



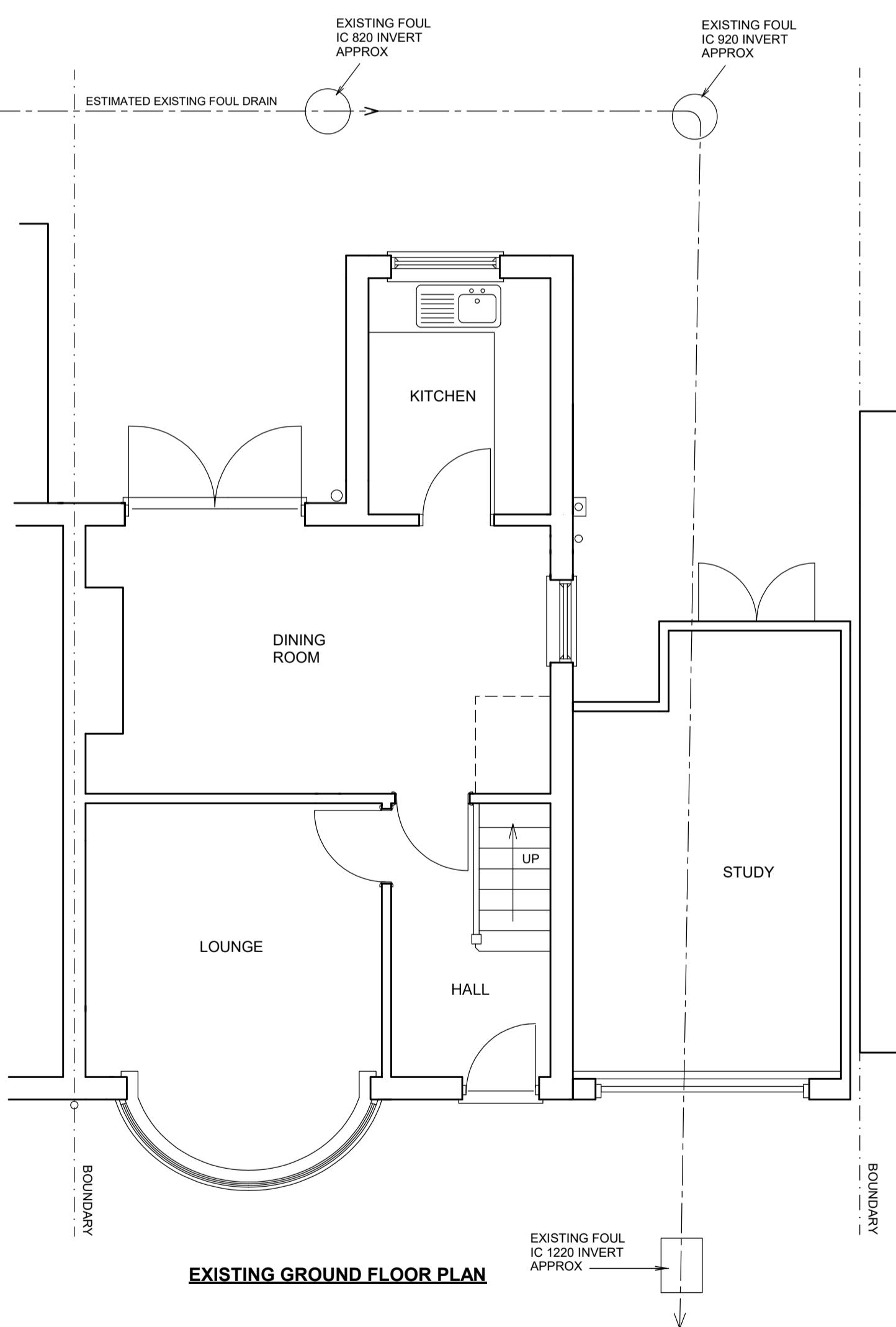
NOTE:  
FOUNDATION DEPTHS ESTIMATED AND TO BE CONFIRMED ON SITE BASED ON SITE CONDITIONS BY BUILDING INSPECTOR.  
PROVIDE FOUNDATION DRAINS TO EXISTING DRAINS UNLESS NOTED OTHERWISE ON PLAN. TREE SPECIES TO BE CONFIRMED ON SITE BEFORE ANY WORK COMMENCES. FOOTINGS TO BE 600 BELOW LOWEST FLOOR LEVEL. PROVIDE 150MM ADJACENT DRAIN. 75 CLAYMASTER TO BE PROVIDED TO FOUNDATION DEPTHS EXCEEDING 1.5m. DEPTHS MEASURED TO ORIGINAL GROUND LEVEL NOT TO TOP OF BUILT UP GROUND

