

Design and Access Statement

Attic Conversion

6A Highfield Road
HA6 1ET

February 28th 2026
Rev. 04

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1.0 Site Photos



Front of 6a Highfield Road



Rear of 6a Highfield Road



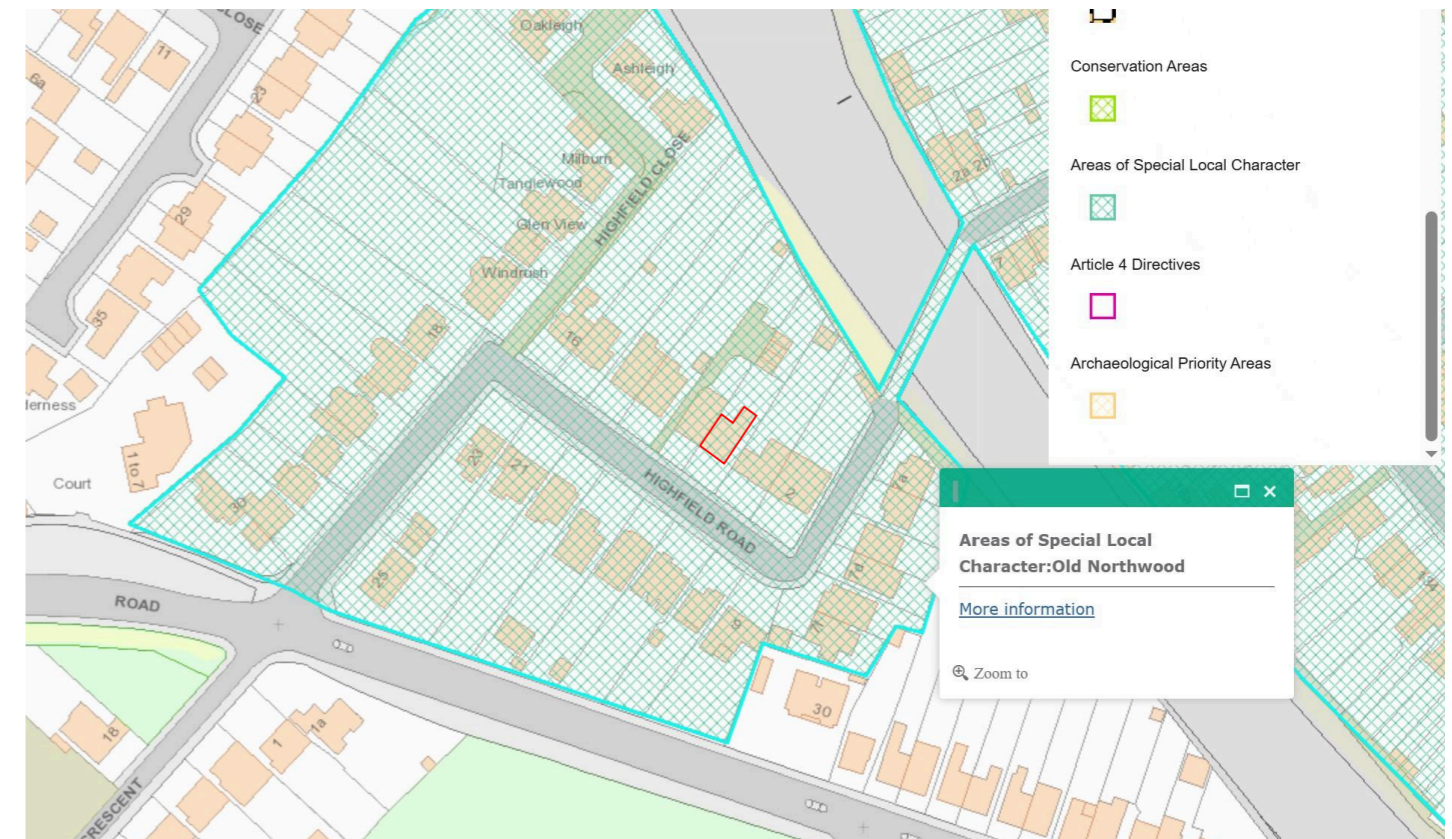
Rear of 6a Highfield Road



Rear garden to 6a Highfield Road

2.0 Planning Statement

- 2.1 This planning application proposes the creation of attic level accommodation to flat 6a Highfield Road including a 2.2 metre wide rear dormer, one conservation roof light to the front elevation and one roof light to the side elevation. It is also proposed to remove the wall between the first floor living room and kitchen to create a combined living, kitchen and dining room as has been done at the adjoining property at 8A Highfield Road. It is also proposed to remove the wall between the first floor bathroom and W.C.
- 2.2 The property is in Old Northwood Area of Special Local Character and comprises a two-bedroom apartment occupying the first floor of the original semi-detached house. The adjacent first floor apartment on the other side of the semi-detached house party wall (8A Highfield Road) benefits from planning approval for an identical attic conversion incorporating a rear dormer window (Ref. 042/APP/2022/875) and an identical first floor wall removal to create a combined kitchen, living room and dining room (Ref. 31042/APP/2020/4025).
- 2.3 This planning application is for an identical attic conversion including rear dormer, front and side roof lights to consented application 042/APP/2022/875 for number 8a Highfield Road.
- 2.4 Consented application 042/APP/2022/875 followed a series of similar attic conversion applications for 8a Highfield Road which are itemised in the chronology schedule on page 4 which includes the approved and rejected elevation drawings for each application.
- 2.5 The aim of 8a Highfield Road applications preceding consented application 042/APP/2022/875 (64689/APP/2020/3495, 31042/APP/2021/2667 and 31042/APP/2021/3552) was to gain consent for a wider rear dormer than the 1800mm wide dormer consented under application 31042/APP/2020/4025.
- 2.6 During the course of three applications dialogue between the Planning Case Officer and Hillingdon's Conservation Officer led to acceptable proposal 042/APP/2022/875.
- 2.7 Rejected application 64689/APP/2020/3495 was for a 2400 wide flat roof dormer.
- 2.8 Rejected application 31042/APP/2021/2667 was for a 3960 wide flat roof dormer.
- 2.9 Rejected application 31042/APP/2021/3552 was for a 2200 wide flat roof dormer.
- 2.10 The case officer's report for the application that preceded successful 8a application 042/APP/2022/875 (application 31042/APP/2021/3552) included comments from the conservation officer (not recorded in the case officer's reports for previous applications) which provided suggestions for a revised application.
- 2.11 *Conservation Officer:*
8A appears to be a first floor maisonette dwelling within an Edwardian building. The property has the external appearance of the semi-detached house and includes a number of characteristic features. The building has a symmetrical appearance and to the front it features bay windows at ground floor, recessed entrance doors under an attractive open porch, and projecting gables with mock timber detailing at roof level. At ground floor the building is externally finished in a red brick, whilst the first floor is finished in a pebble dash render. The main roof is hipped and finished in a plain tile. The right hand side retains decorative ridge tiles. As existing the roofscape along Highfield Road is relatively unaltered. The proposed dormer would establish a significant precedent within the area therefore, it is important it is appropriately well-designed. The proposed rear box dormer would fail to relate to the character of the Edwardian property. The proportions of the casements to the dormer would fail to relate to



