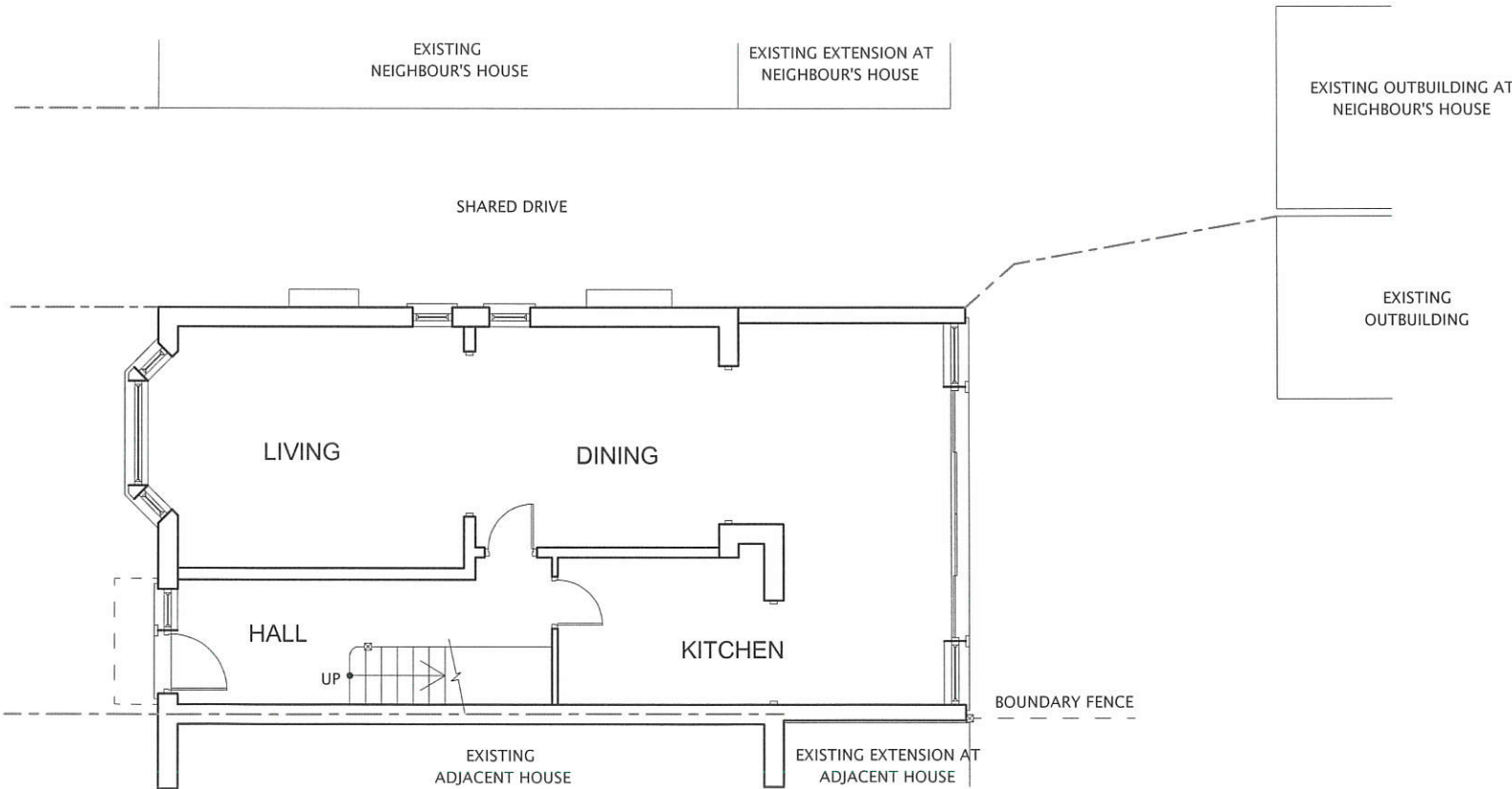


EXISTING FIRST FLOOR PLAN



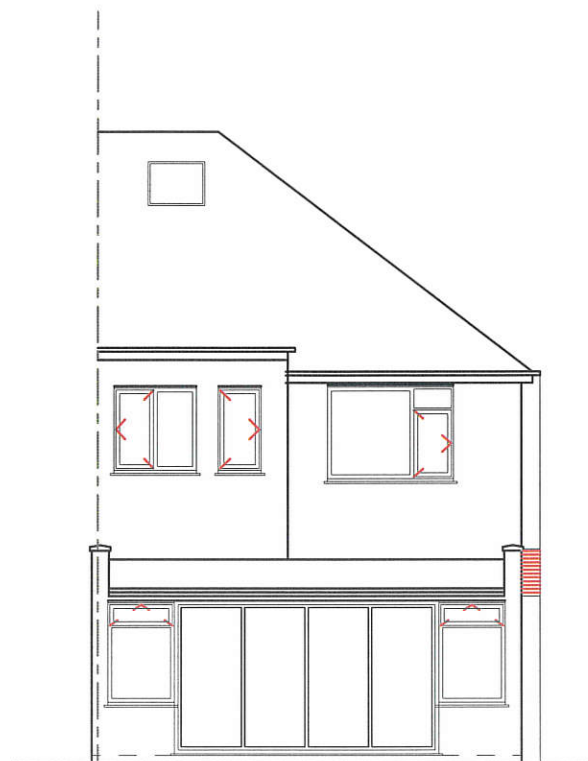
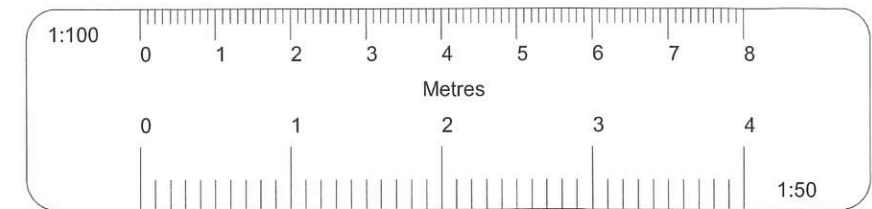
EXISTING GROUND FLOOR PLAN

All dimensions verified on site.
All work to comply with British Standards, Code of practice.
All internal works to be in accordance with client instructions.
All external surfaces to match existing.
All work to be to the satisfaction of the local authority-building surveyor.
Builder to serve building notice and comply fully in all respects.
Owner responsible for compliance with 1.Party Wall etc Act 1996. 2. Thames water Build Over Agreement.
Builder to ensure all work in compliance with Build Over agreement as approved by Thames Water
All proprietary materials to manufacturers recommendations
Works to boiler/Gas to be carried out by Gas Safe registered installer and to Gas Safe recommendations