EXISTING SIDE ELEVATION  
SCALE 1:100

EXISTING REAR ELEVATION  
SCALE 1:100

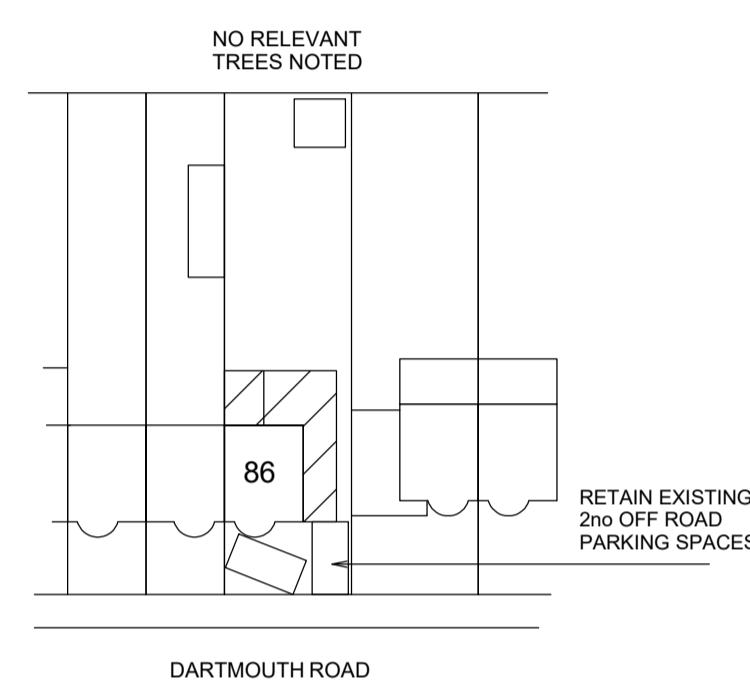
EXISTING SIDE ELEVATION  
SCALE 1:100

EXISTING FRONT ELEVATION  
SCALE 1:100

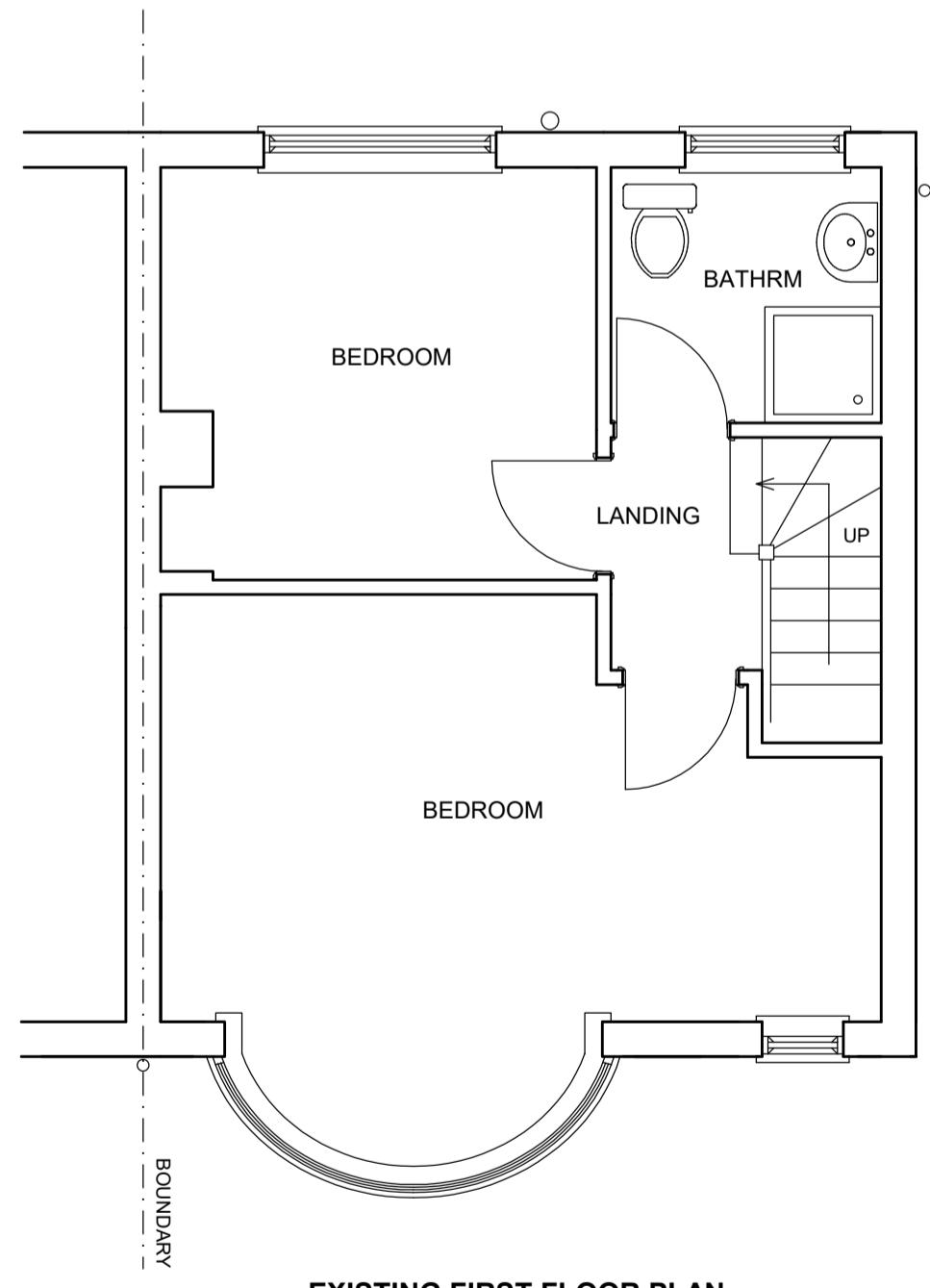


EXISTING GROUND FLOOR PLAN

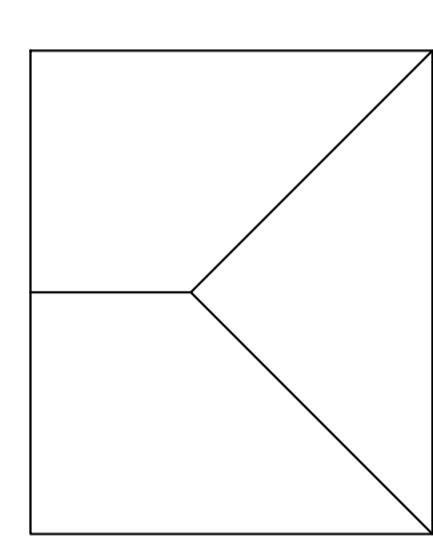
10.00 METRES @ 1:100  
5.00 METRES @ 1:50