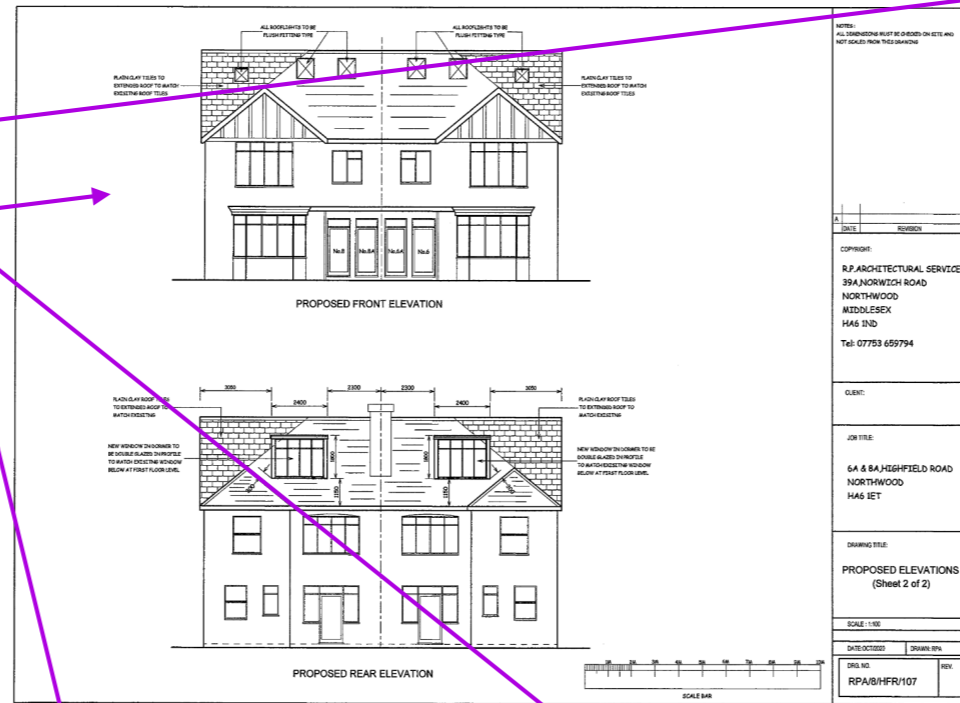
Hillingdon Council map showing extent of Old Northwood Area of Special Local Character

the existing property, and the box form would result in an incongruous addition to the dwelling. It is recommended the dormer is amended to include a pitched roof form and the proportions of the window casements match the existing building or are proportionately smaller. Roof lights along the front roof slope is not a characteristic feature of the existing building or street scene. Ideally the roof lights would need to be omitted. If a compromise was to be made a single conservation roof light could be considered. In any instance all roof lights would need to be a traditional conservation roof lights, externally finished black with a central genuine glazing bar. They would need to be installed completely flush along the roof line, to ensure they appear as subtle additions to the roof. Conclusion: Amendments required.

- 2.12 The subsequent 8a application 042/APP/2022/875 incorporated the conservation officer's advice proposing a rear dormer with a hipped and pitched roof, dormer window casements proportionately smaller than those on the previous application, and the new rooflights to the front and side elevations with a central genuine glazing bar.
- 2.13 Before application 042/APP/2022/875 was submitted pre-application advice was sought and the pre-application advice proposal incorporated the conservation officer's advice as above.
- 2.14 The case officer for the pre-application advice was Mr James Wells and before his written advice was issued a Teams meeting took place on 07.03.22 during which Mr Wells stated that he was happy with the proposals and that it should be submitted straight away as a 'free go' and there was no need to wait for his written advice as this would take some time.
- 2.15 This attic conversion proposal for 6a Highfield Road is an exact mirror image of the consented proposal for 8a Highfield Road.
- 2.16 James Wells pre-application advice letter is reproduced in full on page 5.

3.0 Planning History

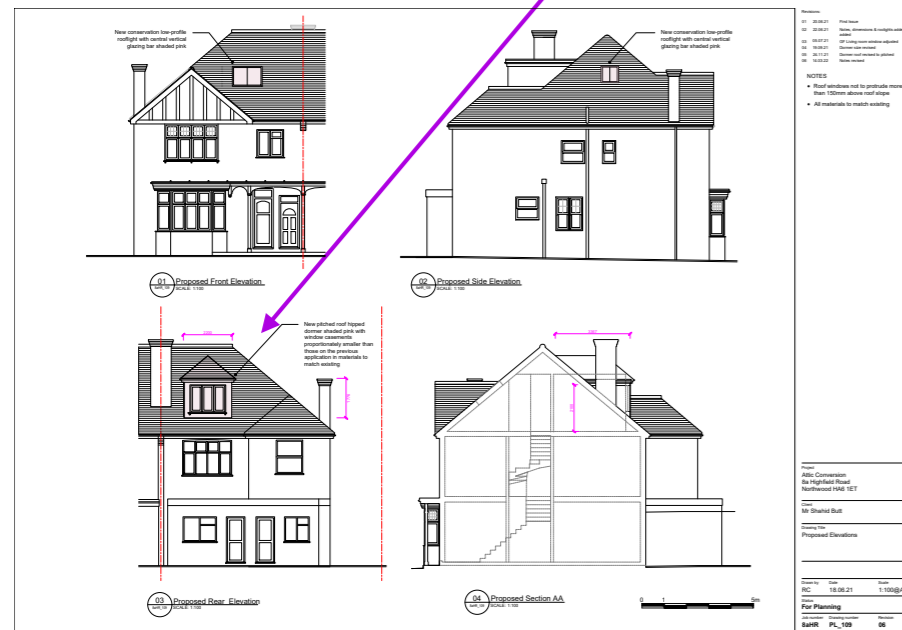
Planning Application Chronology		8a Highfield Road Northwood HA6 1ET		19/11/2025
Tue	29.9.20	Application for hip to gable and rear dormer application - Refused	31042/APP/2020/2191	
Wed	27.1.21	Application for conversion of roof space to habitable use to include a rear dormer and 3 rooflights with 1800 wide rear dormer with flat roof - Consented	31042/APP/2020/4025	
Thu	4.2.21	Application for 6a and 8a hip to gable and rear dormer - Refused	64689/APP/2020/3495	
Wed	14.7.21	Rear dormer 3960 wide with flat roof - Refused	31042/APP/2021/2667	
Mon	20.9.21	Application for rear dormer 2200 wide with flat roof - Refused	31042/APP/2021/3552	
Thu	2.12.21	Email from Hardev Gill <hgill@hillingdon.gov.uk> re amended dormer design for new application		
Mon	31.1.22	Email to James Wells enclosing revised proposals for preapplication advice following conservation officers concerns illustrating 2200 wide pitched and hipped roof rear dormer with one front and one side rooflight		
Thu	3.2.22	Acknowledgement	8214/PRC/2022/19	
Mon	7.3.22	Teams meeting with James Wells re preapplication advice JW advised submitting as proposed in the prepapp proposal as a 'free go' as ap as his formal preapplication response letter could take some time.		
Mon	14.3.22	Application for 2200 wide pitched and hipped rear dormer - Approved	31042/APP/2022/875	
Fri	1.4.22	Letter from James Wells confirming outcome of preapplication Teams meeting		



Planning Application History for 8a Highfield Road

Refused Planning Application 64689/APP/2020/3495 Rear Elevation

Consented Planning Application 31042/APP/2020/4025 Rear Elevation



Consented Planning Application 31042/APP/2022/875 Rear Elevation

Refused Planning Application 31042/APP/2021/3552 Rear Elevation

Refused Planning Application 31042/APP/2021/2667 Rear Elevation

4.0 Previous Correspondence with Hillingdon Planning Department regarding 8a Highfield Road



Planning Applications Team
London Borough of Hillingdon
Civic Centre, High Street
Uxbridge UB8 1UW
Tel: 01895 250230
Case Officer: James Wells
Email: JWells@hillingdon.gov.uk
Date: 1st April 2022
Our Ref: 31042/PRC/2022/19

Roger Castle
68 Prayle Grove
London
NW2 1BE

Dear Roger Castle

RE: Conversion of roof space to habitable use to include a rear dormer and 2 roof lights.