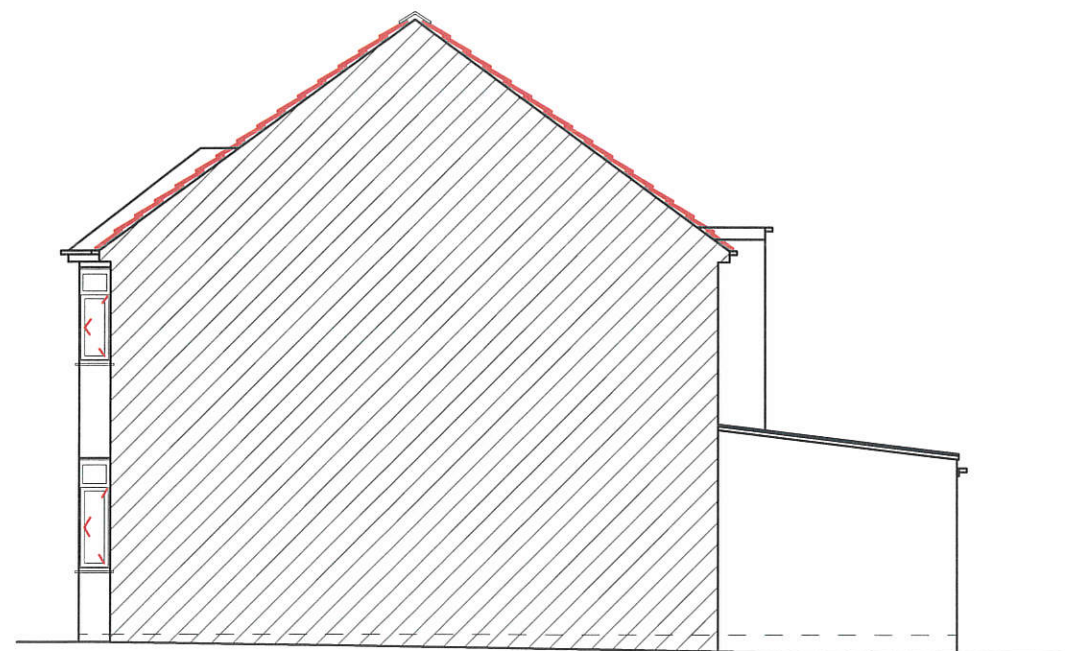
All wiring and electrical work will be designed, installed, inspected and tested in accordance with the requirements of BS 7671:2001 (2004), the 17th edition Wiring Guidance and Building Regulation Part P (Electrical Safety) by a competent person registered with an electrical self-certification scheme, (BRE, BSI, ELECSA, NAPIT, or NICEIC), authorised by the Secretary of State
The competent person is to send a self-certification certificate to the Local Authority Building Control Department within 30 days of completion of the electrical works. The client must receive both a copy of the self-certification certificate and a BS 7671:2001 (2004) Electrical Installation Test Certificate and forward copies to the Local Authority Building Control Dept.