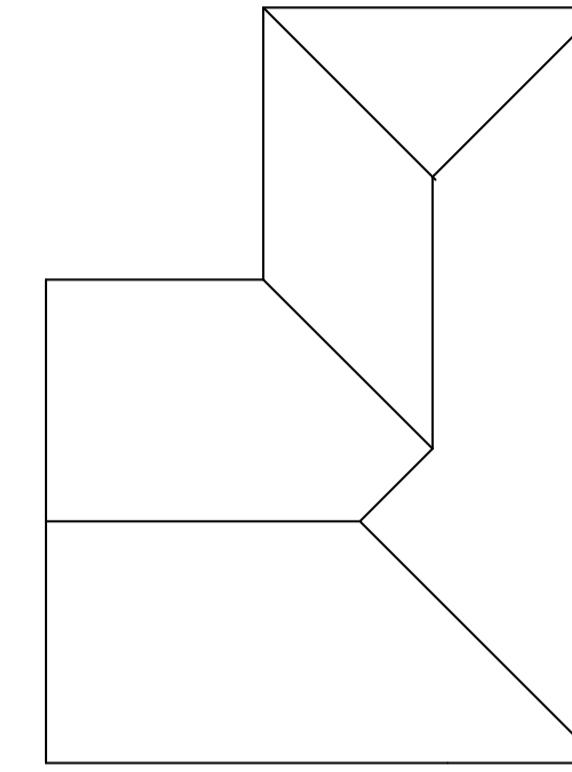
BLOCK PLAN  
SCALE 1:500