SITE: 8a Highfield Road Northwood

I refer to your request for pre-application planning advice dated 21.02.22 and our subsequent meeting on 07.03.22 relating to the above development. The advice provided is based on the following drawings and documents issued to the Local Planning Authority for consideration:

Plan Numbers: PL 001 - Location plan and block plan - received 21 Feb 2022
PL 100 - Existing Ground Floor plan - received 21 Feb 2022
PL 101 - Existing First Floor plan - received 21 Feb 2022
PL_103 - Existing Roof plan - received 21 Feb 2022
PL_104 - Existing Front, Side and Rear Elevations - received 21 Feb 2022
PL_107 - Proposed Second Floor plan - received 21 Feb 2022
PL_108 - Proposed Roof plans - received 21 Feb 2022
PL_109 - Proposed Front, Side and Rear Elevations - received 21 Feb 2022
Design and access statement - received 21 Feb 2022

Outlined below is a preliminary assessment of the proposal, including an indication of the main issues that should be addressed should you choose to submit a formal planning application. Please note that the views expressed in this letter represent officer opinion only and cannot be taken to prejudice the formal decision of the Council in respect of any subsequent planning application, on which consultation would be carried out which may raise additional issues. In addition, the depth of analysis provided corresponds with the scope of information made available to Council officers.

The Site and Surrounds

The site is located on the north-east side of Highfield Road. It is o



occupied by a two storey, semi-detached brick and tile property with mock tudor details and a hipped roof, comprising two maisonettes. The application involves the top floor maisonette.

The area is mainly residential in character and appearance, generally comprising two storey, detached and semi-detached houses. The Metropolitan railway line is located approximately

50m to the north-east of the property. The site lies within the Old Northwood Area of Special Local Character (ASLC) and has a Public Transport Accessibility Level (PTAL) of 2.

Planning History

At 8A Highfield Road, application ref. 31042/APP/2021/3552 for the proposed conversion of roof space to habitable use to include a rear dormer and 3 rooflights was refused in November 2021 for the following reason:

"The proposed rear dormer, by reason of its combined size, scale and form would fail to harmonise with the architectural composition of the original dwelling, unbalance the relationship with the attached pair, would be detrimental to the character and appearance of the context of which it forms a part and to the visual amenities of the street scene and the surrounding area. Therefore the proposal would be contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (2012) and Policies DMHB 5, DMHB 11, DMHB 12 and DMHD 1 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020)."

This refusal followed a long planning history relating to roof extensions at the property.

The Proposal

The proposal is to erect a rear dormer roof extension (including conversion of roofspace into habitable use) and two rooflights, one on the front roof slope and one on the side roof slope.

Planning Policy

Development Plan

Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

The Development Plan for the London Borough of Hillingdon currently consists of the following documents:

The Local Plan: Part 1 - Strategic Policies (2012)
The Local Plan: Part 2 - Development Management Policies (2020)
The Local Plan: Part 2 - Site Allocations and Designations (2020)
The London Plan (2021)
The West London Waste Plan (2015)

Material Considerations

The National Planning Policy Framework (NPPF) (2021) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.

The proposed development has been assessed against the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan (2021) and national guidance:

Part 1 Policies:

PT1.BE1 (2012) Built Environment
PT1.HE1 (2012) Heritage

Other Policies:

DMHB 1 Heritage Assets

John Wells pre-application advice letter page 1

safeguarding of heritage assets, designated and un-designated, and their settings; and v) landscaping and tree planting to protect and enhance amenity, biodiversity and green infrastructure.

Policy DMHD 1 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) requires that alterations and extensions of dwellings should not have an adverse cumulative impact on the character and appearance or quality of the street scene, and should appear subordinate to the original house. It advises about various design criteria relating to extensions and alterations.

With regard to roof extensions Policy DMHD 1 states:

- roof extensions should be located on the rear elevation only, be subservient to the scale of the existing roof and should not exceed more than two thirds the average width of the original roof. They should be located below the ridge tiles of the existing roof and retain a substantial element of the original roof slope above the eaves line;
- the Council will not support poorly designed or over-large roof extensions including proposals to convert an existing hipped roof to a gable;
- raising of a main roof above the existing ridge line of a house will generally not be supported;
- all roof extensions should employ appropriate external materials and architectural details to match the existing dwelling; and
- in Conservation Areas, Areas of Special Local Character and on Listed and Locally Listed Buildings, roof extensions should take the form of traditional 'dormer' windows, on the rear elevation, to harmonise with the existing building. The highest point of the dormer should be kept well within the back roof slope, away from the ridge, eaves or valleys, whilst each window should match the proportions, size and glazing pattern of the first floor windows.

The rear dormer and both the rooflights will be located below the ridge tiles of the existing roof and retain a substantial element of the original roof slope above the eaves line. The rear dormer will be constructed in matching materials. It will have a hipped roof with 3 window casements. It will be approximately 3.37m deep, 2.45m wide and 2.6m high to its ridge. The rooflights will be conservation, low-profile rooflights, each with a central, vertical glazing bar shaded pink. The front rooflight will be approximately 1.3m wide and 0.8m high and the side rooflight will be approximately 0.8m wide and 0.75m high.

The Conservation and Design Officer has been consulted on the application given the property forms part of the Old Northwood Area of Special Local Character (ASLC), a non-designated heritage asset. The conservation officer has raised no objection to the proposal stating:

"As existing the roof scape along Highfield Road is relatively unaltered. The proposed dormer would establish a significant precedent within the area therefore, it is important it is appropriately well-designed. The design of the dormer appears to have been amended in accordance with comments from the previous refused application. Subject to all external materials to the dormer matching the existing building there would be no objections from a conservation perspective. All conservation roof lights would need to be installed completely flush along the roof line, to ensure they appear as subtle additions to the roof."

The changes proposed are therefore welcome and as a result overcome the previous reason for refusal. Conditions could adequately control the finish of rooflights and materials on any grant of planning permission.

3. Amenity

Policy DMHB 11 B) of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) requires that development proposals should not adversely impact on the amenity, daylight and sunlight of adjacent properties and open space.

Given their location at roof level, the rear dormer and both the rooflights are not considered

John Wells pre-application advice letter page 5

John Wells pre-application advice letter page 2

to have an adverse impact on the amenity, daylight and sunlight of adjacent properties.

Private outdoor amenity space

The proposed development will increase the number of bedrooms at no. 8A from 2 to 3. The rear garden of no. 8A appears to exceed the area required for a 3+ bedroom flat in Policy DMHB 18 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) and set out in Table 5.3.

4. Highways

Parking provision will not be affected by the proposals.

5. Other

Energy

Policies EM 5 and DME1 2 of the Local Plan seek a contribution from all development to a reduction in carbon emissions and encourage the use of renewable energy. The potential for renewable energy technologies such as PV's and heat pumps as part of any future development should be explored.

Access

Any future planning application would need to provide plans detailing compliance with the prescribed standards set out in Approved Document M to the Building Regulations 2010 (2015 edition), clearly detailing the required dimensions and clear access zones within entrance lobbies, passageways living areas, bathrooms and bedrooms.

Crime Prevention

The design and layout should also have regard to secure by design principals. You may wish to contact the Metropolitan Police's Secure by Design Officer, PC Robert Palin who can be contacted on 020 8733 5245 or by e-mail on Robert.Palin@met.pnn.police.uk.

6. Planning Obligation and CIL (Mayor and LBH)

S106 PLANNING OBLIGATIONS

It is not considered that any planning obligations will be required.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

The Council adopted its own Community Infrastructure Levy (CIL) on August 1st 2014. The Hillingdon CIL charge for residential developments of 100sqm or more is £95 per square metre of additional floorspace. This is in addition to the Mayoral CIL charge of £60 per square metre of additional floorspace

7. Application Submission

The Council has an adopted Local Planning Validation Checklist (June 2020) that sets out in full the drawings and documents required to support applications for planning permission.

Should you require further information, please refer to the Council's website: <https://www.hillingdon.gov.uk/apply-planning-permission>.

8. Conclusion

Subject to all external materials to the dormer matching the existing building there would be no objections from a conservation perspective. The conservation roof lights would need to be installed completely flush along the roof line, to ensure they appear as subtle additions to the roof.

John Wells pre-application advice letter page 6

John Wells pre-application advice letter page 3

The rear dormer and both the rooflights will be located below the ridge tiles of the existing roof and retain a substantial element of the original roof slope above the eaves line, in accordance with the design guidance in Policy DMHD 1 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) and could be supported by the Council.

Please be advised that the Council require confirmation that you wish to enter into a PPA as soon as possible, in order to ensure the necessary resource are in place to meet the terms of the PPA.

