

**V.S.C | V.S CONSULTANTS**

PROJECT ADDRESS: 17 MILL ROAD, WEST DRAYTON, MIDDLESEX, UB7 7EQ

TITLE: **SEE DRAWING** PURPOSE: **PLANNING APPROVAL**

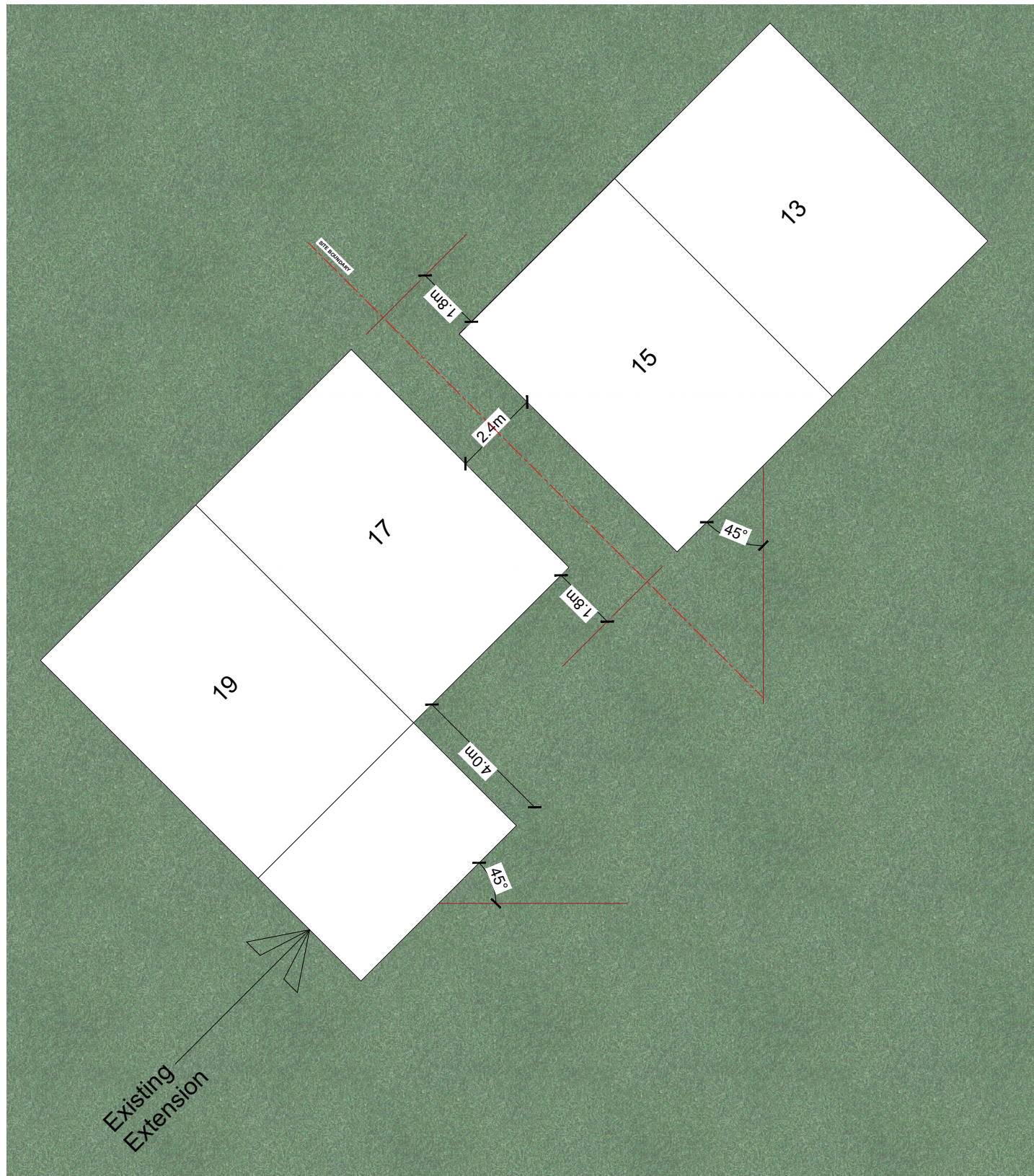
SCALE: **REFER TO SCALEBAR** REVISION: **A**