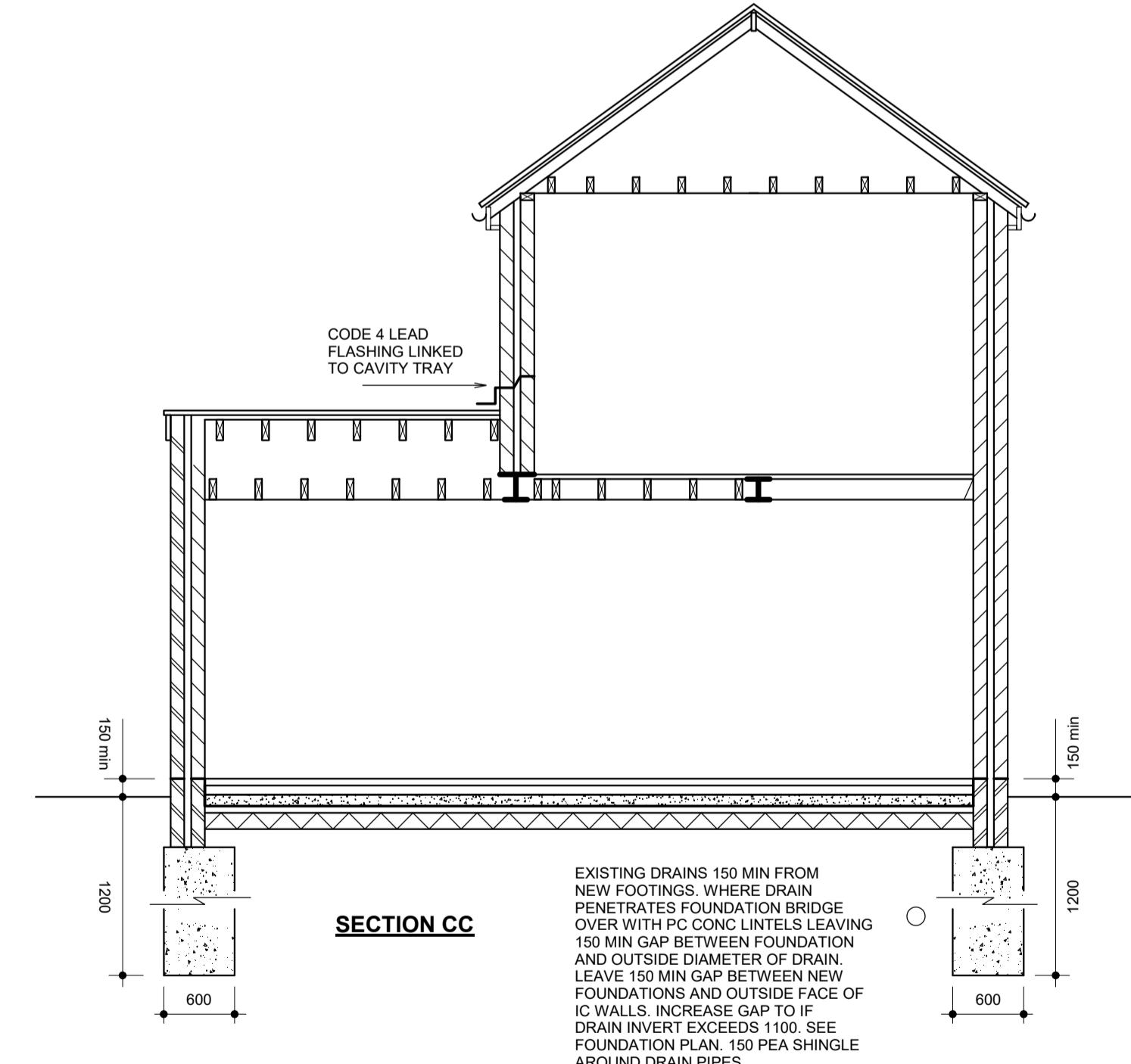
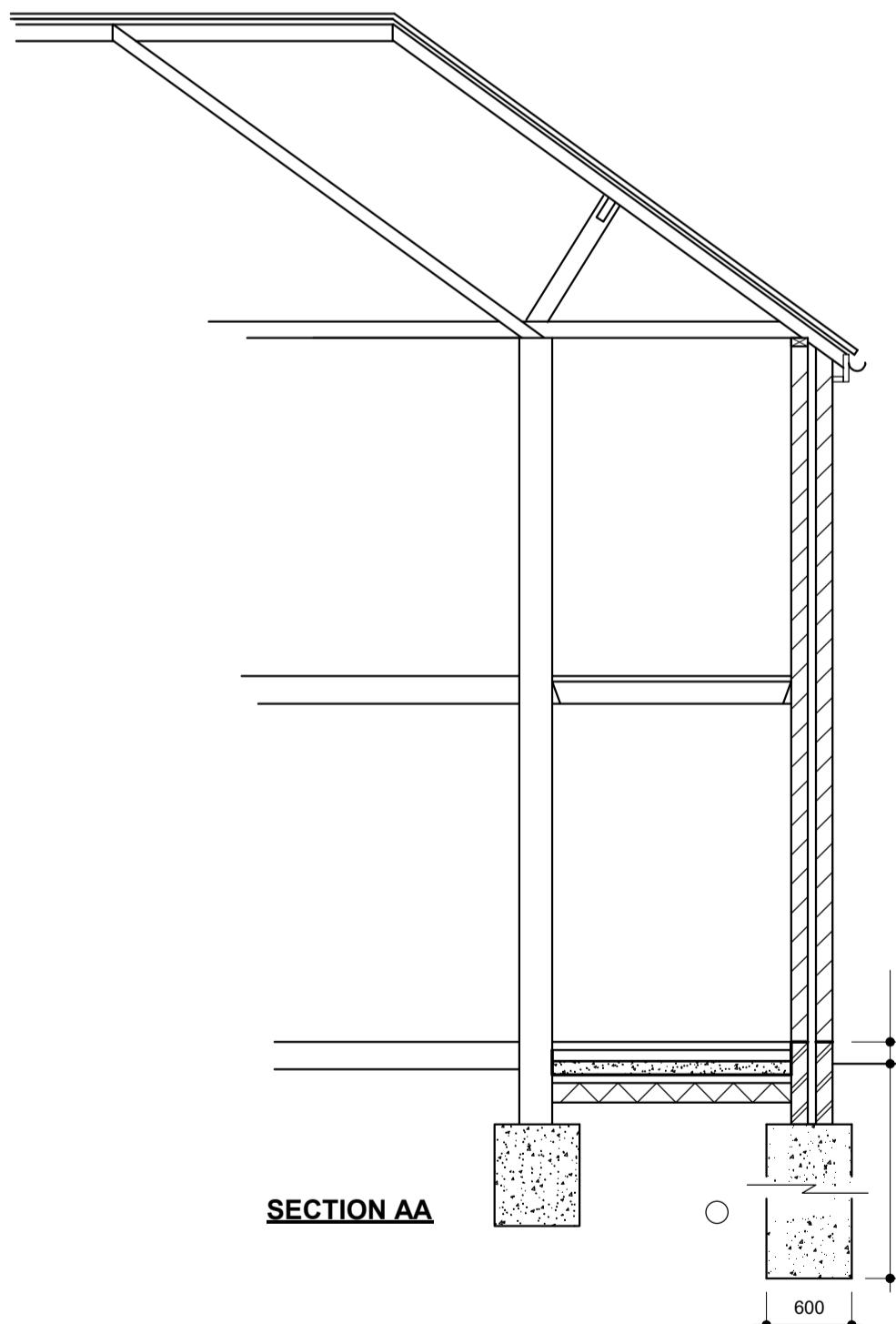