Thank you for entering into the Councils pre-application advice service and I trust you have found this service of assistance.

James Wells
Planning Team Leader
Major Applications Team
London Borough of Hillingdon

Planning Guarantee

For complex applications which are likely to exceed the statutory timeframes, the applicant is encouraged to enter into a Planning Performance Agreement (PPA) to allow for the negotiation of complex cases. Central Government encourages the use of PPAs for larger and more complex planning proposals to bring together the developer, the Local Planning Authority and key stakeholders to work in partnership throughout the planning process.

Providing a PPA helps ensure that major proposals progress through the application process in a timely fashion and result in high quality development but the service is both time consuming and costly. The charge for all Planning Performance Agreements will ensure that adequate resources and expertise can be provided to advise on major development proposals, the charges are determined in a site by site basis.

Hillingdon are committed to ensure the best possible service provision to all of our applicants. In order to ensure this, we will not be able to facilitate negotiation which would result in an application being determined outside of statutory timeframes, unless the applicant has entered into a Planning Performance Agreement.

DMHB 11 Design of New Development
DMHB 12 Streets and Public Realm
DMHB 18 Private Outdoor Amenity Space
DMHB 5 Areas of Special Local Character
DMHD 1 Alterations and Extensions to Residential Dwellings
DMT 5 Pedestrians and Cyclists
DMT 6 Vehicle Parking
LPP D3 (2021) Optimising site capacity through the design-led approach
LPP D6 (2021) Housing quality and standards
LPP HC1 (2021) Heritage conservation and growth
NPPF12 NPPF 2021 - Achieving well-designed places
NPPF16 NPPF 2021 - Conserving & enhancing the historic environment

Main Planning Issues

1. Principle of development

The site is located in the developed area of the Borough, where the extension and alteration of an existing residential dwelling is acceptable in principle subject to compliance with other relevant policies as set out in this report.

2. Design

Policy D3 of the London Plan (2021) states, inter alia, that "development proposals should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape, with due regard to existing and emerging street hierarchy, building types, forms and proportions."

Policy BE1 of the Hillingdon Local Plan (November 2012) requires that all new development achieves a "high quality of design in all new buildings, alterations and extensions".

Policy DMHB 5 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) states that:

- Within Areas of Special Local Character, new development should reflect the character of the area and its original layout. Alterations should respect the established scale, building lines, height, design and materials of the area.
- Extensions to dwellings should be subservient to, and respect the architectural style of the original buildings and allow sufficient space for appropriate landscaping, particularly between, and in front of, buildings.
- The replacement of buildings which positively contribute to the character and local importance of Areas of Special Local Character will normally be resisted.

Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) states that all development, including extensions, alterations and new buildings will be required to be designed to the highest standards and, incorporate principles of good design including:

- harmonising with the local context by taking into account the surrounding: scale of development, considering the height, mass and bulk of adjacent structures; building plot sizes and widths, plot coverage and established street patterns; building lines and setbacks, rooflines, streetscape rhythm, for example, gaps between structures and other streetscape elements, such as degree of enclosure; architectural composition and quality of detailing; local topography, views both from and to the site; and impact on neighbouring open spaces and their environment.
- ensuring the use of high quality building materials and finishes;
- ensuring that the internal design and layout of development maximises sustainability and is adaptable to different activities;
- protecting features of positive value within and adjacent to the site, including the

John Wells pre-application advice letter page 4

castleroger@gmail.com

From: Hardev Gill <hgill@hillingdon.gov.uk>
Sent: 02 December 2021 17:23
To: castleroger@gmail.com
Cc: 'Shahid Butt'
Subject: RE: 31042/APP/2021/3552 8A Highfield Road

Dear Roger,

In this instance, I would advise going for pre-application advice. Unfortunately the proposed dormer would have to be finely balanced to meet both your wants and to address the Conservation Officers concerns, which would be greater than the advice I would be able to offer you, as it would require a full consultation with them.

If you have any further questions, please do not hesitate to contact me.

Kind regards

Hardev Gill
Planning Officer
Residents Services
London Borough of Hillingdon
Civic Centre (3N/02)
Uxbridge
UB8 1UW
Tel: 01895 250 230

Please note that the comments made in this email represent officer opinion and cannot be seen to prejudice the Local Planning Authority's formal determination in relation to any application or planning matter.

From: castleroger@gmail.com <castleroger@gmail.com>
Sent: 29 November 2021 08:04
To: [Hardev Gill <hgill@hillingdon.gov.uk>](mailto:Hardev.Gill@hillingdon.gov.uk)
Cc: planning@hillingdon.gov.uk; 'Shahid Butt' <shahid.butt@defa.co.uk>
Subject: 31042/APP/2021/3552 8A Highfield Road

You don't often get email from castleroger@gmail.com. [Learn why this is important](#).

Dear Mr Gill

With respect to your recent refusal for a slightly larger rear dormer please could you tell me if the enclosed revised drawings would be acceptable as the new pitched roof dormer and single conservation rooflight proposal addresses the conservation officers comments contained in your report?

Would it be advisable to raise a pre-application enquiry to determine acceptability or could you give me some initial advice?

Should these proposals be acceptable would it be possible to have a 'free go' at a revised application?

Thank you.

Kind Regards

Roger Castle
Architect

Email from Hardev Gill recommending pre-application advice before applying for a wider rear dormer

5.0 Existing Location and Block Plan



Revisions:
01 23.08.25 First Issue

- KEY**
- The Freehold land shown edged with red on the plan of the above Title filed at the Registry and being 6a Highfield Road, Northwood (HA6 1ET).
 - As to the part tinted blue on the filed plan only the first floor flat is included in the title

Project
Attic Conversion
6A Highfield Road
Northwood HA6 1ET

Client
Linval Anderson

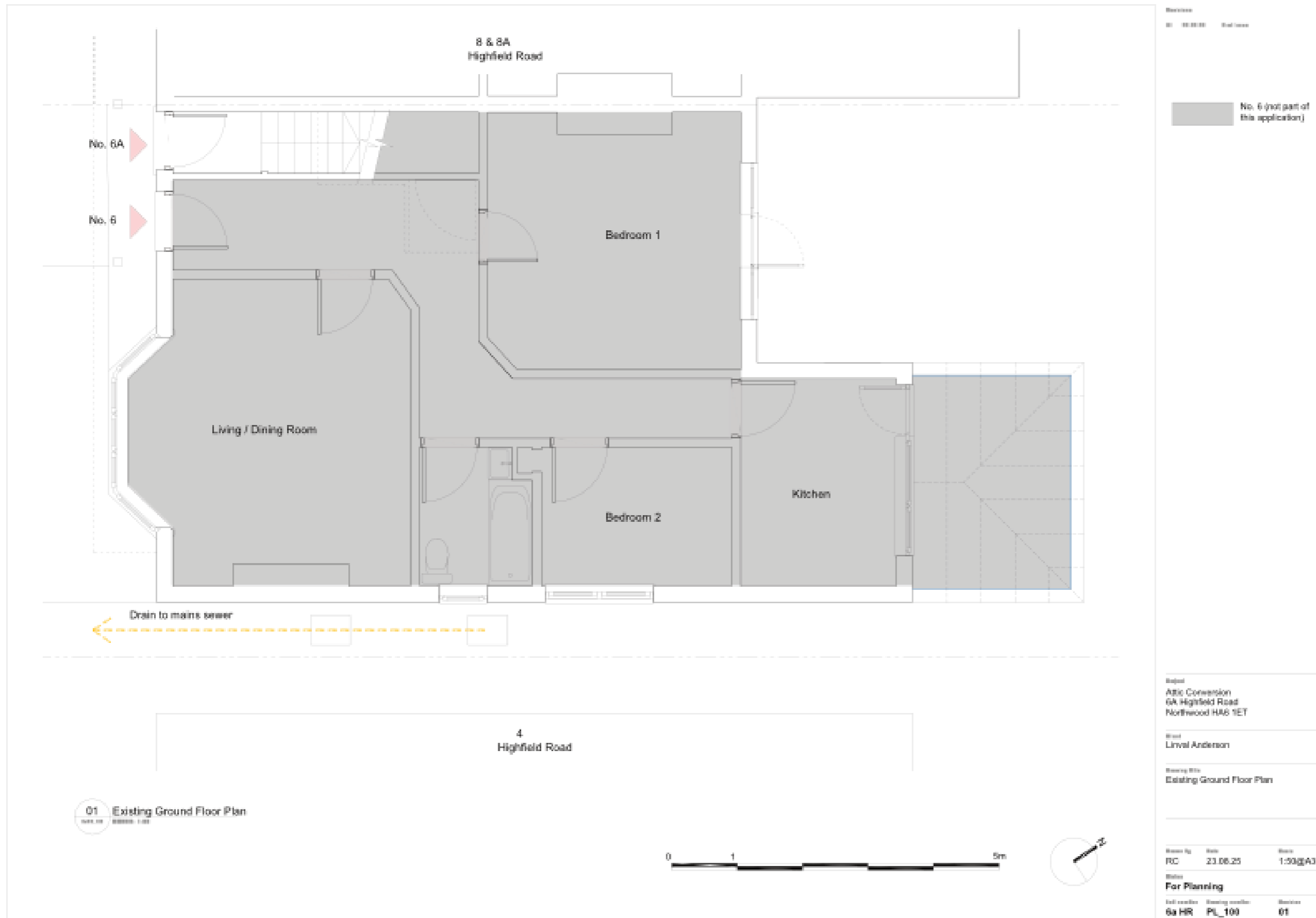
Drawing Title
Location Plan and Block Plan
Existing