All works done from civil engineer vs consultants  
Office/ Mobile - 07946715637 Email: vasanth915@gmail.com

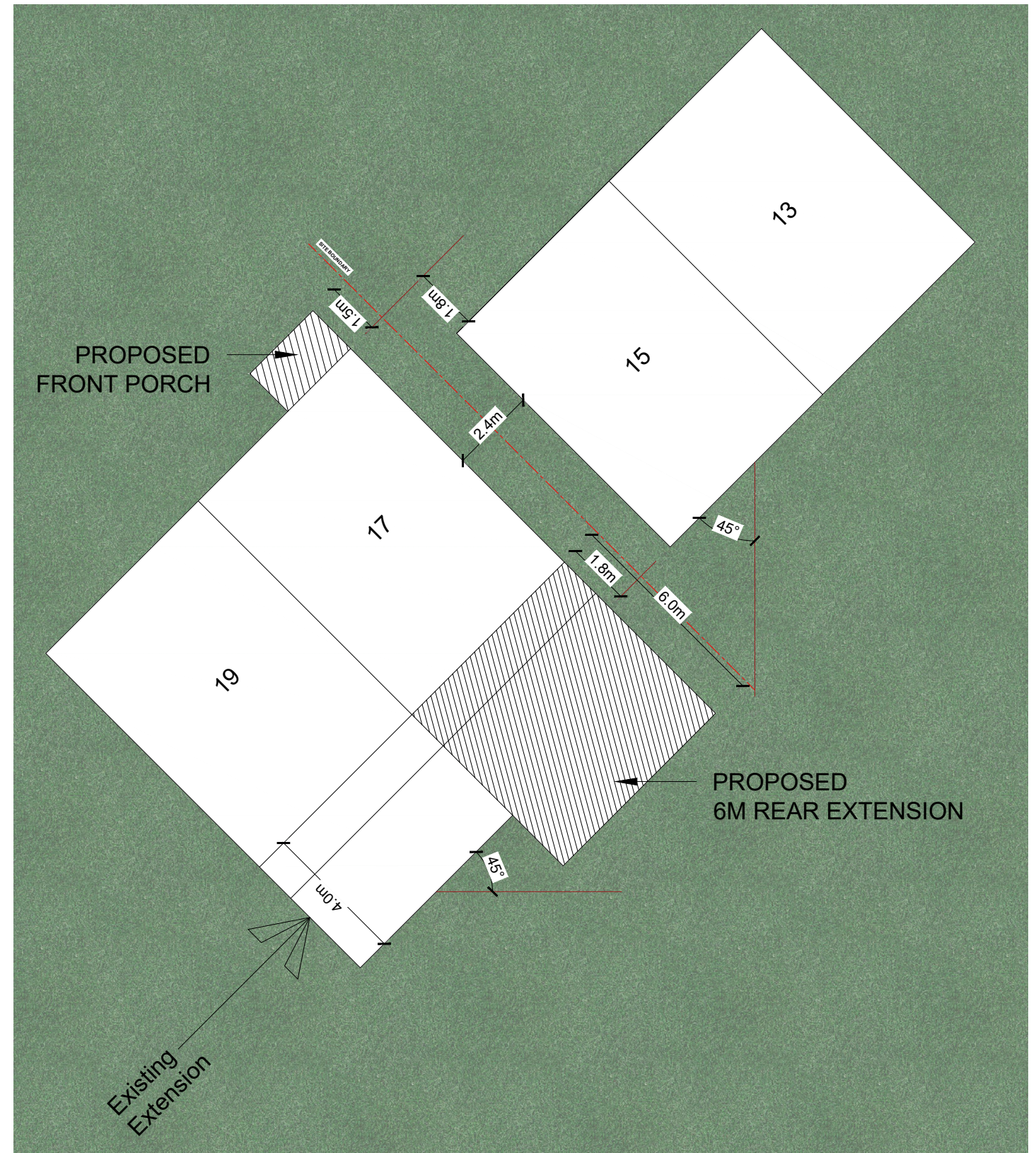
**EXISTING GROUND FLOOR PLAN & EXISTING FRONT & REAR ELEVATIONS**

- All dimension are in metres.
- All concrete to be 1:2:4 mix by volume.
- All materials to be half hour fire resistant.
- All materials to be used to manufacturers instructions

- All works to be carried out in accordance with Building regulations and British standards, all in approval of the engineer.
- All new gullies to be roddable and back inlet type.
- New walls bonded to existing using similar profiles.
- Contractor to check all dimensions before commencement of works and inform client of any discrepancies.



