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Print out to actual scale. For planning purposes only. All dimensions to be cross checked on site prior to construction and ordering of products. Any discrepancies to be reported to RESI immediately.

NOTES

Proposed Materials:

Brickwork / Walls - White painted render to match existing

Flat Roof - Fibreglass

Windows - Black uPVC framed casement windows and roof lantern

Doors - Black uPVC framed French doors and side door

RWP's / Gutter's / Fascia's - Black uPVC downpipes, guttering and black painted timber fascias

Revision

Rev	Notes	Date
A	Planning Issue	03/02/2023

KEY

 Boundary line	 Level line
 Existing removed	 Neighbouring context
 Previous application approved - 62092/APP/2021/3970	

JOB TITLE

Proposed ground floor roof alterations, facade alterations, internal alterations, floor plan redesign and all associated works at 12 Gerrard Gardens

STATUS

Planning Drawings

DRAWING TITLE

Proposed Elevations

CLIENT

Pauline Lawlor

SCALE

1 : 100 at A3

DRAWN

KB

DATE

Feb 2023

CHECKED

EO

1 0 1 2 3 4 5
SCALE 1:100 m

SHEET NO. 106323 - 01 3200 A



Front Elevation



Rear Elevation