Drawn by	Date	Scale
RC	23.08.25	Varies@A3

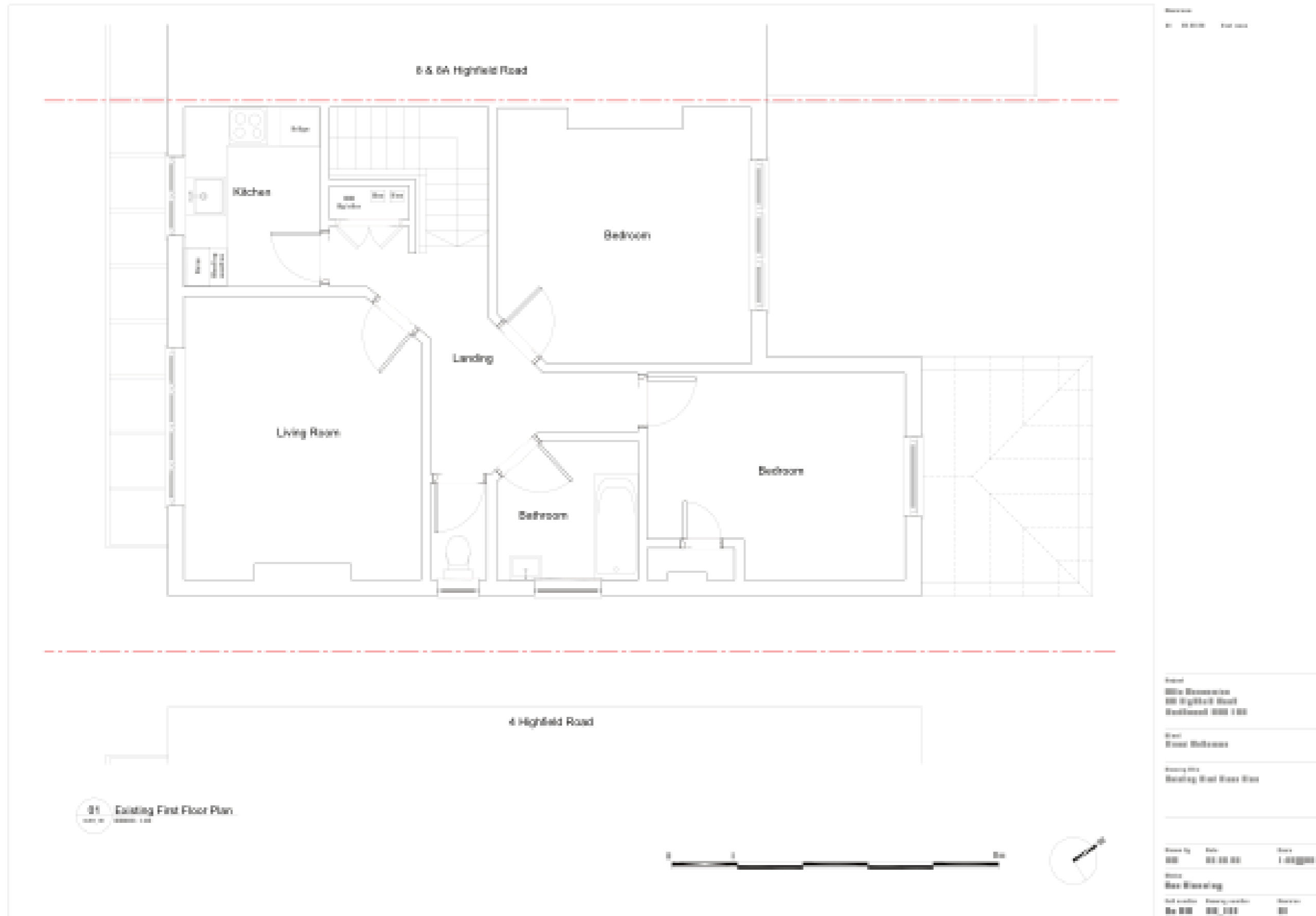
Status
For Planning

Job number	Drawing number	Revision
6a HR	PL_001	01

6.0 Existing Ground Floor Plan

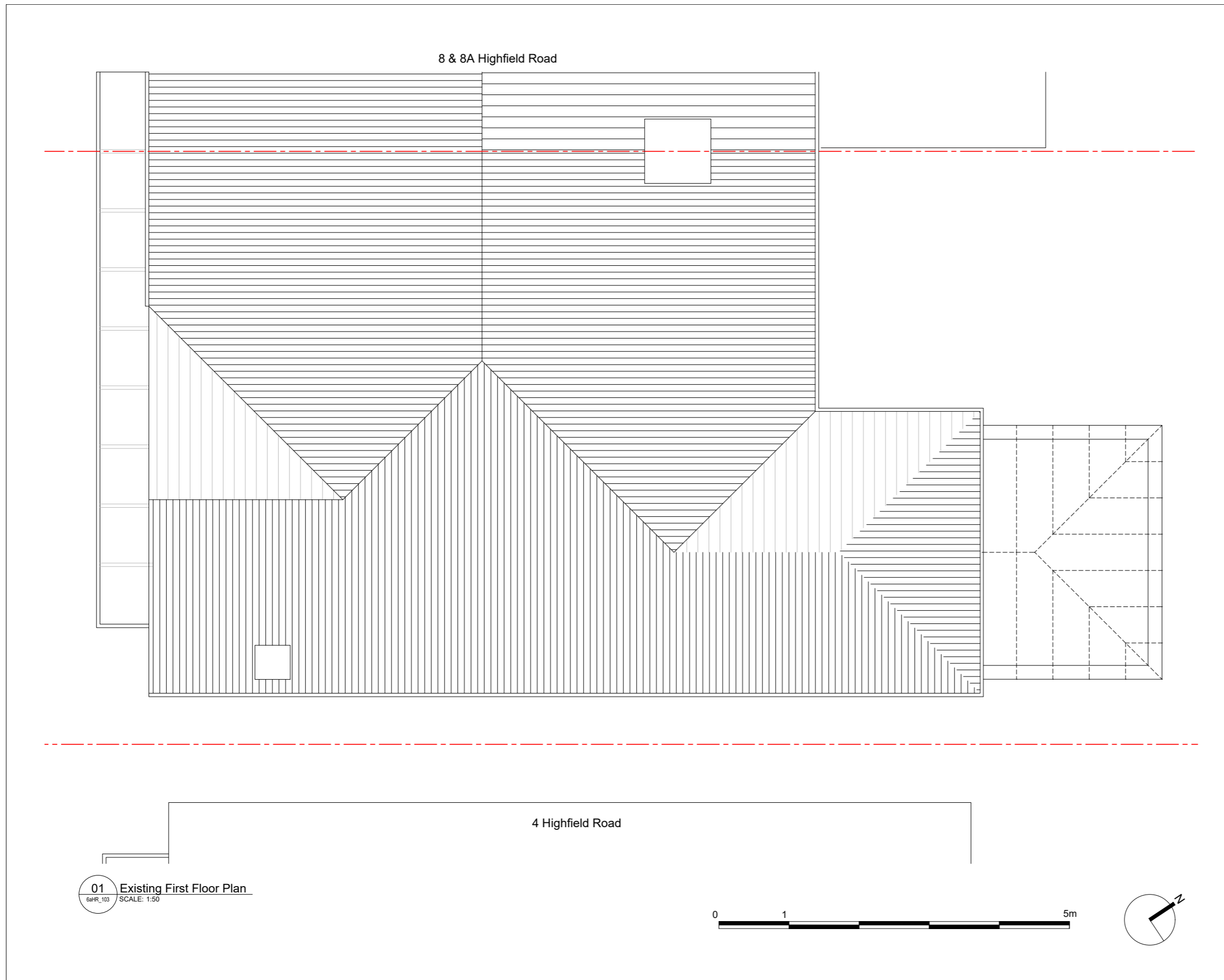


7.0 Existing First Floor Plan



8.0 Existing Roof Plan

Revisions:
01 23.08.25 First Issue



Project
Attic Conversion
6A Highfield Road
Northwood HA6 1ET

Client
Linval Anderson

Drawing Title
Existing Roof Plan

Drawn by Date Scale
RC 23.08.25 1:50@A3

Status

For Planning

Job number Drawing number Revision
6a HR PL_103 01

9.0 Existing Elevations

Revisions:
01 23.08.25 First Issue



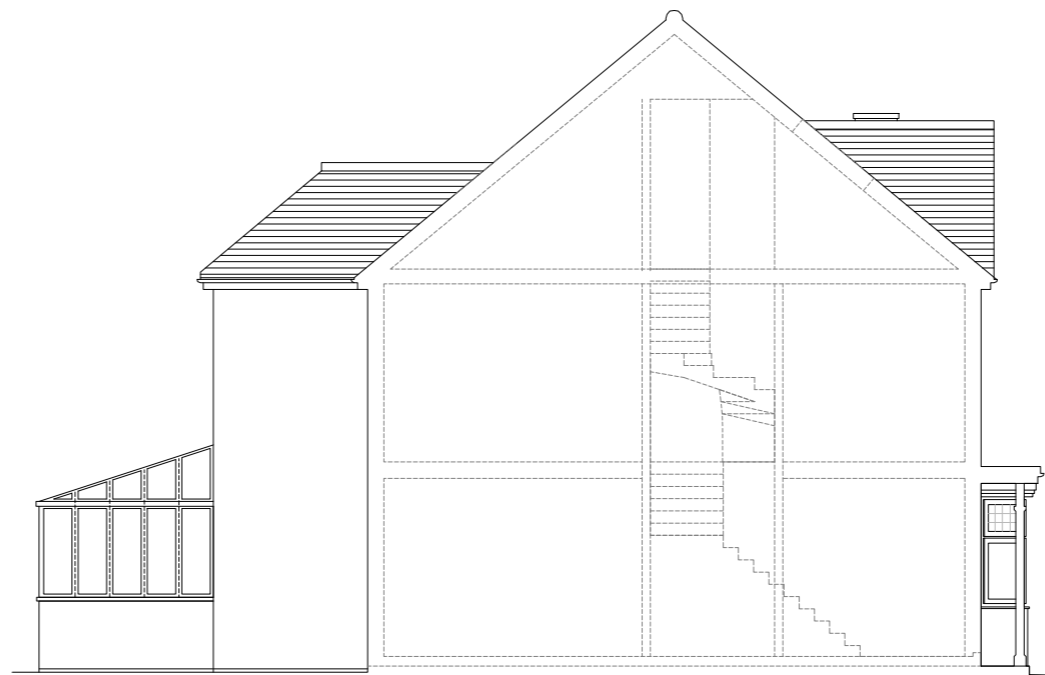
01 Existing Front Elevation
6aHR_104 SCALE: 1:100



02 Existing Side Elevation
6aHR_104 SCALE: 1:100



03 Existing Rear Elevation
6aHR_104 SCALE: 1:100



