

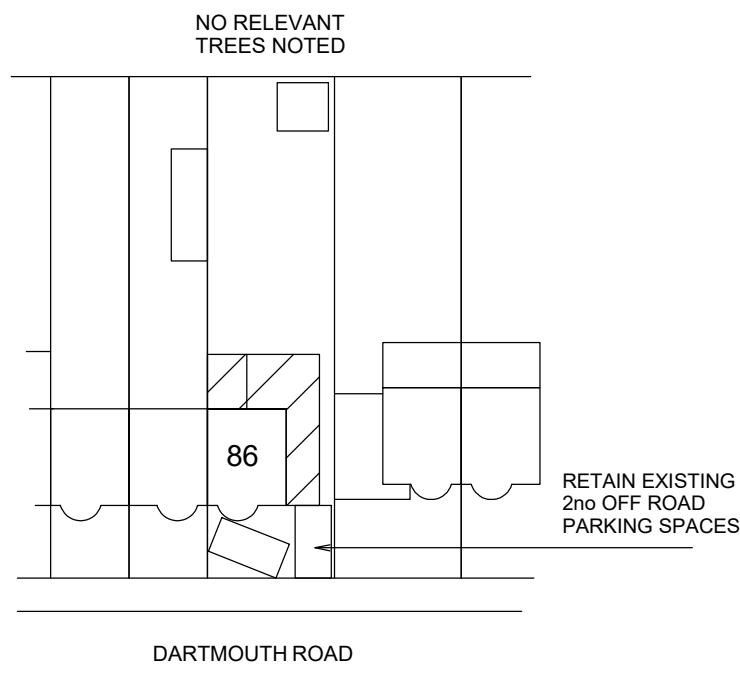


EXISTING SIDE ELEVATION
SCALE 1:100

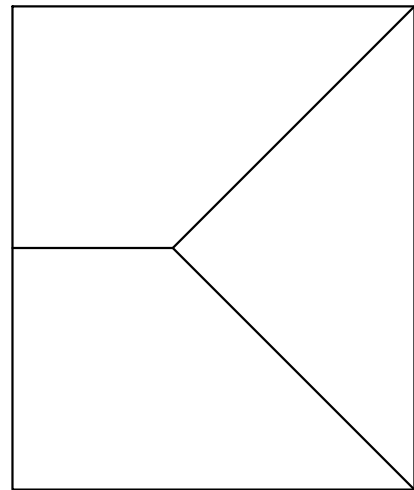
