

FRONT ELEVATION
to remain as existing
no change



REAR ELEVATION



Slim line frame
for pitched roof.
Reset within roof tiles.
Can be fixed to roof pitch
as low as 12 deg. & as
high as 90 deg.

ROOF LIGHTS on pitch roof
Rooflights to be double glazed + to meet
'U' value of min. 2.0 W/m sq.K.
All roof lights to be A-A fire rated.

Double up rafters on the side of opening,
supporting double trimmers above
& below opening. Bolt together with M12
bolts at 450 c/s.
Must be 450mm minimum clear opening
with non opening fasteners.

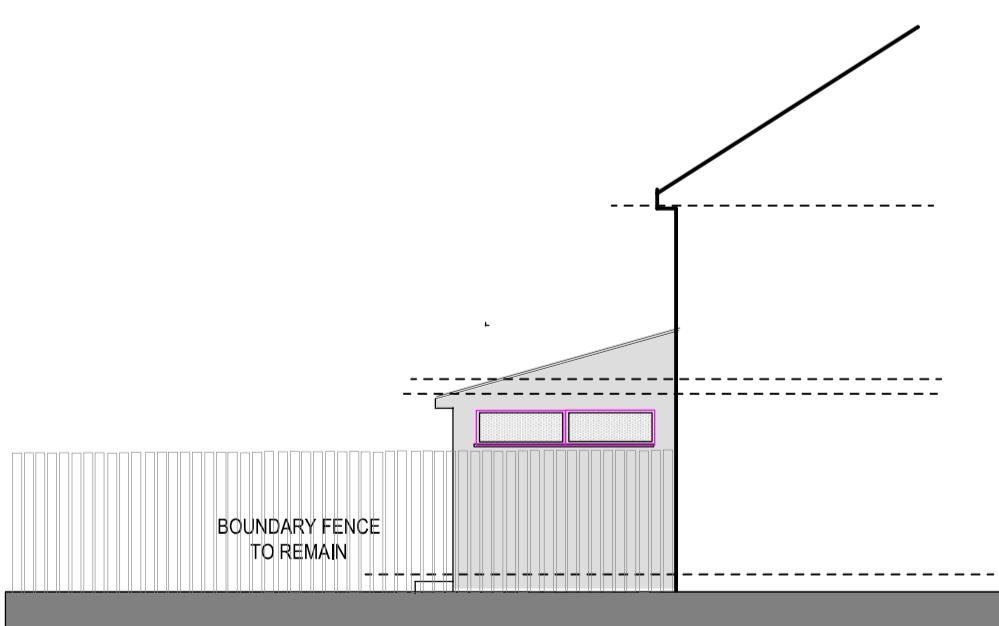
Fixed in accordance with the manufacturers
instructions.

No change proposed to front elevation.

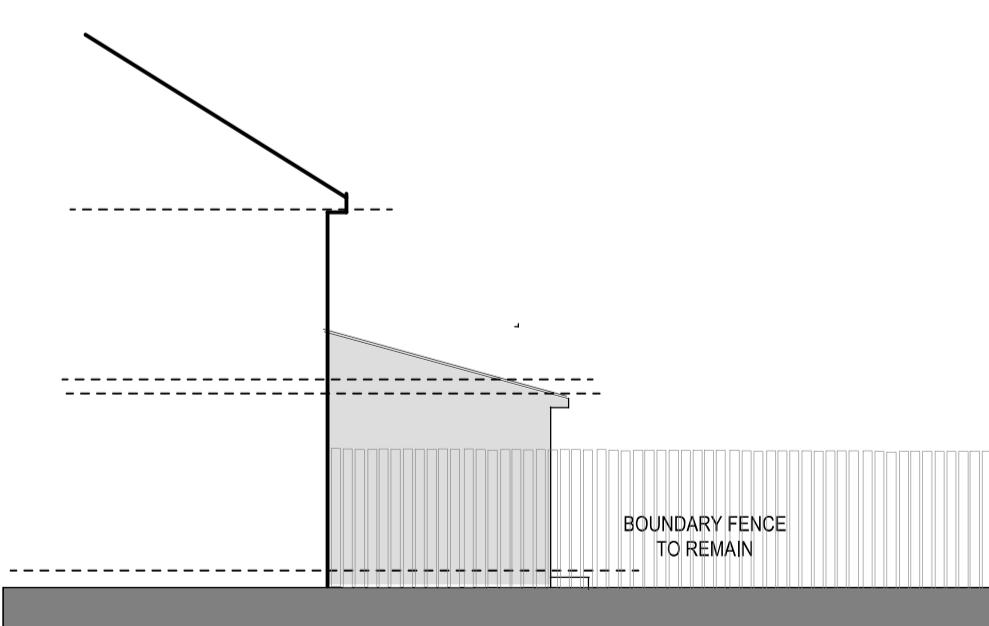
REAR ELEVATION

- WALLS - Rear extension - pebbledash to match existing.
- ROOF - Plain red/brown roof tiles to match existing main house.
- WINDOWS - Double glazed.
- RWP & GUTTERS - To be UPVc black to match existing.
- EAVES - UPVc fascia & soffit, width to match main house.

PROPOSED WORK SHADED GREY.



SIDE ELEVATION
(north east) SIDMOUTH DRIVE



SIDE ELEVATION
(south west)

PROPOSED

Purpose - Householder planning application only

All dimensions to be checked on site. All omissions & discrepancies to be reported to the designer.	PROJECT 40A Flamborough Road, Ruislip, HA4 0DJ	DATE 09/02/2023
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