**EXISTING BLOCK PLAN - 1:150**



**PROPOSED BLOCK PLAN - 1:150**



**SCALE BAR - 1:150**

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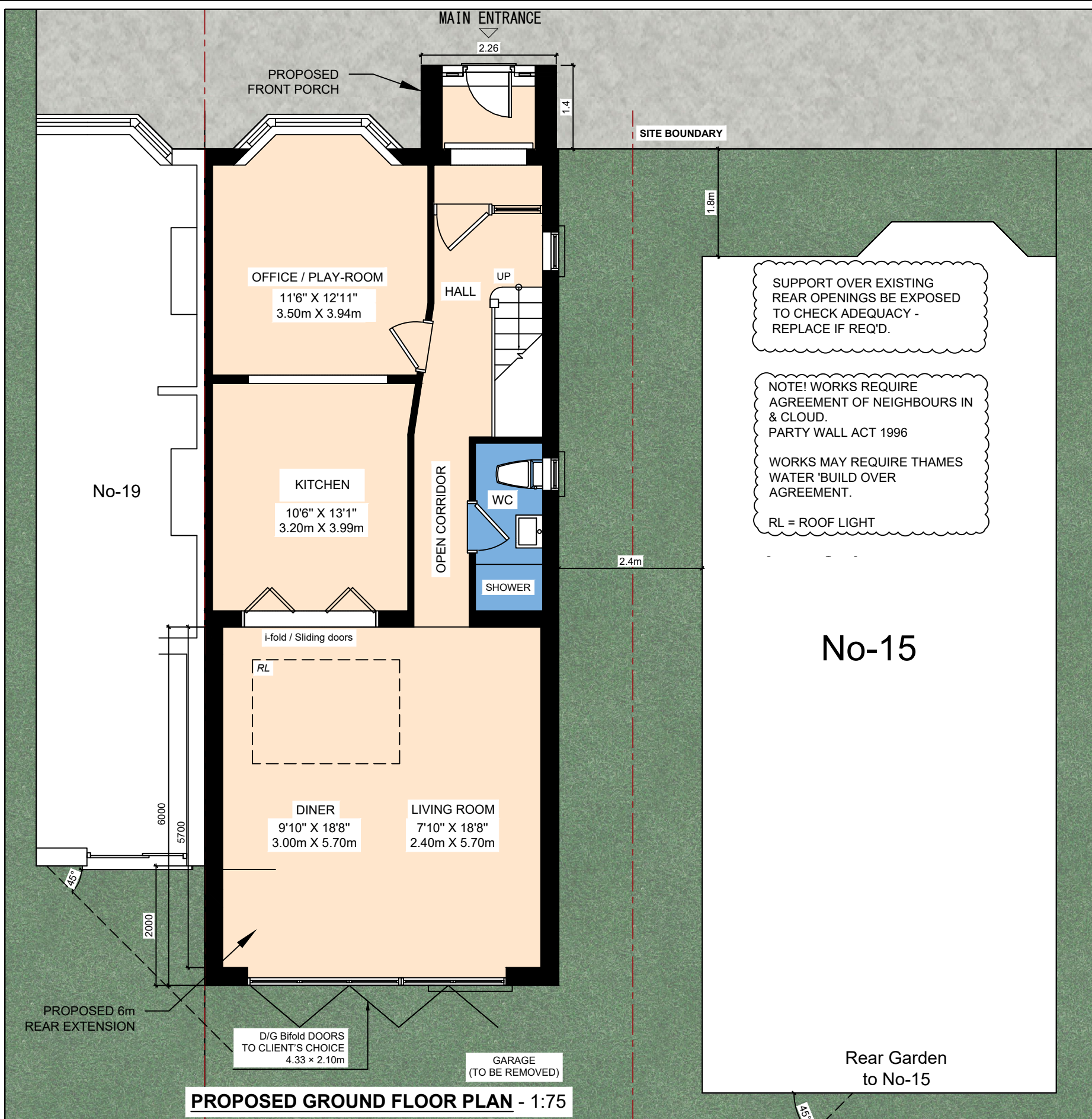
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**EXISTING BLOCK PLAN & PROPOSED BLOCK PLAN**

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SUPPORT OVER EXISTING REAR OPENINGS BE EXPOSED TO CHECK ADEQUACY - REPLACE IF REQ'D.