EXISTING REAR ELEVATION
SCALE 1:100

EXISTING SIDE ELEVATION
SCALE 1:100

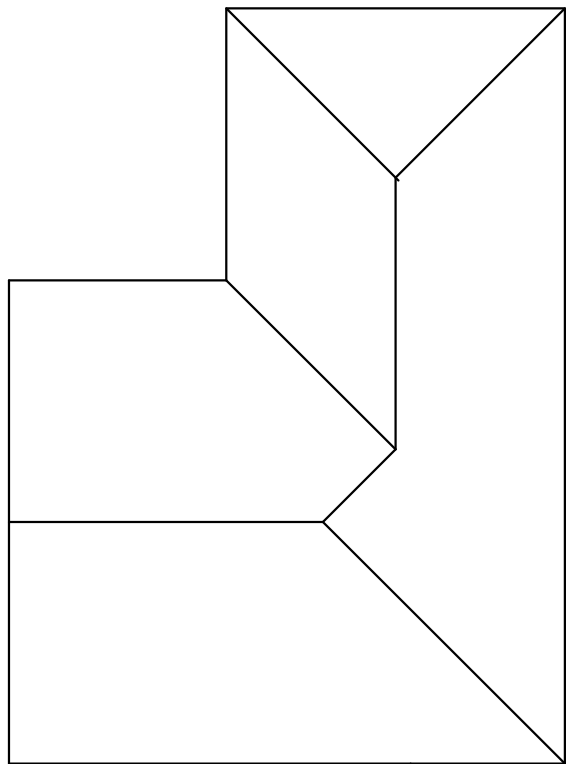
EXISTING FRONT ELEVATION
