

All dimensions verified on site.  
All work to comply with British Standards, Code of practice.  
All internal works to be in accordance with client instructions.

All external surfaces to match existing.  
All work to be to the satisfaction of the local authority-building surveyor.

Builder to serve building notice and comply fully in all respects.

Owner responsible for compliance with 1. Party Wall etc Act 1996. 2. Thames water Build Over Agreement.

Builder to ensure all work in compliance with Build Over agreement as approved by Thames Water

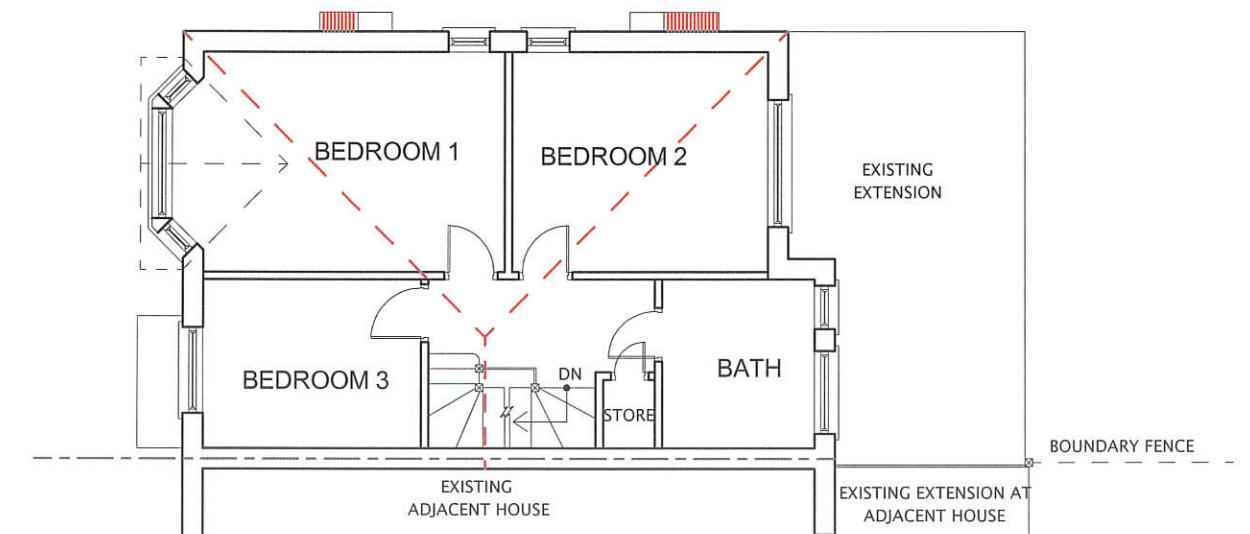
All proprietary materials to manufacturers recommendations  
Works to boiler/Gas to be carried out by Gas Safe registered installer and to Gas Safe recommendations

All wiring and electrical work will be designed, installed, inspected and tested in accordance with the requirements of BS 7671:2001 (2004), the 17th edition Wiring Guidance and Building Regulation Part P (Electrical Safety) by a competent person registered with an electrical self-certification scheme, (BRE, BSI, ELECSA, NAPIT, or NICEIC), authorised by the Secretary of State

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FD Upgrade doors to minimum 20mins. fire rated.

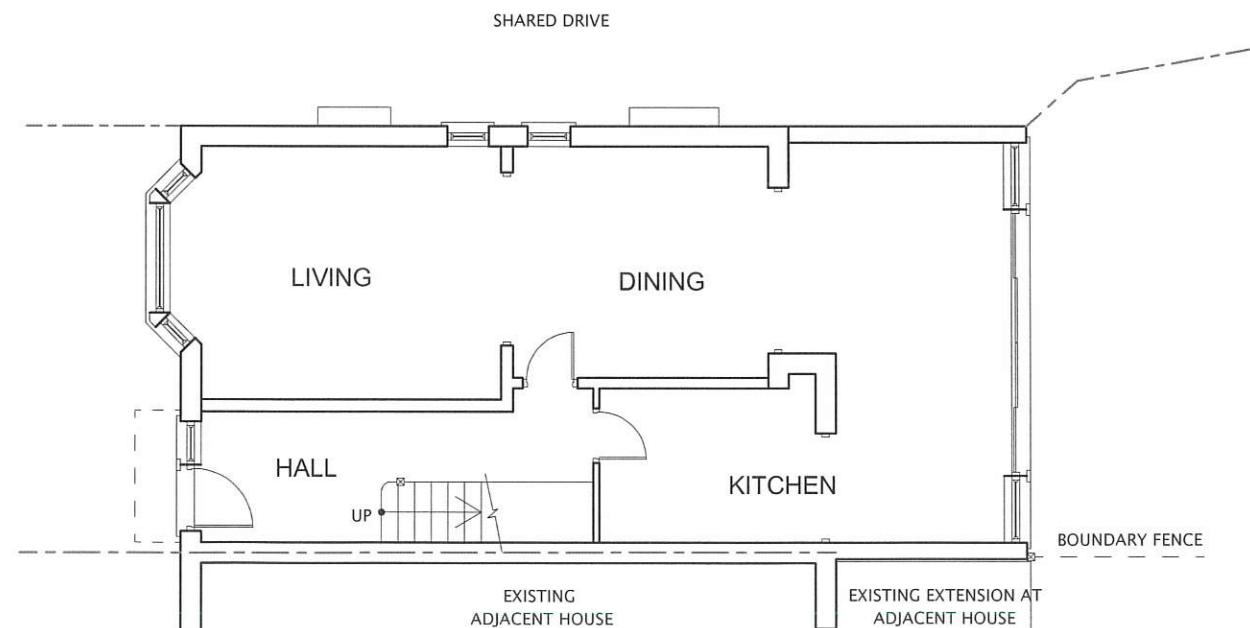
SD Smoke detection provided throughout complying with requirements of BS5839 part-6.