- Upgrade doors to minimum 20mins. fire rated.
- Smoke detection provided through out complying with requirements of BS5839 part-6.

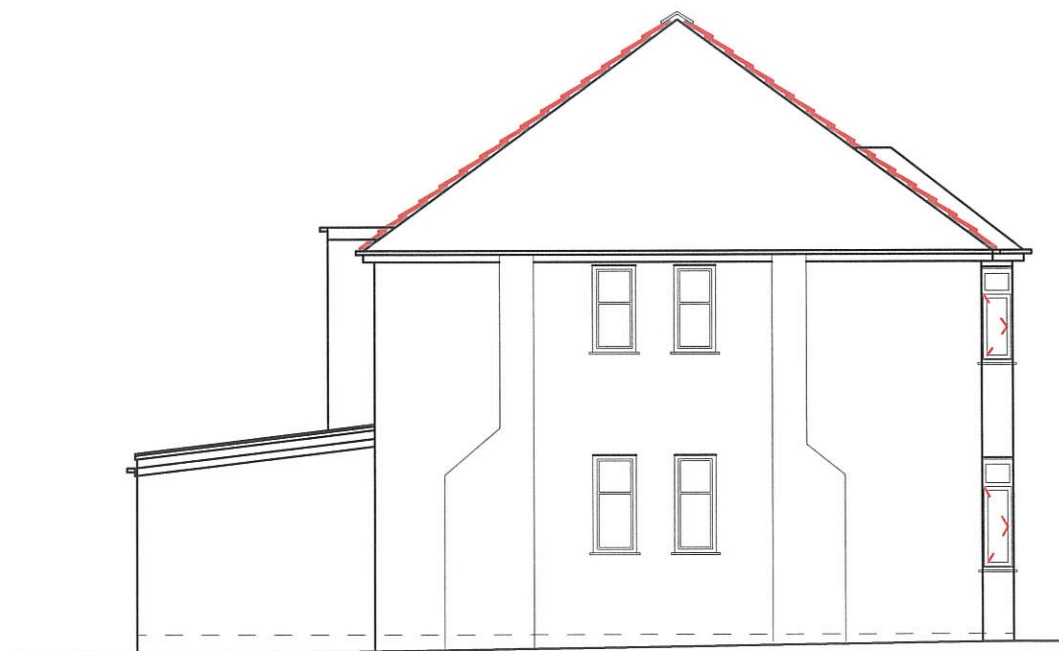
	DATE	REVISION
COPYRIGHT:		
JOB TITLE: 13 CROSIER WAY RUISLIP.		
DRAWING TITLE: EXISTING FLOOR PLANS AND BLOCK PLAN		
SCALE : 1:100		
DATE: 17/04/2022		DRAWN BY:
DRG. NO. 2022/13/CWR/101		REV.