SCALE 1:100



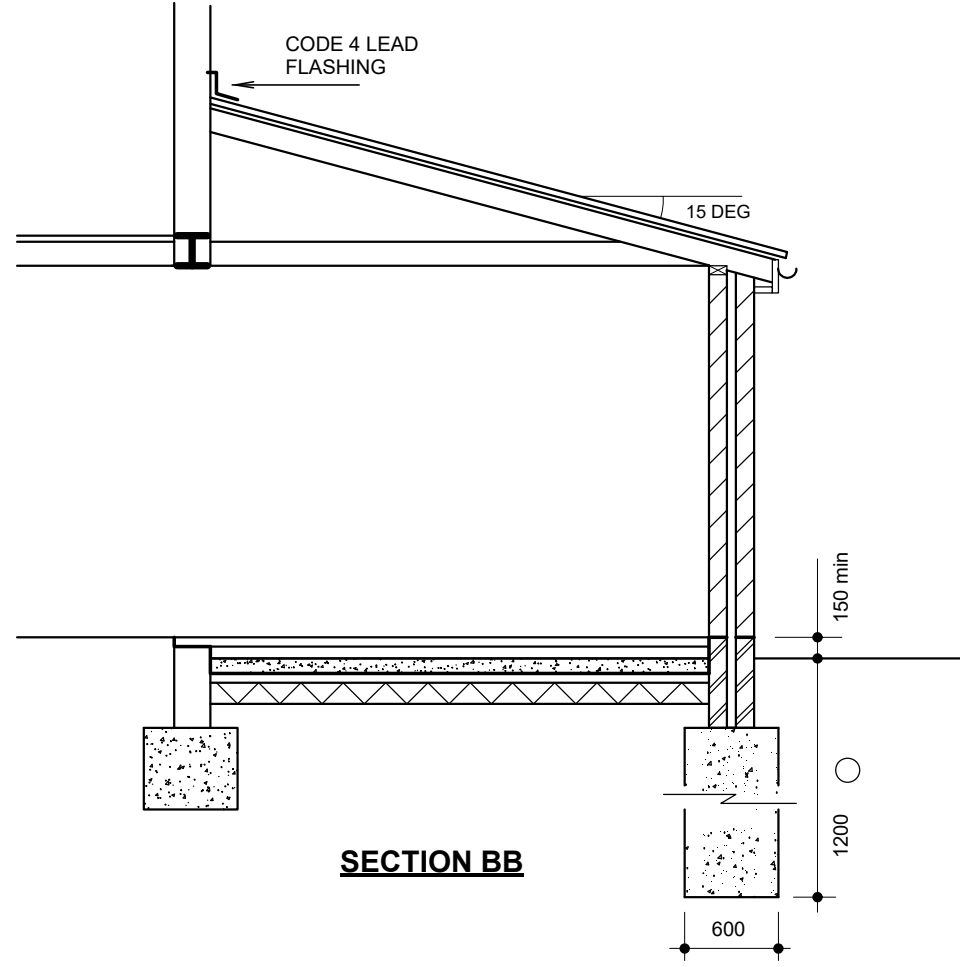
BLOCK PLAN
SCALE 1:500



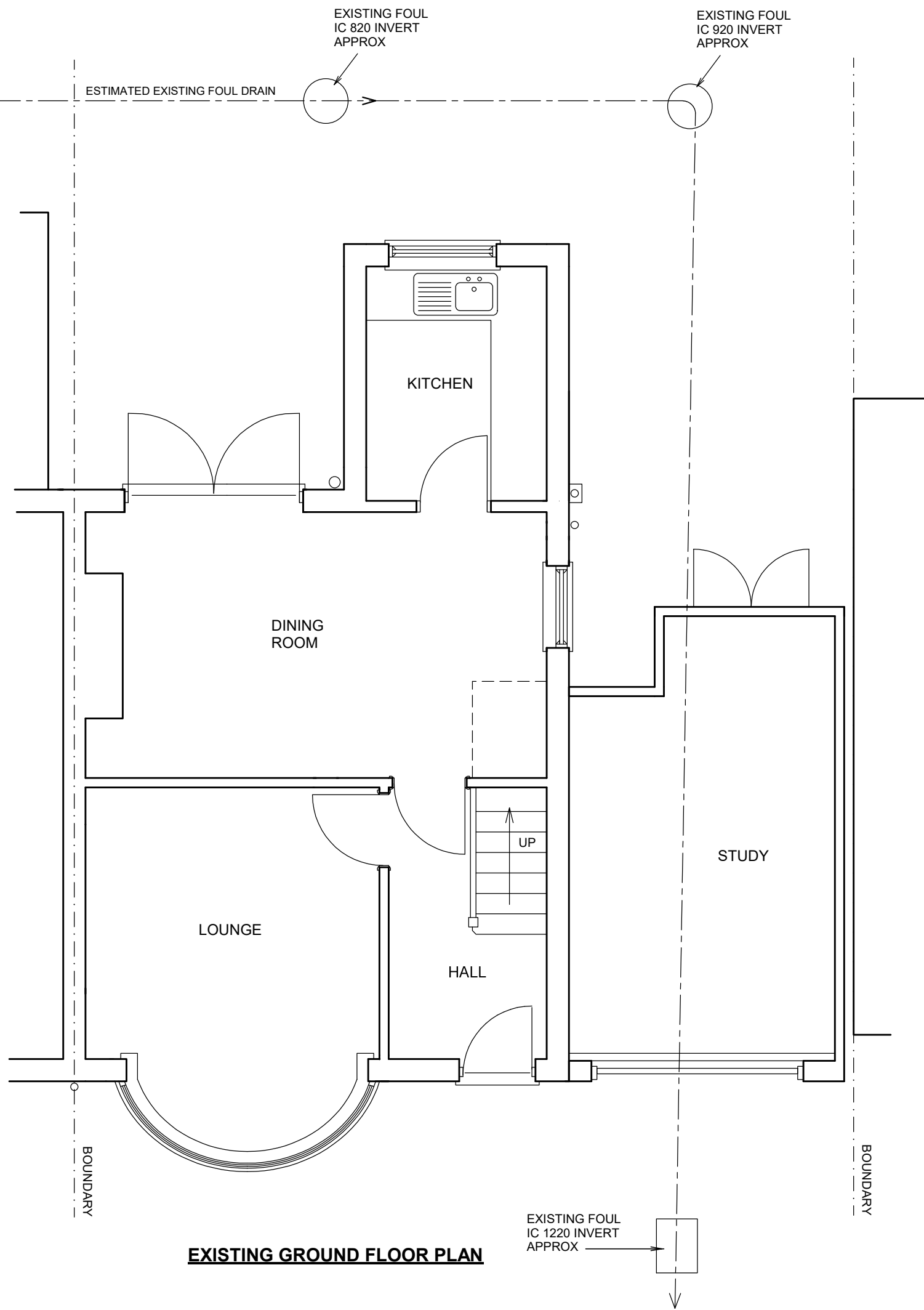