04 Existing Section AA
6aHR_104 SCALE: 1:100



Project
Attic Conversion
6a Highfield Road
Northwood HA6 1ET

Client
Linval Anderson

Drawing Title
Existing Elevations

Drawn by Date Scale
RC 18.06.21 1:100@A3

Status
For Planning

Job number Drawing number Revision
6a HR PL_104 01

10.0 Proposed Location and Block Plan



Revisions:
01 23.08.25 First Issue

KEY

- The Freehold land shown edged with red on the plan of the above Title filed at the Registry and being 6A Highfield Road, Northwood (HA6 1ET).
- As to the part tinted blue on the filed plan only the first floor flat is included in the title

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6A Highfield Road
Northwood HA6 1ET

Client
Linval Anderson

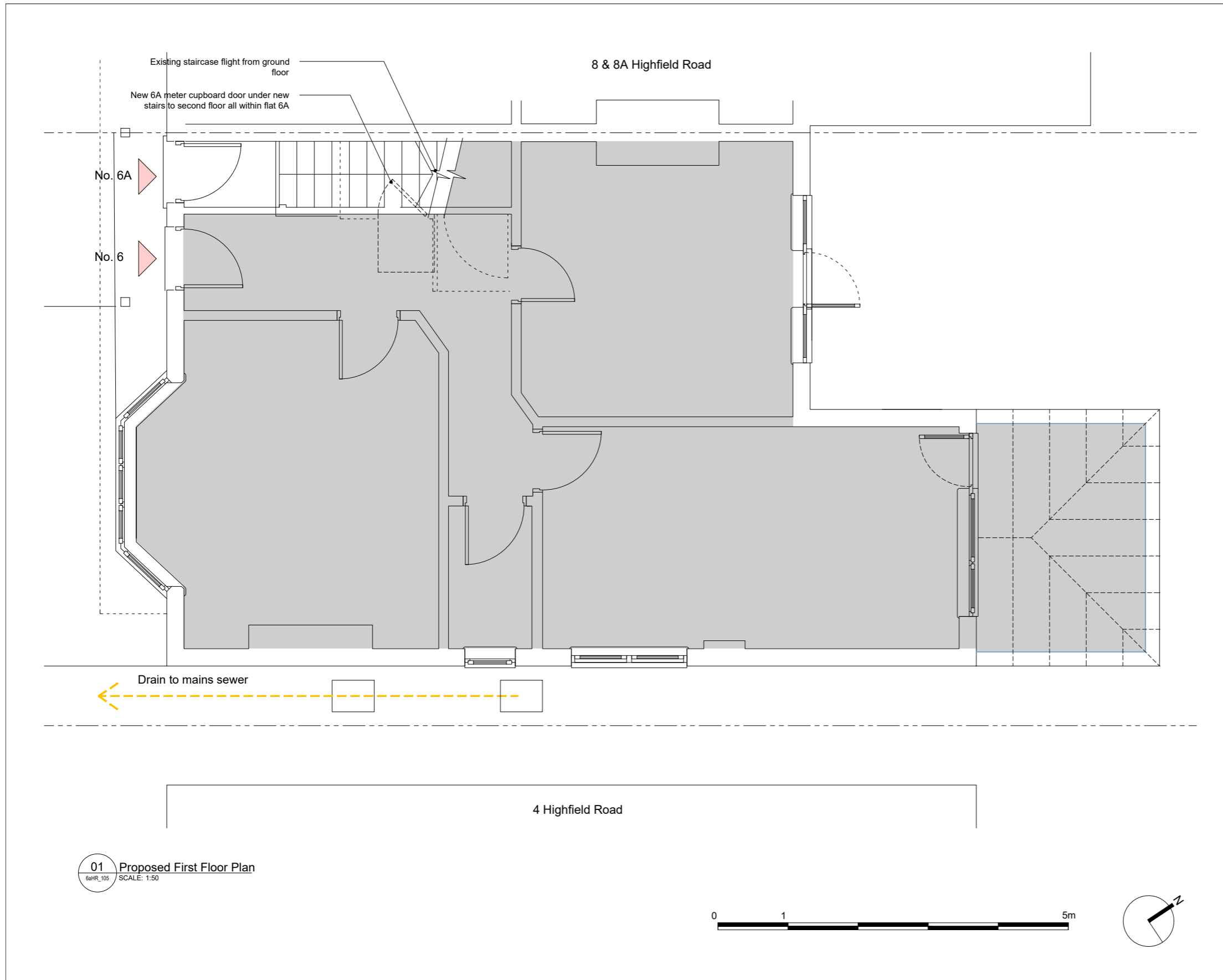
Drawing Title
Location Plan and Block Plan
Proposed