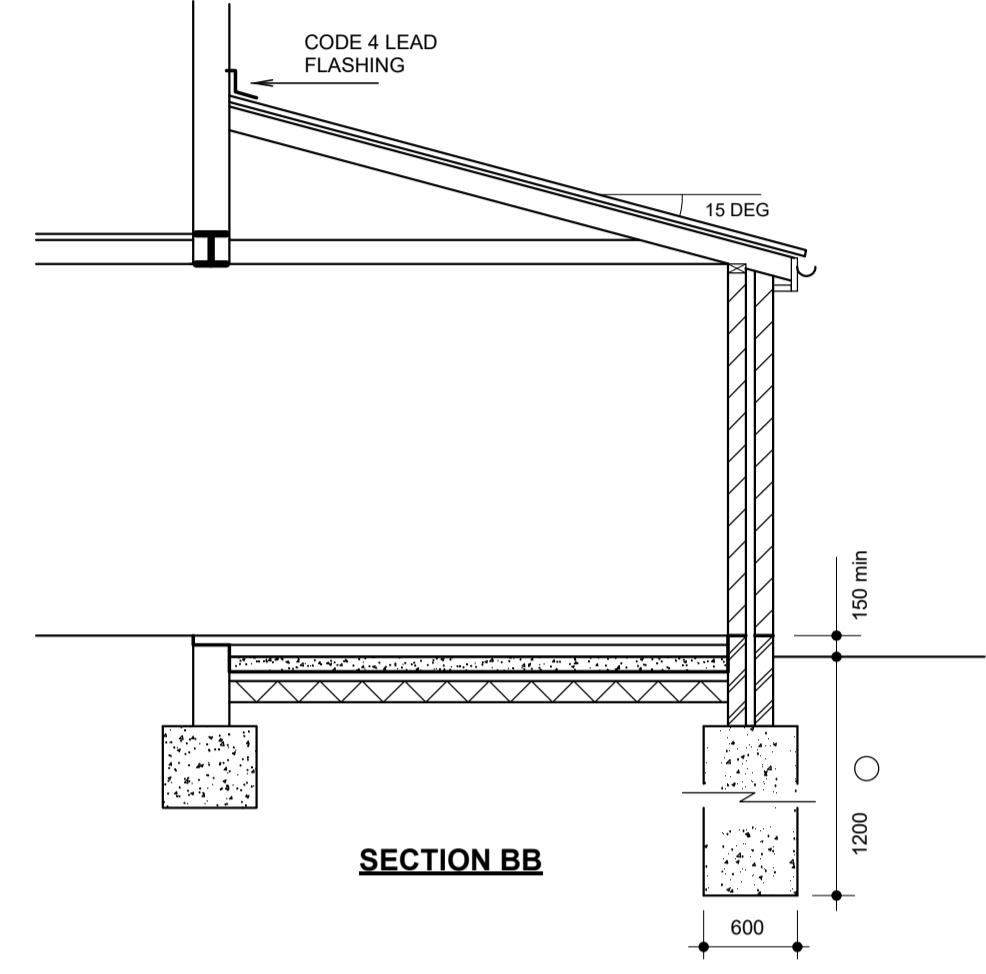
EXISTING FIRST FLOOR PLAN