EXISTING REAR ELEVATION



EXISTING RIGHT SIDE ELEVATION



EXISTING LEFT SIDE ELEVATION

All dimensions verified on site.
All work to comply with British Standards, Code of practice.
All internal works to be in accordance with client instructions.
All external surfaces to match existing.
All work to be to the satisfaction of the local authority-building surveyor.
Builder to serve building notice and comply fully in all respects.
Owner responsible for compliance with 1.Party Wall etc Act 1996. 2. Thames water Build Over Agreement.
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- Upgrade doors to minimum 20mins. fire rated.
- Smoke detection provided through out complying with requirements of BS5839 part-6.

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JOB TITLE:

13 CROSIER WAY
RUISLIP.

DRAWING TITLE:
EXISTING ELEVATIONS

SCALE : 1:100

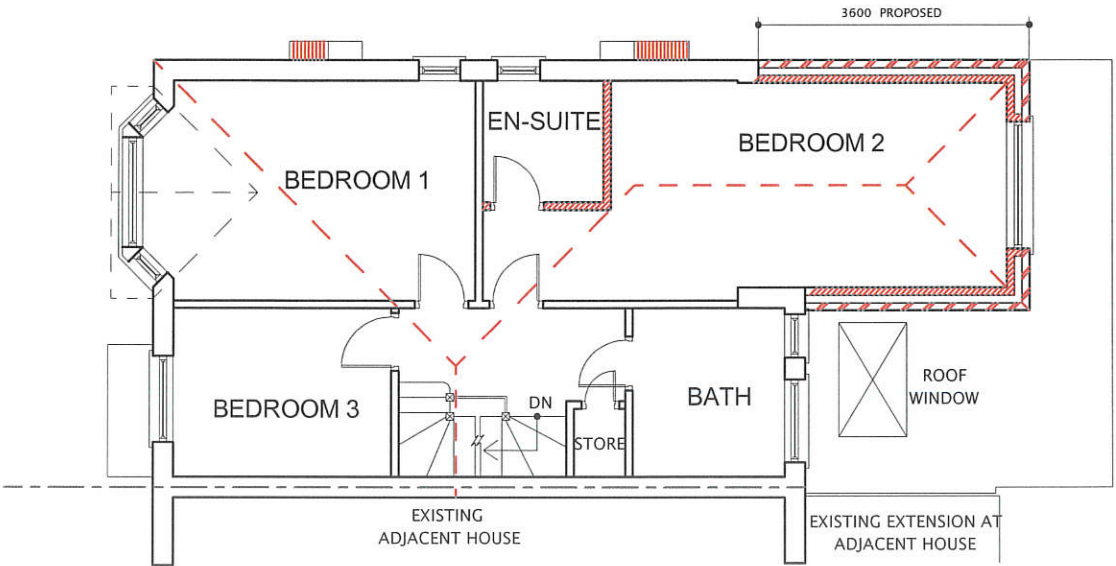
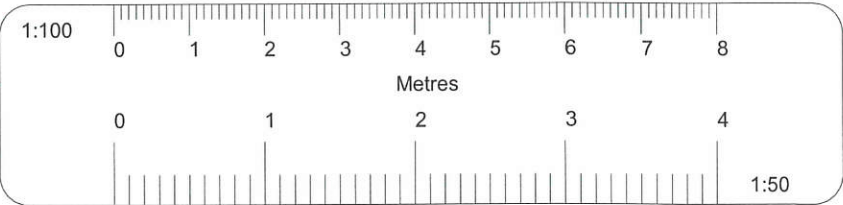
DATE: 17/04/2022

