

Date: 10/09/2022

**To Whom It May Concern.**  
**(Design And Access Statements)**

**Proposed Application: for**  
**Demolish existing Garage and Rear extension.**  
**Proposed Single Storey side & Rear Extension.**

**PROJECT:**

**11 Harmondworth, Lane, West Drayton, Middlesex, UB7 0JQ.**

**In brief:**

Note: At this address we had similar application on date 27/04/2018 and approved **Ref: 58750/APP/2018/1552 .**

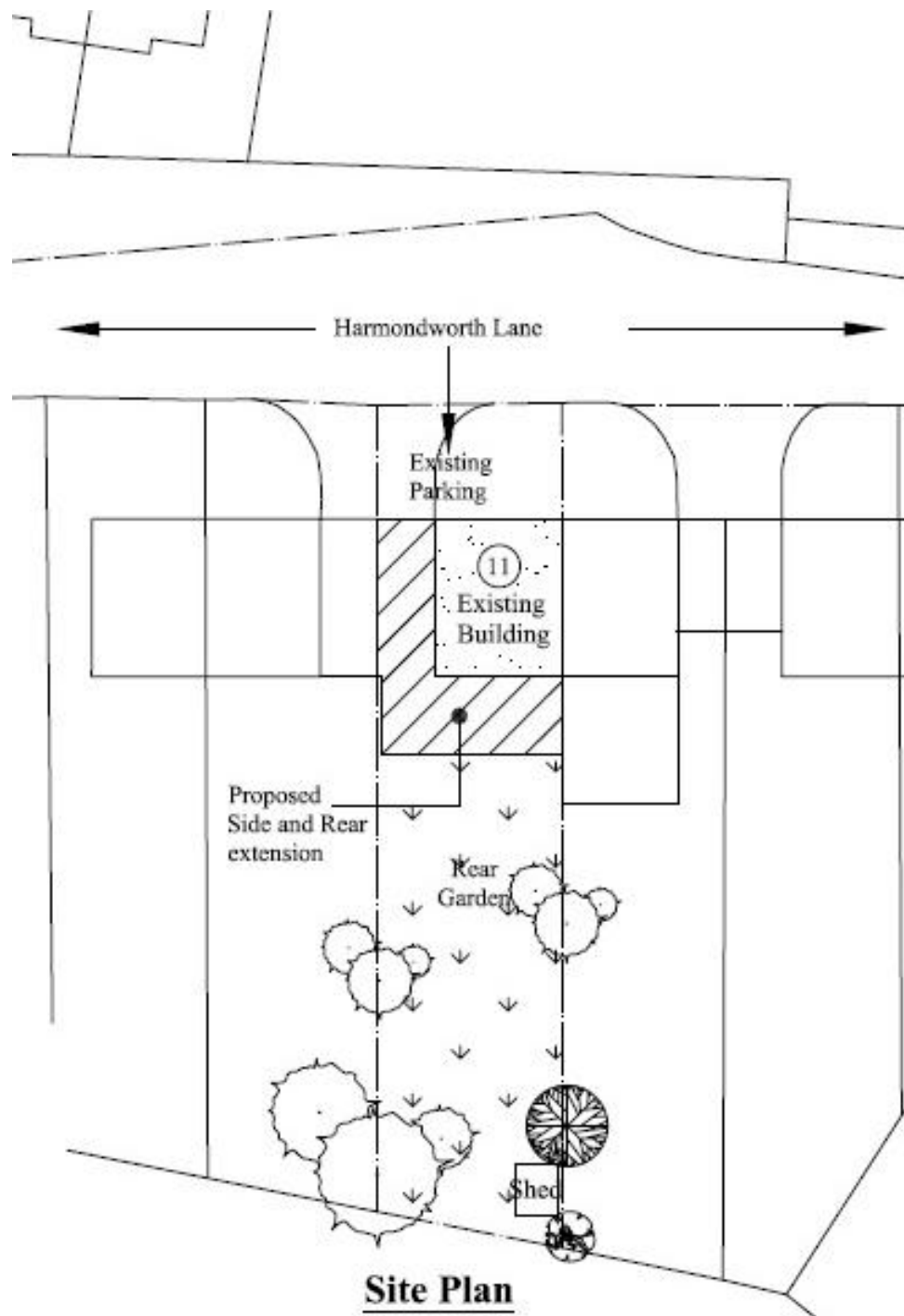
Above mention property is semi detached partly rear extended 3- Bed house, around 1930 built. It lies at Harmondworth Lane, West Drayton. It has two accesses from Harmondworth Lane through main door to existing building and at side through existing garage to back garden.

This property is solely used by single owner Mr. **Bhim Bashyal**. At ground floor, two reception, kitchen, extended dinning and side garage. Now owner use existing garage for temporary sitting area. First floor 3 bed rooms and family bathrooms. Front and back has substantial gardens.

**Design:**

Proposed design for demolish existing side garage and rear extension 3.65 M. And proposed side and rear extension with Flat roof. Side extension use for one en-suite bed room for elderly person or who can't go upstairs and at rear additional space for kitchen and dining. Building structure: Load bearing wall (Cavity wall) on top of pitch roof. Eaves and highest level are 2.85 M and 3.0 M as shown on drawing BAL-11H, sheet no: 03 and 05. Building materials will be mixed matched with existing one. All door and windows are double glazed upvc.

**For Security purpose:** Smoke Detectors: Provide new mains linkable single point operated smoke detectors with battery backup and wired up independent fuse at consumer unit comply with BS 5839-6:2004 to approved documents All Fire Doors: Provide ½ an hour fire doors where marked **FD30** closing onto min. 25 mm stops or rebated frame fitted with smoke seals and in tumescent strips. Any glazed doors (Whether new or existing) need to be of fire resisting material and retained by a suitable glazing system.



With best regards

Rabin Khadka

**Email:** [rabinkhadka@hotmail.co.uk](mailto:rabinkhadka@hotmail.co.uk),

Mb no: 078 3293 8374