EXISTING MAIN ROOF PLAN  
SCALE 1:100



PROPOSED MAIN ROOF PLAN  
SCALE 1:100



EXISTING DRAINS 150 MM FROM NEW FOOTINGS. WASTE DRAINS PENETRATE FOUNDATION BRIDGE OVER WITH PC CONC LINTELS LEAVING 150 MM GAP BETWEEN FOUNDATION AND OUTSIDE DIAMETER OF DRAIN. LEAVE 150 MM GAP BETWEEN FOUNDATIONS AND OUTSIDE FACE OF IC WALLS. INCREASE GAP TO 150 MM IF DRAIN INVERT EXCEEDS 1100. SEE FOUNDATION PLAN. 150 PEA SHINGLE AROUND DRAIN PIPES

### 86 DARTMOUTH ROAD RUISLIP MIDDX HA4 0DE

#### HOUSE EXTENSION

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SCALE 1:50 / 1:100 @ A1

FEB 2022

DRG No. 2286.1 REV A

BOUNDARIES ESTIMATED AND TO BE CONFIRMED ON SITE. ALL NEW WORKS TO BE CONTAINED WITHIN TRUE BOUNDARIES UNLESS STATED OTHERWISE ON PLAN. ALL NEW WORKS TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS. DIMENSIONS IN MILLIMETRES ARE TO BE CONFIRMED ON SITE. ALL STEEL DIMENSIONS TO BE CONFIRMED ON SITE AND NOT TO BE TAKEN FROM STRUCTURAL CALCULATIONS. ALL DRAINS & TREES ARE ESTIMATED AND ARE TO BE CHECKED & CONFIRMED ON SITE. ALL WORK TO BE CARRIED OUT & SUPERVISED BY COMPETENT OPERATIVES DUE TO SURVEY LIMITATIONS EXISTING JOIST SPANS ASSUMED UNTIL CONFIRMED ON SITE. ALL WALLS & PARTITIONS TO BE CONSIDERED LOADBEARING UNTIL OTHERWISE PROVEN. ALL EXISTING DRAINS TO BE CONFIRMED ON SITE & OTHERWISE MUST BE CONFIRMED BEFORE ANY WORK COMMENCES. IF STRUCTURAL ENGINEERS DESIGN RELATING TO STRUCTURAL ELEMENTS OVERLAPS THIS DRAWING, THE DESIGNERS DRAWINGS TAKE PRECEDENCE. THIS DRAWING IS FOR PLANNING & BUILDING REGULATION APPLICATION PURPOSES ONLY. BUILDER/CLIENT TO APPOINT CDM CONSULTANT TO ENSURE WORK IS CONDUCTED IN ACCORDANCE WITH CDM REGULATIONS. SINCE WE HAVE NO ACCESS TO THE DEEDS OF THE PROPERTY IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE THAT THE WORKS DO NOT CONTRAVENE ANY RESTRICTIVE COVENANTS CONTAINED IN THE DEEDS