Drawn by Date Scale
RC 23.08.25 Varies@A3

Status
For Planning

Job number Drawing number Revision
6a HR PL_002 01

11.0 Proposed Ground Floor Plan

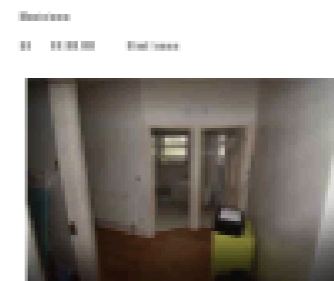
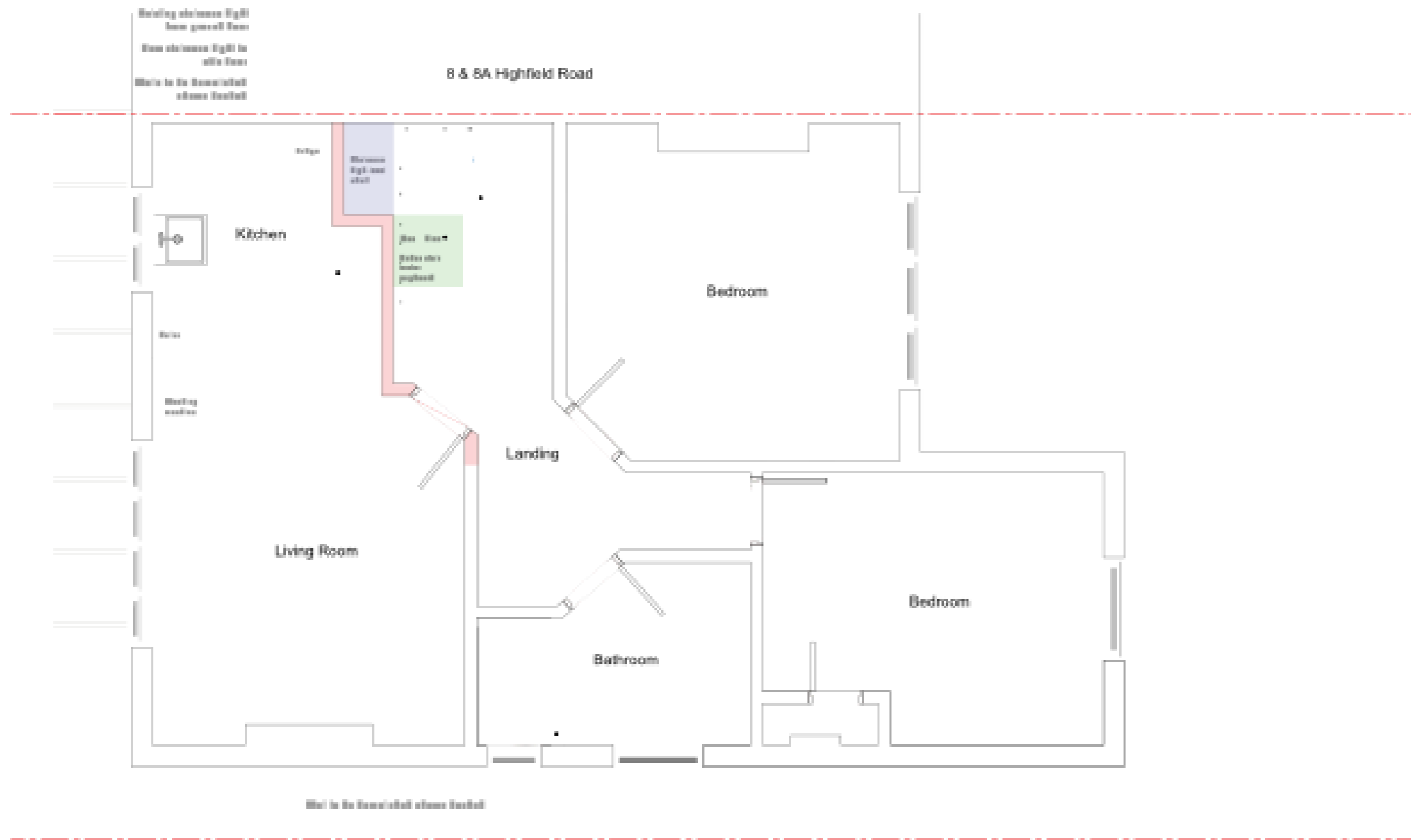


Revisions:
01 23.08.25 First Issue

Project		
Attic Conversion 6A Highfield Road Northwood HA6 1ET		
Client		
Linval Anderson		
Drawing Title		
Proposed Ground Floor Plan		
Drawn by		
RC	Date	Scale
	23.08.25	1:50@A3
Status		
For Planning		
Job number	Drawing number	Revision
6a HR	PL_105	01