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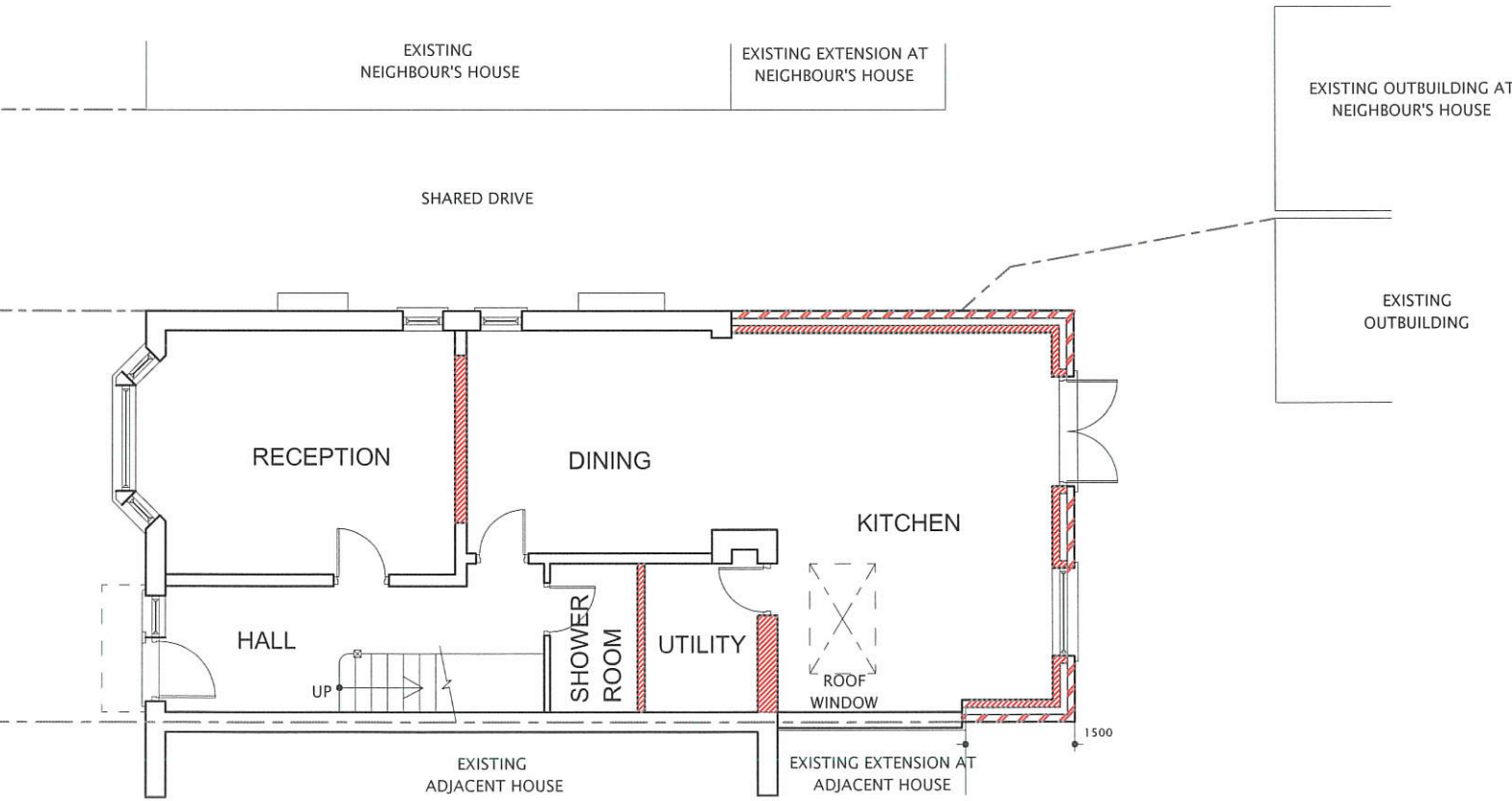
DRG. NO.

2022/13/CWR/102

REV.



PROPOSED FIRST FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

All dimensions verified on site.
All work to comply with British Standards, Code of practice.
All internal works to be in accordance with client instructions.
All external surfaces to match existing.
All work to be to the satisfaction of the local authority-building surveyor.
Builder to serve building notice and comply fully in all respects.
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- Upgrade doors to minimum 20mins. fire rated.
- Smoke detection provided through out complying with requirements of BS5839 part-6.

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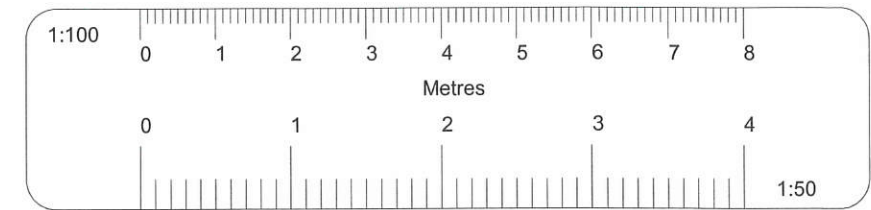
JOB TITLE:
13 CROSIER WAY
RUISLIP.