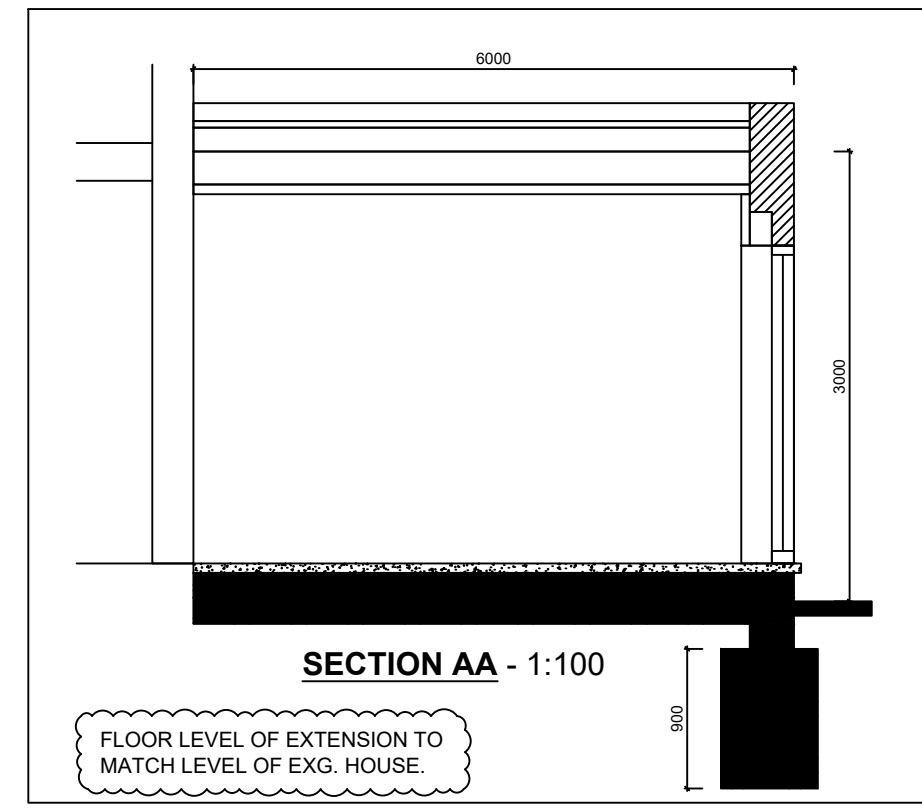
NOTE! WORKS REQUIRE AGREEMENT OF NEIGHBOURS IN & CLOUD. PARTY WALL ACT 1996

WORKS MAY REQUIRE THAMES WATER 'BUILD OVER AGREEMENT.