01 Proposed First Floor Plan
6aHR_105 SCALE: 1:50

12.0 Proposed First Floor Plan



01 Proposed First Floor Plan
DATE: 23.08.25



Project:
 Attic Conversion
 8A Highfield Road
 Northwood HAV6 9ET

Client:
 Linnal Anderson

Drawing Title:
 Proposed First Floor Plan
 Option C

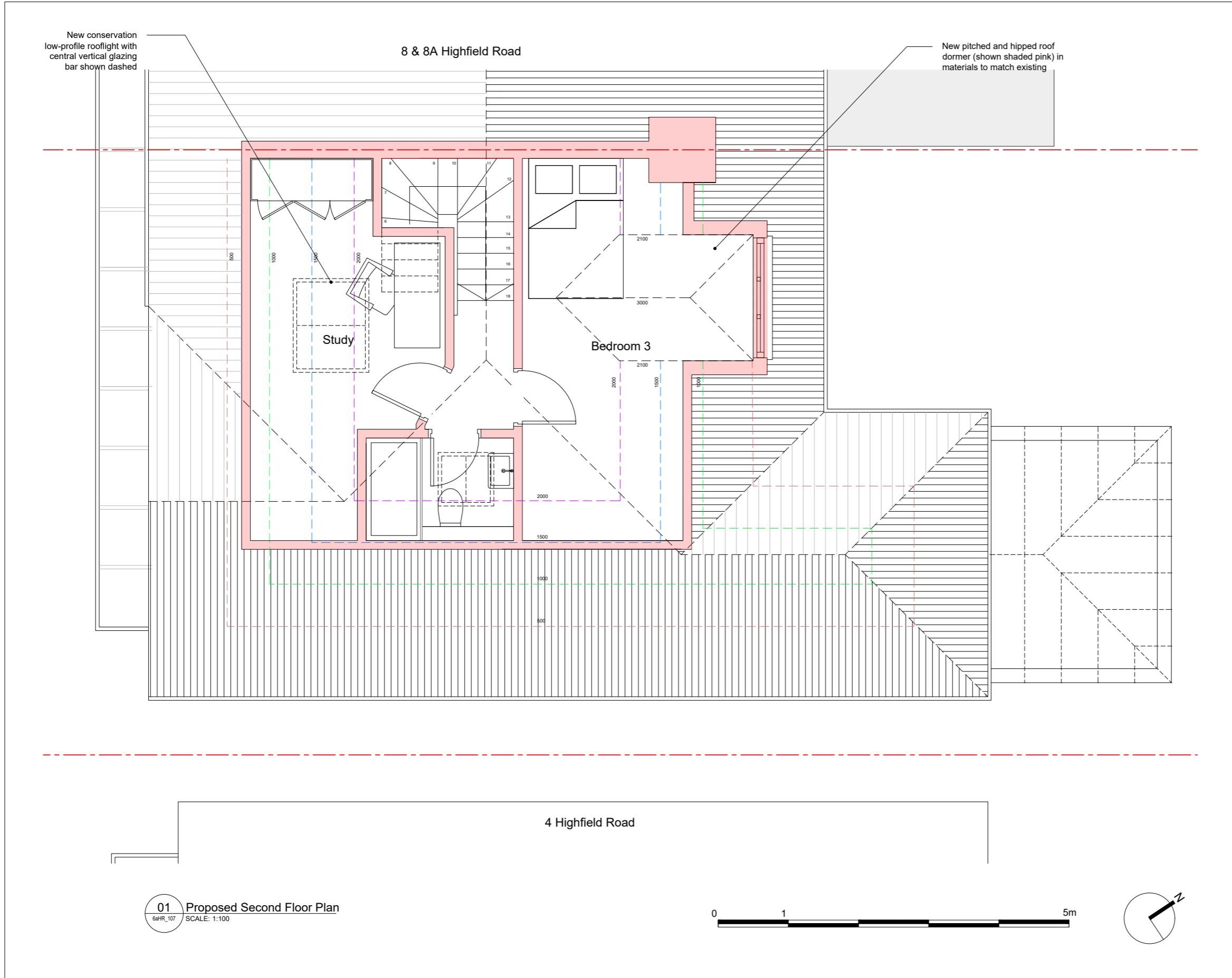
Drawn by	Date	Scale
RC	23.08.25	1:50@A3

Notes:
For Planning

Cell number	Drawing number	Revision
6a HR	PL_406	01

13.0 Proposed Second Floor Plan

Revisions:
01 23.08.25 First Issue



New conservation low-profile rooflight with central vertical glazing bar shown dashed

8 & 8A Highfield Road

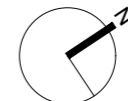
New pitched and hipped roof dormer (shown shaded pink) in materials to match existing

Study

Bedroom 3

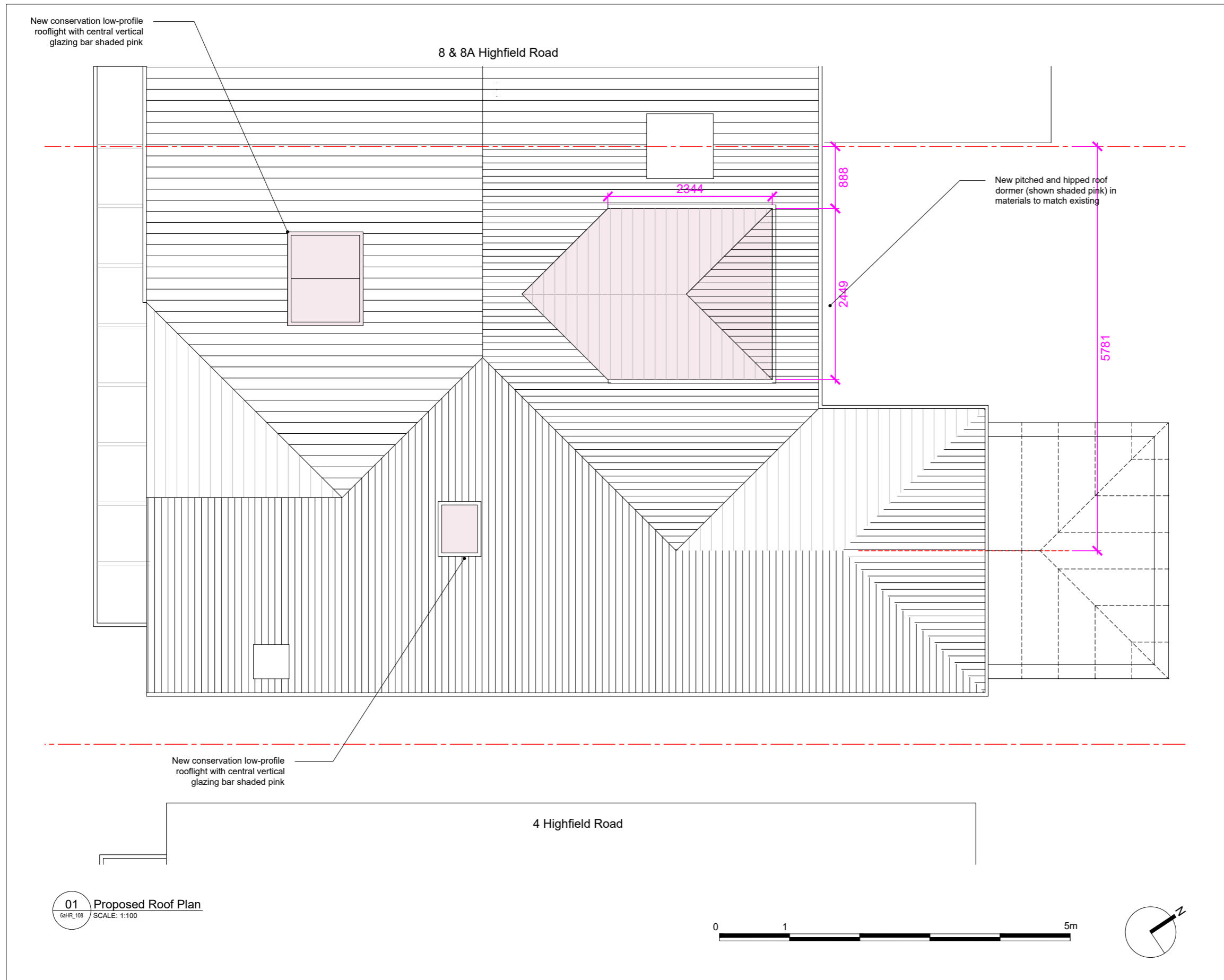
4 Highfield Road

01 Proposed Second Floor Plan
6aHR_107 SCALE: 1:100



Project		
Attic Conversion 6A Highfield Road Northwood HA6 1ET		
Client		
Linval Anderson		
Drawing Title		
Proposed Second Floor Plan		
Drawn by	Date	Scale
RC	23.08.25	1:50@A3
Status		
For Planning		
Job number	Drawing number	Revision
6a HR	PL_107	01

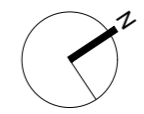
14.0 Proposed Roof Plan



Revisions:
01 23.08.25 First Issue

Project		
Attic Conversion 6A Highfield Road Northwood HA6 1ET		
Client		
Linval Anderson		
Drawing Title		
Proposed Roof Plan		
Drawn by	Date	Scale
RC	23.08.25	1:50@A3
Status		
For Planning		
Job number	Drawing number	Revision
6a HR	PL_108	01

01 Proposed Roof Plan
6aHR_108 SCALE: 1:100



15.0 Proposed Elevations

01 Proposed Front Elevation
6aHR_109 SCALE: 1:100

02 Proposed Side Elevation
6aHR_109 SCALE: 1:100

03 Proposed Rear Elevation
6aHR_109 SCALE: 1:100

04 Proposed Section AA
6aHR_109 SCALE: 1:100

Revisions:
01 23.08.25 First Issue

Project
Attic Conversion
6A Highfield Road
Northwood HA6 1ET

Client
Linval Anderson

Drawing Title
Proposed Elevations

Drawn by Date Scale
RC 23.08.25 1:100@A3

Status
For Planning

Job number Drawing number Revision
6a HR PL_109 01