EXISTING MAIN ROOF PLAN
SCALE 1:100



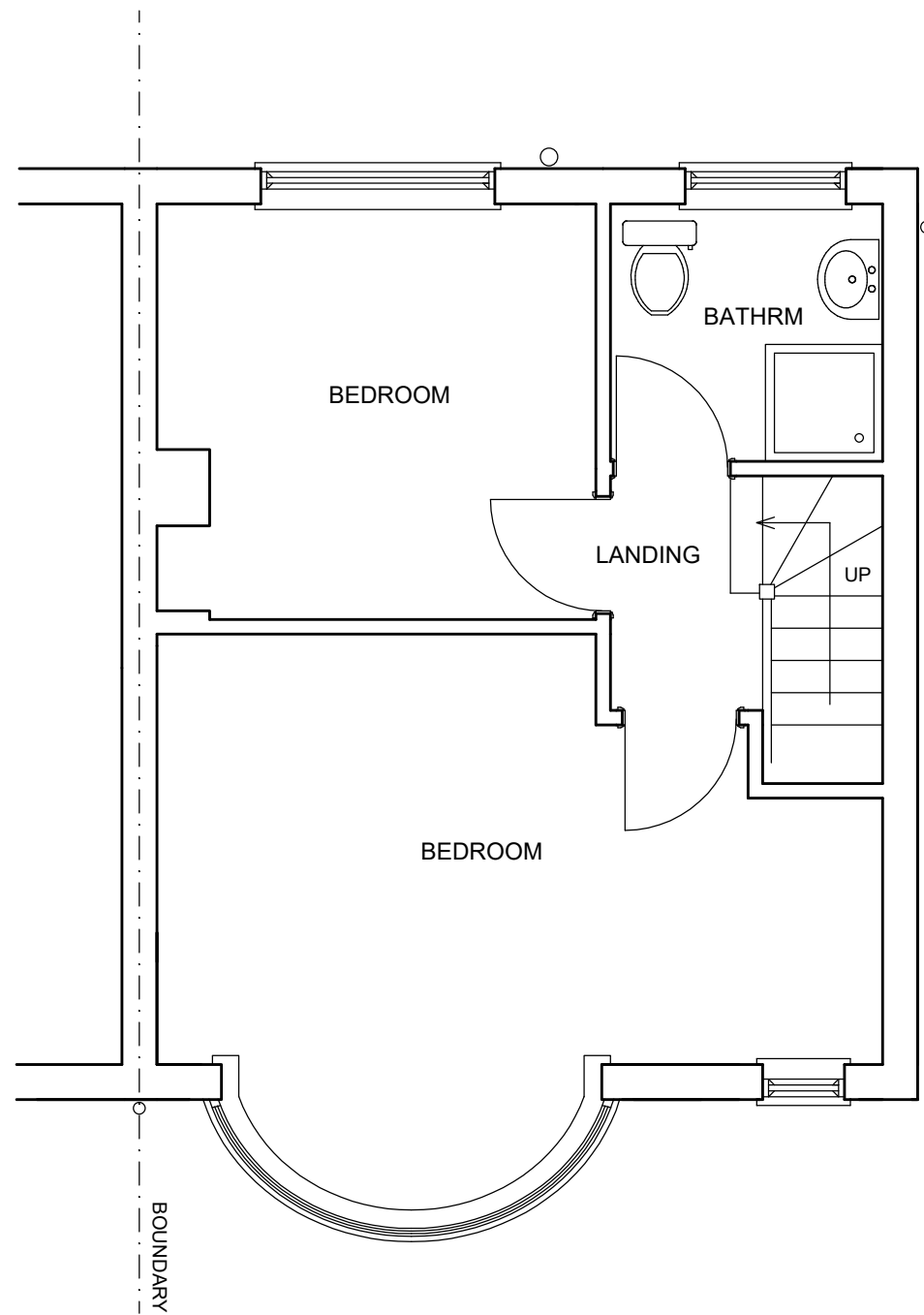
PROPOSED MAIN ROOF PLAN
SCALE 1:100



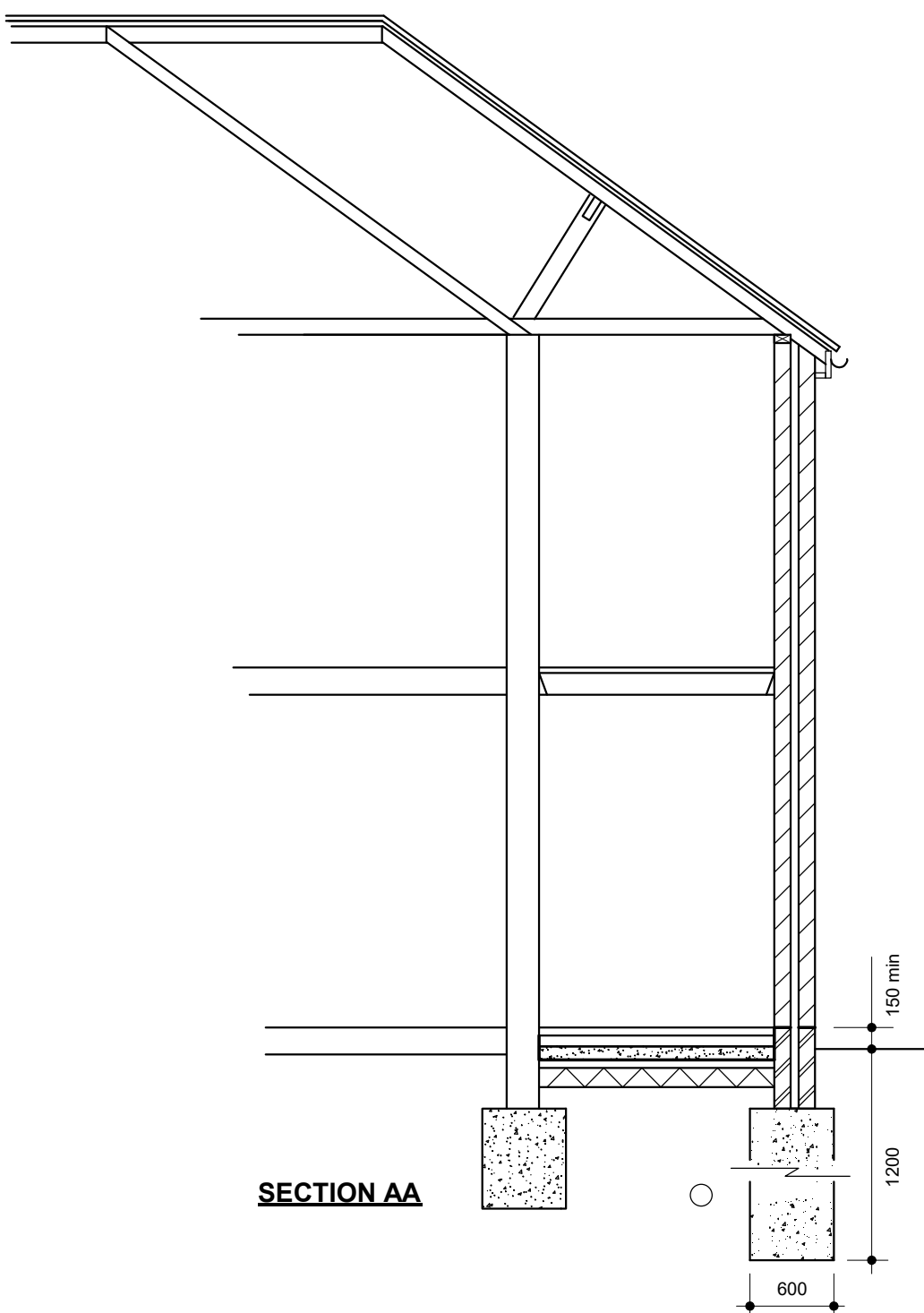