DRAWING TITLE:
EXISTING FLOOR PLANS AND BLOCK PLAN

SCALE : 1:100

DATE: 17/04/2022 DRAWN BY:

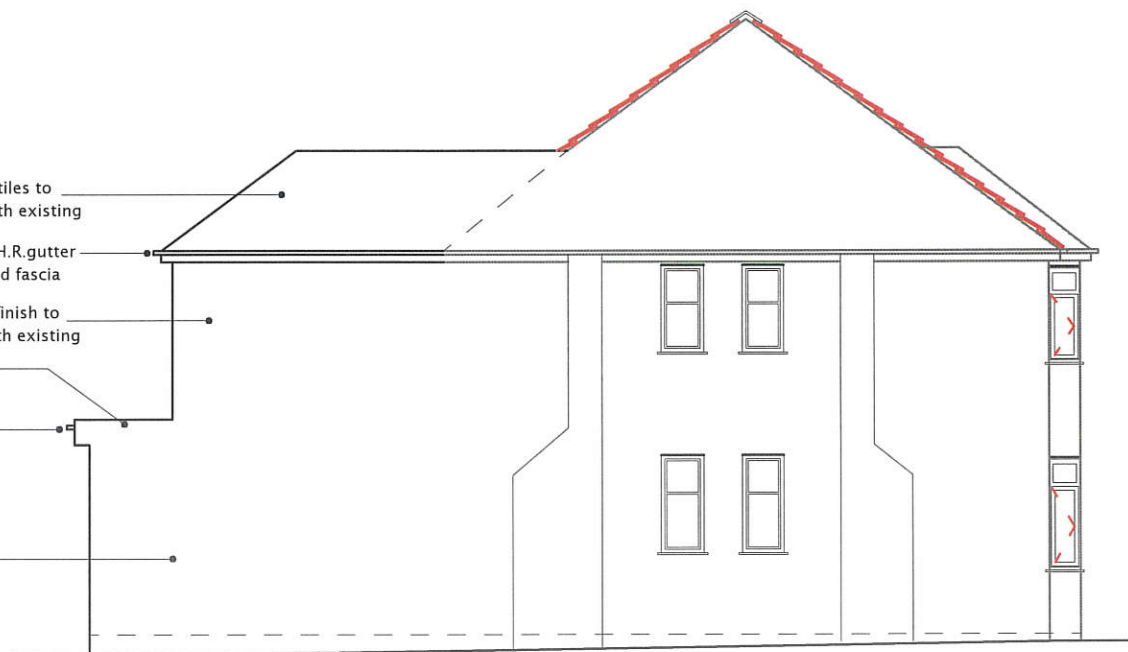
DRG. NO.	REV.
2022/13/CWR/103	



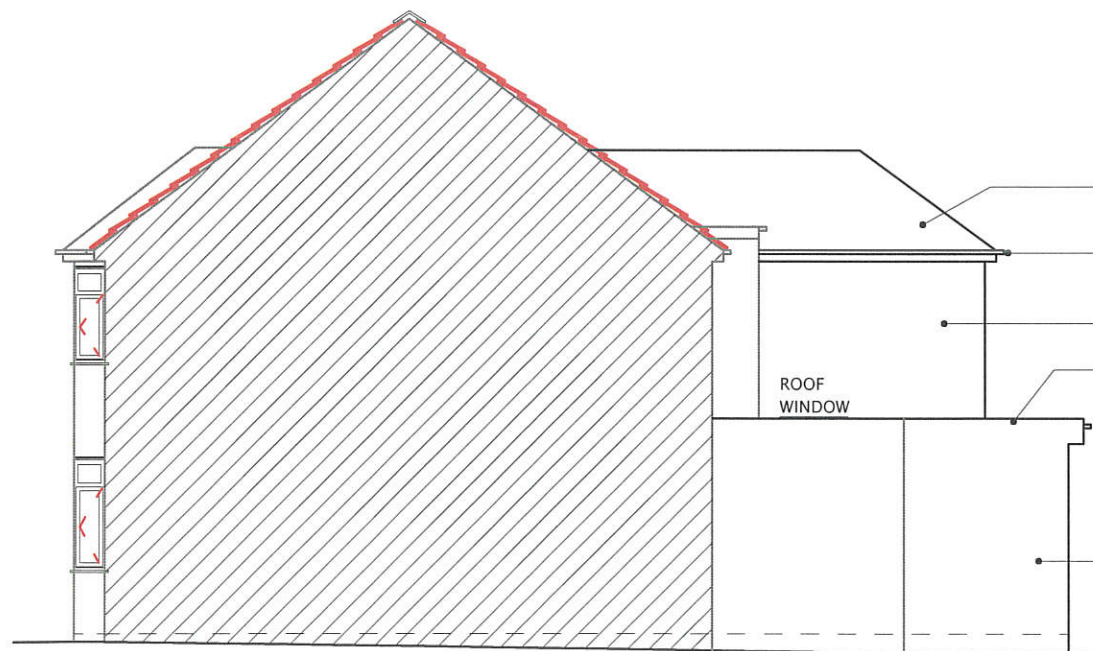
PROPOSED REAR ELEVATION

New rooftiles to match with existing
100 dia. H.R.gutter on painted fascia
External finish to match with existing

New GRP Fiberglass roof
100 dia. H.R.gutter on painted fascia