RL = ROOF LIGHT

No-15

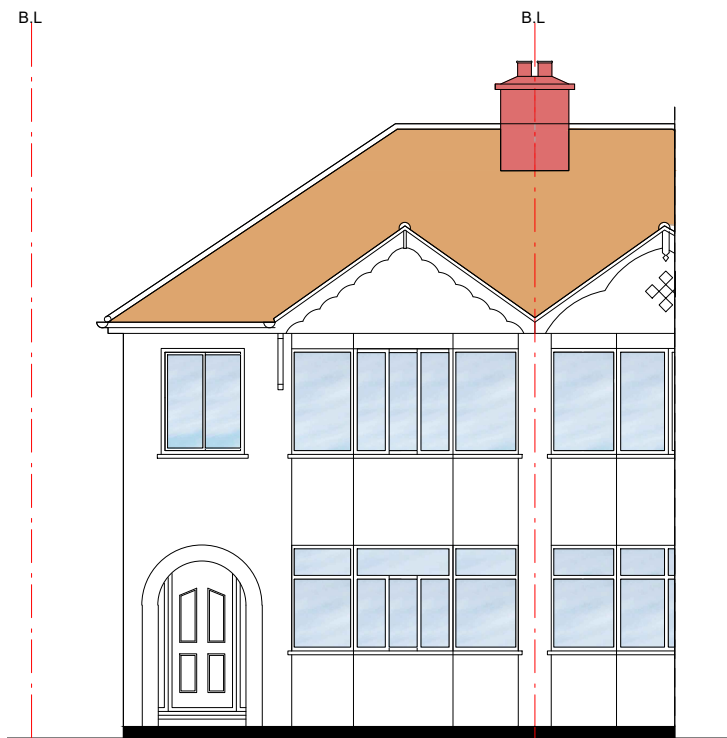
Rear Garden to No-15



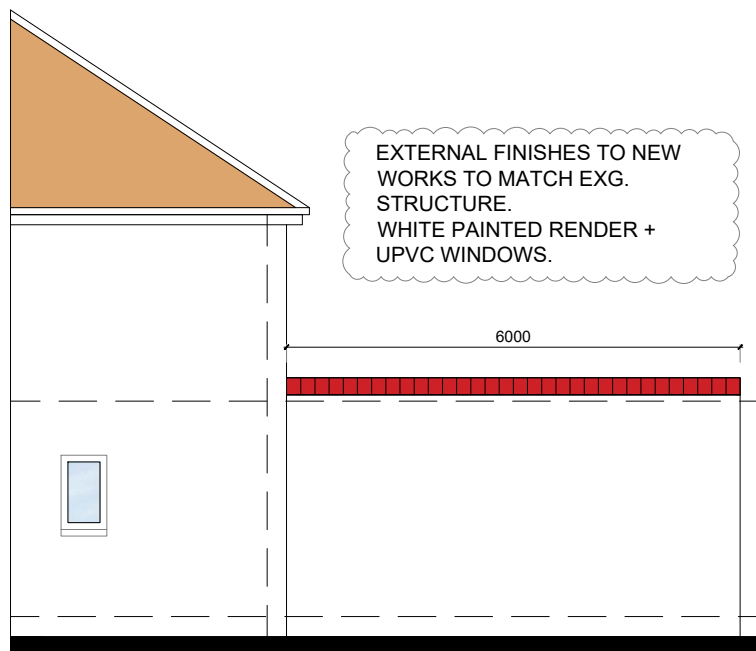
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## PROPOSED FLOOR PLAN & SECTION

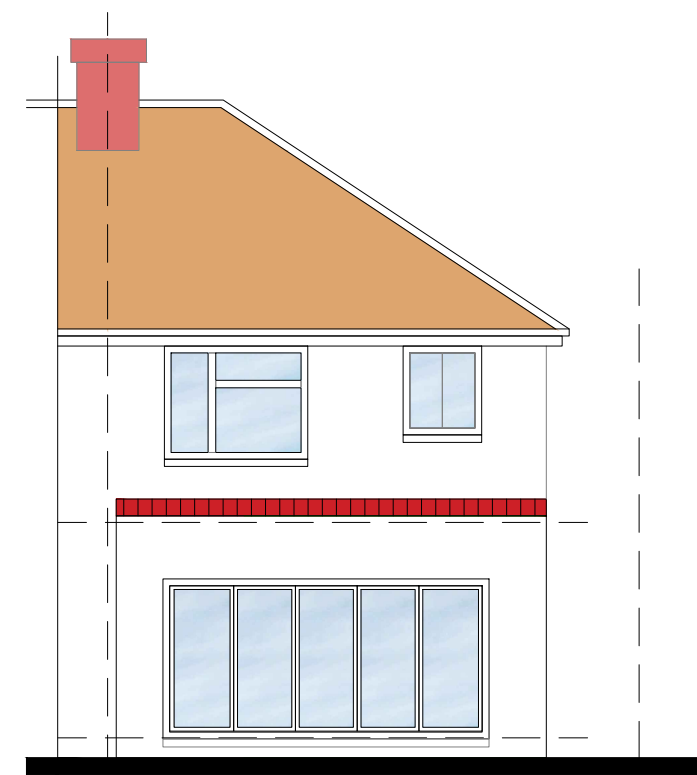
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**EXISTING FRONT ELEVATION - 1:100**