SECTION BB



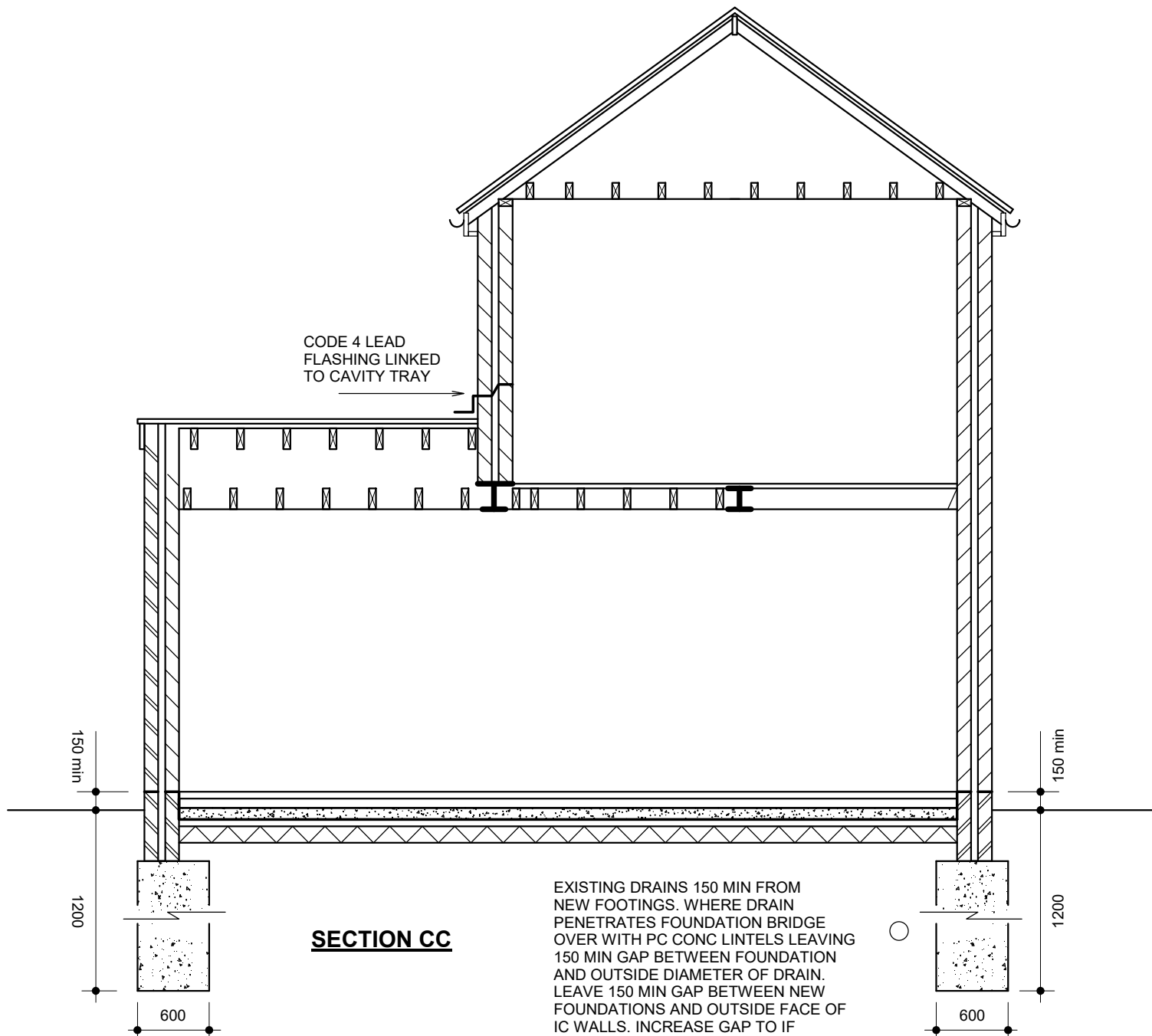
EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN



SECTION AA



SECTION CC

EXISTING DRAINS 150 MIN FROM NEW FOOTINGS. WHERE DRAIN PENETRATES FOUNDATION BRIDGE OVER WITH PC CONC LINTELS LEAVING 150 MIN GAP BETWEEN FOUNDATION AND OUTSIDE DIAMETER OF DRAIN. LEAVE 150 MIN GAP BETWEEN NEW FOUNDATIONS AND OUTSIDE FACE OF IC WALLS. INCREASE GAP TO IF DRAIN INVERT EXCEEDS 1100. SEE FOUNDATION PLAN. 150 PEA SHINGLE AROUND DRAIN PIPES

NOTE:

FOUNDATION DEPTHS ESTIMATED AND TO BE CONFIRMED ON SITE BASED ON SITE CONDITIONS BY BUILDING INSPECTOR. PROVISIONAL DEPTHS AS SECTIONS UNLESS NOTED OTHERWISE ON PLAN. TREE SPECIES TO BE CONFIRMED ON SITE BEFORE ANY WORK COMMENCES. FOOTINGS TO BE 600 BELOW LOWEST ROOT ACTIVITY AND BELOW ANY ADJACENT DRAIN. 75 CLAYMASTER TO BE PROVIDED TO FOUNDATION DEPTHS EXCEEDING 15m. DEPTHS MEASURED TO ORIGINAL GROUND LEVEL. NOT TO TOP OF BUILT UP GROUND

86 DARTMOUTH ROAD RUISLIP MIDDX HA4 0DE

HOUSE EXTENSION

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SCALE 1:50 / 1:100 @ A1

FEB 2022

DRG No. 2286.1 REV A

BOUNDARIES ESTIMATED AND TO BE CONFIRMED ON SITE. ALL NEW WORKS TO BE CONTAINED WITHIN TRUE BOUNDARIES UNLESS STATED OTHERWISE ON PLAN. ALL NEW WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS. DIMENSIONS IN MILLIMETRES AND TO BE CONFIRMED ON SITE. ALL STEEL DIMENSIONS TO BE CONFIRMED ON SITE AND NOT BE TAKEN FROM STRUCTURAL CALCULATIONS. ALL DRAINS & TREES ARE ESTIMATED AND ARE TO BE CHECKED & CONFIRMED ON SITE BEFORE ANY WORK COMMENCES. CLIENT TO SERVE PARTY WALL ACT NOTICE BEFORE WORK COMMENCES. ALL WORK TO BE CARRIED OUT & SUPERVISED BY COMPETENT OPERATIVES. DUE TO SURVEY LIMITATIONS EXISTING JOIST SPANS ASSUMED UNTIL CONFIRMED ON SITE. ALL WALLS & PARTITIONS TO BE CONSIDERED LOADBEARING UNTIL OPENED UP ON SITE AND CHECKED BY COMPETENT PERSON TO CONFIRM OTHERWISE. MUST BE CONFIRMED BEFORE ANY WORK COMMENCES. IF STRUCTURAL ENGINEERS DESIGN RELATING TO STRUCTURAL ELEMENTS CONTRADICTS ARCHITECTURAL DRAWINGS SPEC. ENGINEERS DESIGN PREVAILS. THIS DRAWING IS FOR PLANNING & BUILDING REGULATION APPLICATION PURPOSES ONLY. BUILDER/CLIENT TO APPOINT CDM CONSULTANT TO ENSURE WORKS COMPLY WITH CDM REGULATIONS BEFORE WORK COMMENCES. SINCE WE HAVE NO ACCESS TO THE DEEDS OF THE PROPERTY IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE THAT THE WORKS DO NOT CONTRAVENE ANY RESTRICTIVE COVENANTS CONTAINED IN THE DEEDS.

10.00 METRES @ 1:100

5.00 METRES @ 1:50