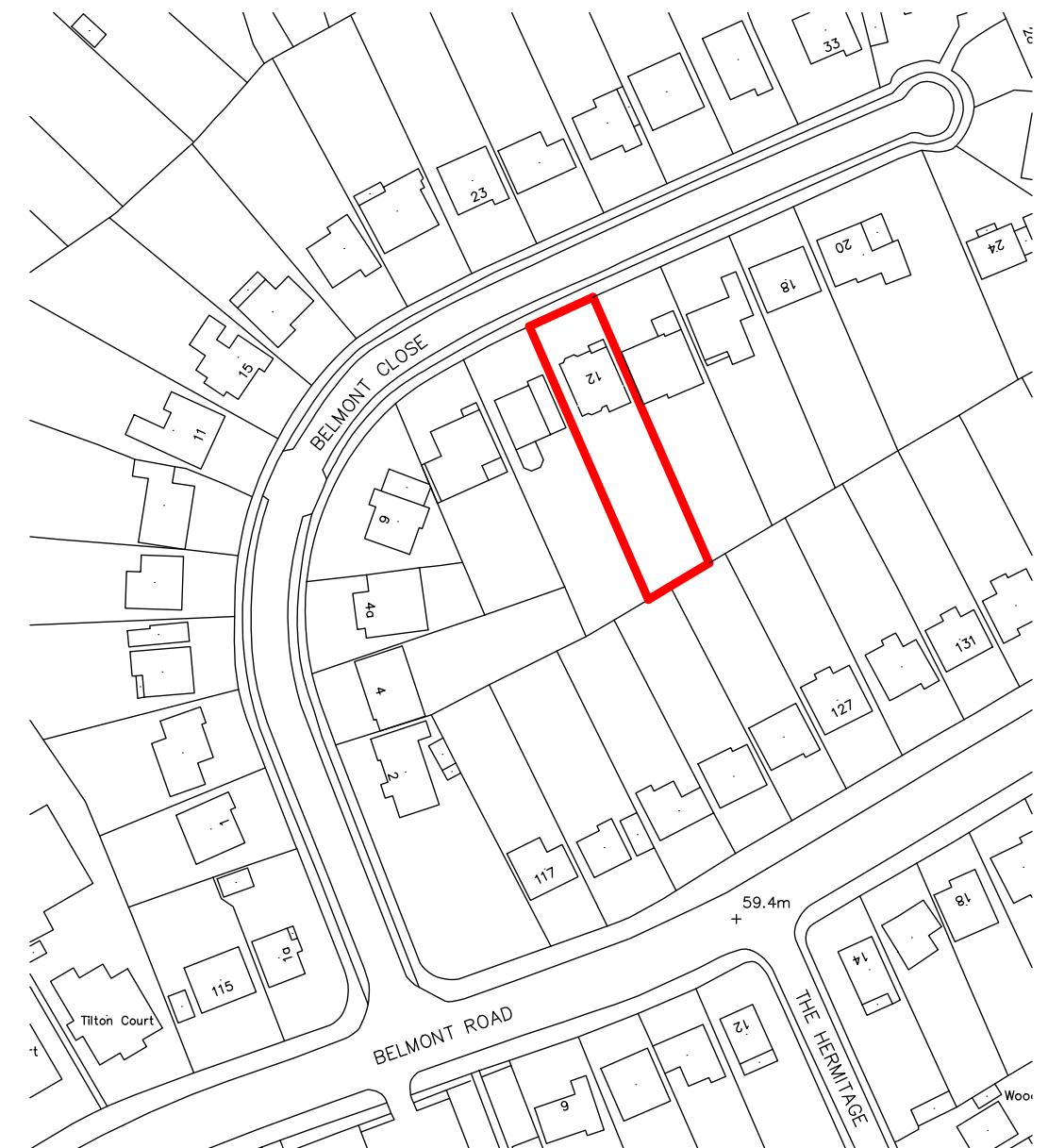
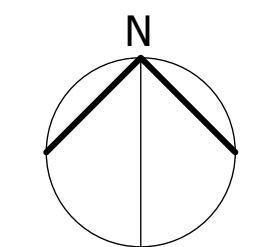
Architecture + Interiors + Planning + Engineering

Unit 1 Cowley Mill Trading Estate  
Longbridge Way, Uxbridge  
UB8 2YG

T +44 (0) 7973 663 706  
E info@blueprintvista.co.uk  
W www.blueprintvista.co.uk

1/100	2m	4m
1/200	4m	8m
1/500	10m	20m

Date	Rev.	Details



PROJECT Loft extension, single storey rear and porch extension

ADDRESS 12 Belmont Close, Uxbridge UB8 1RF

DRAWING Site & Location Plan DATE 05/2024

REV SCALE 1/500/1250 PAGE 07 PAPER A3

Unit 1 Cowley Mill Trading Estate  
Longbridge Way, Uxbridge  
UB8 2YG

T +44 (0) 7973 663 706

E info@blueprintvista.co.uk

W www.blueprintvista.co.uk