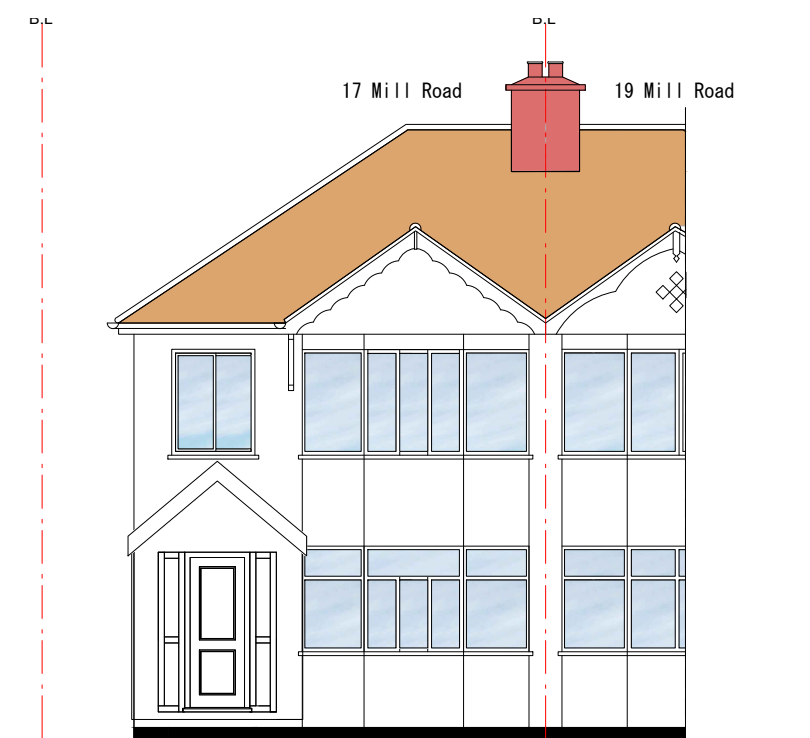
**SIDE - 1:100**



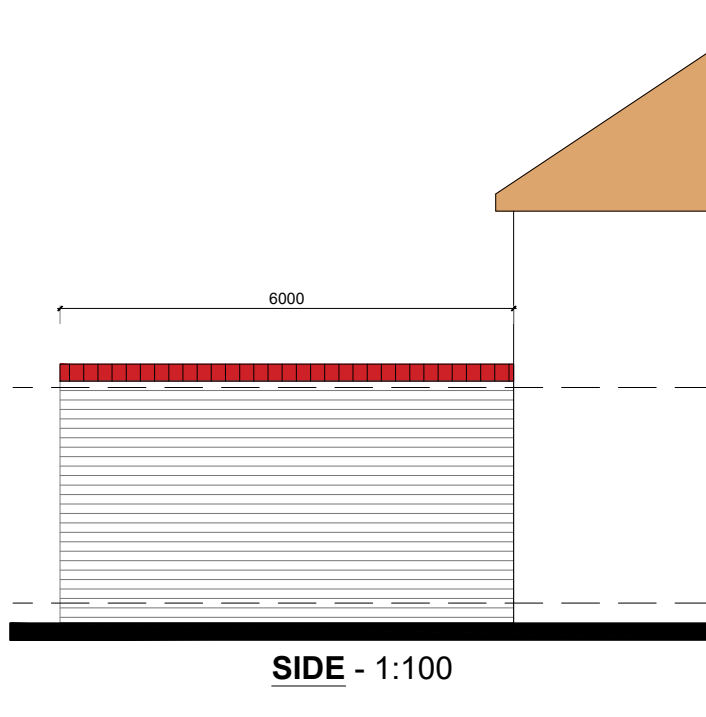
**REAR - 1:100**

D/G. ROOF LIGHTS TO CLIENTS CHOICE - TRIPLE JOIST TRIMMING ALL ROUND  
 FLAT ROOF: 200 x 50 mm JOISTS @ 400 CR.  
 UPVC. FASCIA & SOFFIT AS REQ'D.  
 FOUNDATIONS NOT TO ENCROACH SITE BOUNDARY  
 DRGS TO BE READ IN CONJUNCTION WITH SPEC. NOTES.

NEW EXTENSION WALLS TO BE PROVIDED WITH A BRICK ON EDGE PARAPET DETAIL + WITH CREASING TILE. AS REQD BY L.P.A.



**PROPOSED FRONT ELEVATION - 1:100**



**SIDE - 1:100**



**SCALE BAR - 1:100**

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**ELEVATIONS**

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