New double glazed door and window
External finish to match with existing



PROPOSED LEFT SIDE ELEVATION



PROPOSED RIGHT SIDE ELEVATION

New rooftiles to match with existing
100 dia. H.R.gutter on painted fascia
External finish to match with existing

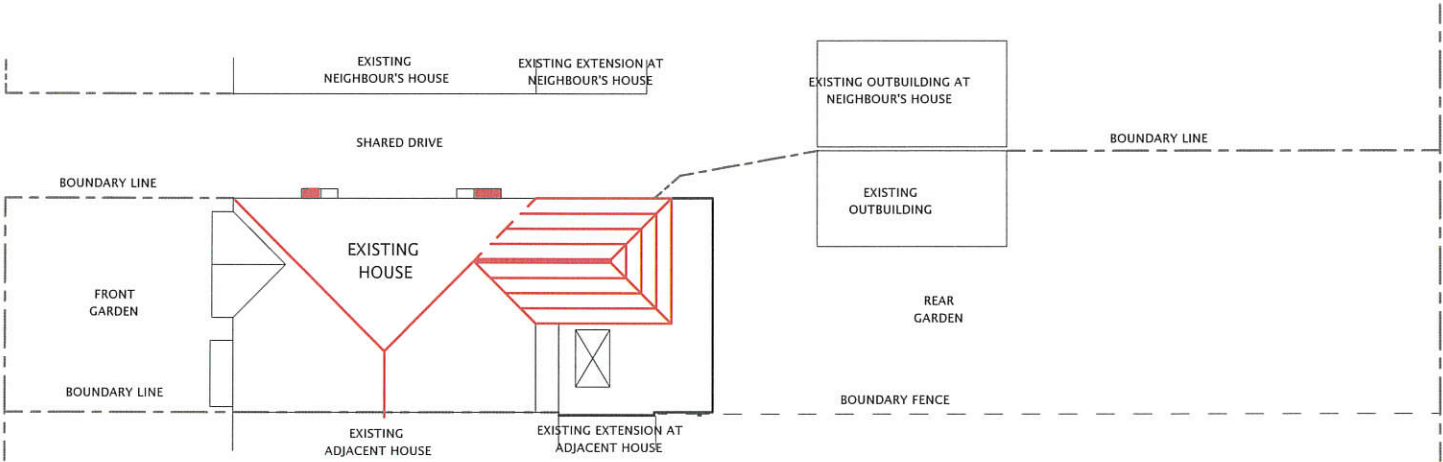
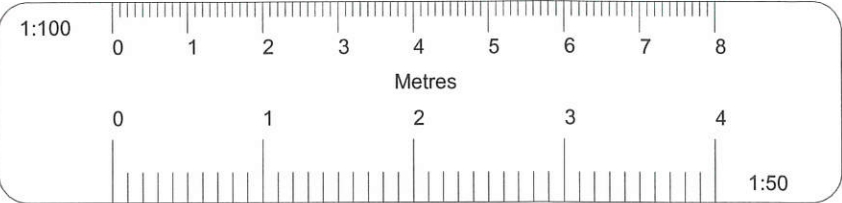
New GRP Fiberglass roof
100 dia. H.R.gutter on painted fascia
External finish to match with existing

All dimensions verified on site.
All work to comply with British Standards, Code of practice.
All internal works to be in accordance with client instructions.
All external surfaces to match existing.
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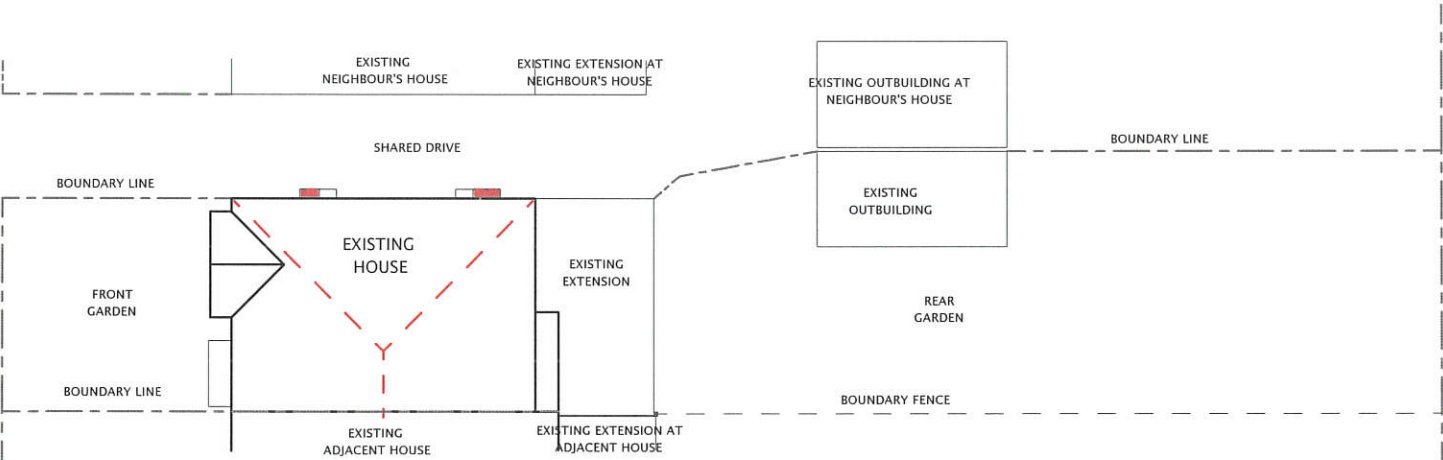
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- 100 Upgrade doors to minimum 20mins. fire rated.
10 Smoke detection provided through out complying with requirements of BS5839 part-6.

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JOB TITLE: 13 CROSIER WAY RUISLIP.		
DRAWING TITLE: PROPOSED ELEVATIONS		
SCALE : 1:100		
DATE: 17/04/2022 DRAWN BY:		
DRG. NO. 2022/13/CWR/104	REV.	



PROPOSED BLOCK PLAN (SCALE 1:200)



EXISTING BLOCK PLAN (SCALE 1:200)

All dimensions verified on site.
All work to comply with British Standards, Code of practice.
All internal works to be in accordance with client instructions.
All external surfaces to match existing.
All work to be to the satisfaction of the local authority-building surveyor.
Builder to serve building notice and comply fully in all respects.
Owner responsible for compliance with 1. Party Wall etc Act 1996. 2. Thames water Build Over Agreement.
Builder to ensure all work in compliance with Build Over agreement as approved by Thames Water
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- Upgrade doors to minimum 20mins. fire rated.
- Smoke detection provided through out complying with requirements of BS5839 part-6.

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JOB TITLE:		
13 CROSIER WAY RUISLIP.		
DRAWING TITLE:		
EXISTING AND PROPOSED BLOCK PLAN		
SCALE : 1:200		
DATE: 17/04/2022		
DRAWN BY:		
DRG. NO.	REV.	
2022/13/CWR/105		