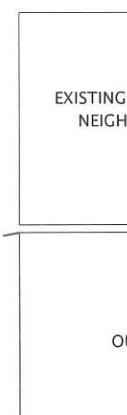
EXISTING FIRST FLOOR PLAN



EXISTING OUTBUILDING AT NEIGHBOUR'S HOUSE



EXISTING GROUND FLOOR PLAN



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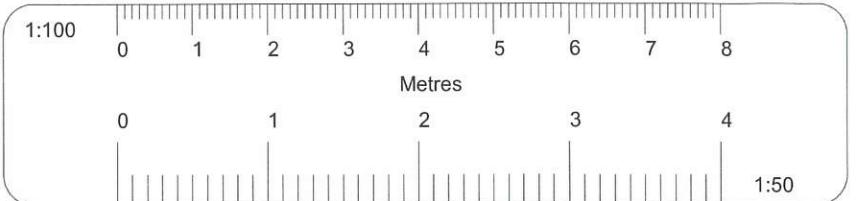
JOB TITLE:  
13 CROSIER WAY  
RUISLIP.

DRAWING TITLE:  
EXISTING FLOOR PLANS AND BLOCK PLAN

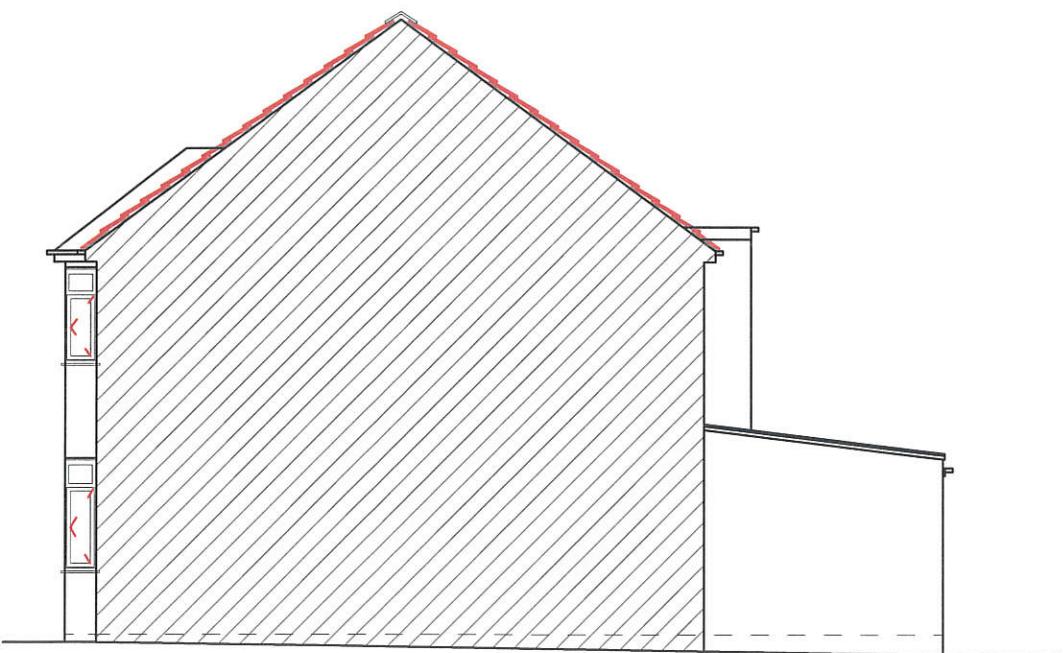
SCALE : 1:100

DATE: 17/04/2022 DRAWN BY:

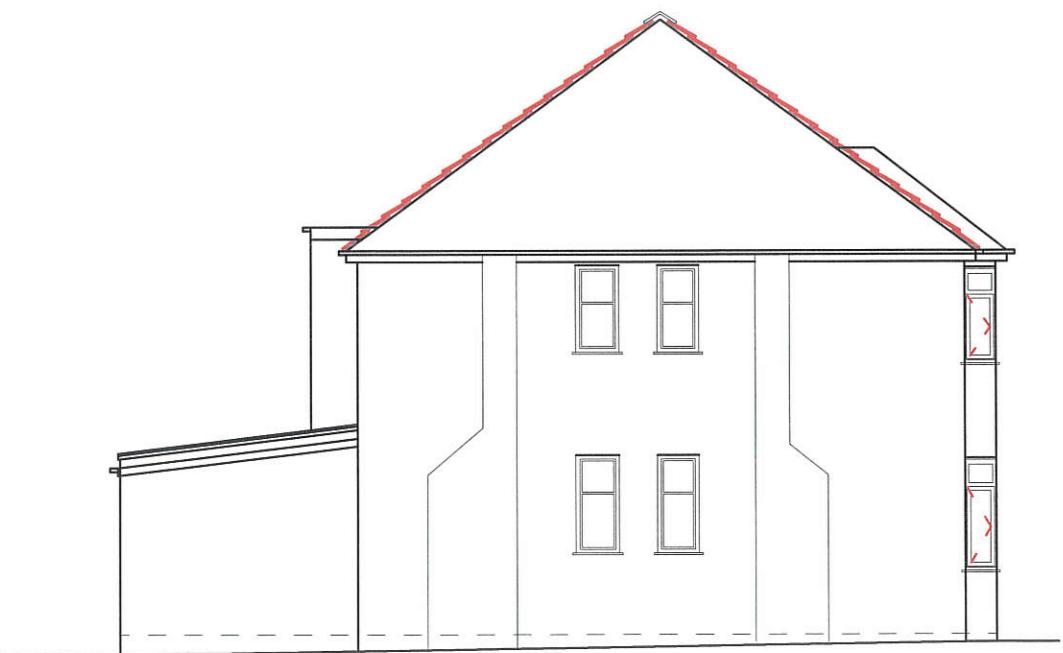
DRG. NO.	REV.
2022/13/CWR/101	



EXISTING REAR ELEVATION



EXISTING RIGHT SIDE ELEVATION



EXISTING LEFT SIDE ELEVATION

All dimensions verified on site.  
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UD Upgrade doors to minimum 20mins. fire rated.

SD Smoke detection provided throughout complying with requirements of BS5839 part-6.

DATE REVISION

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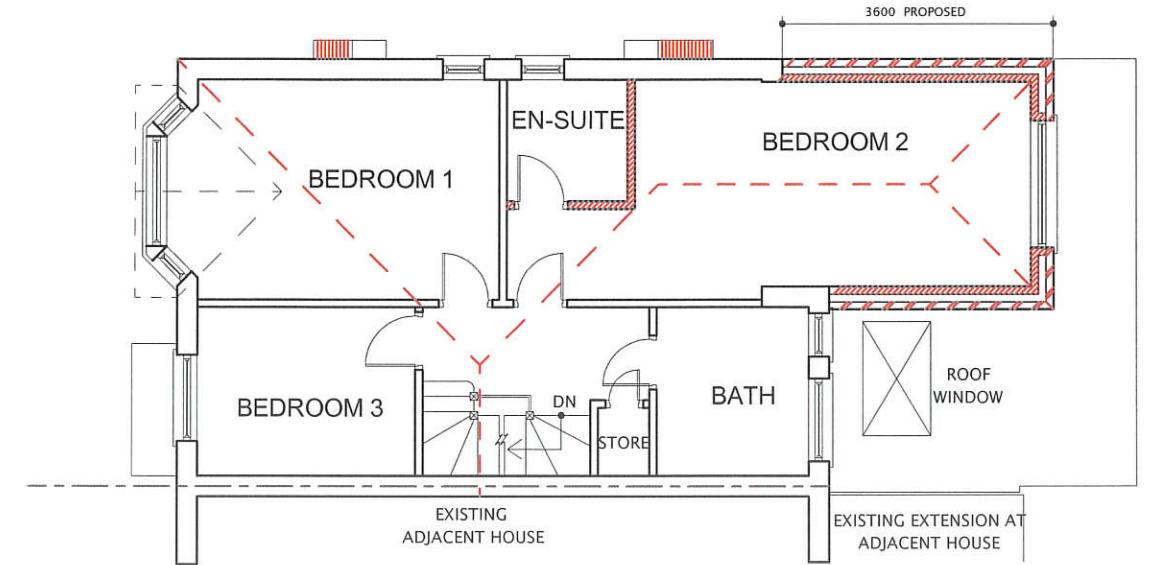
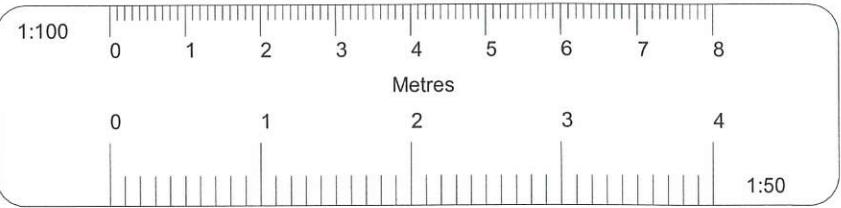
JOB TITLE:  
13 CROISIER WAY  
RUISLIP.

DRAWING TITLE:  
EXISTING ELEVATIONS

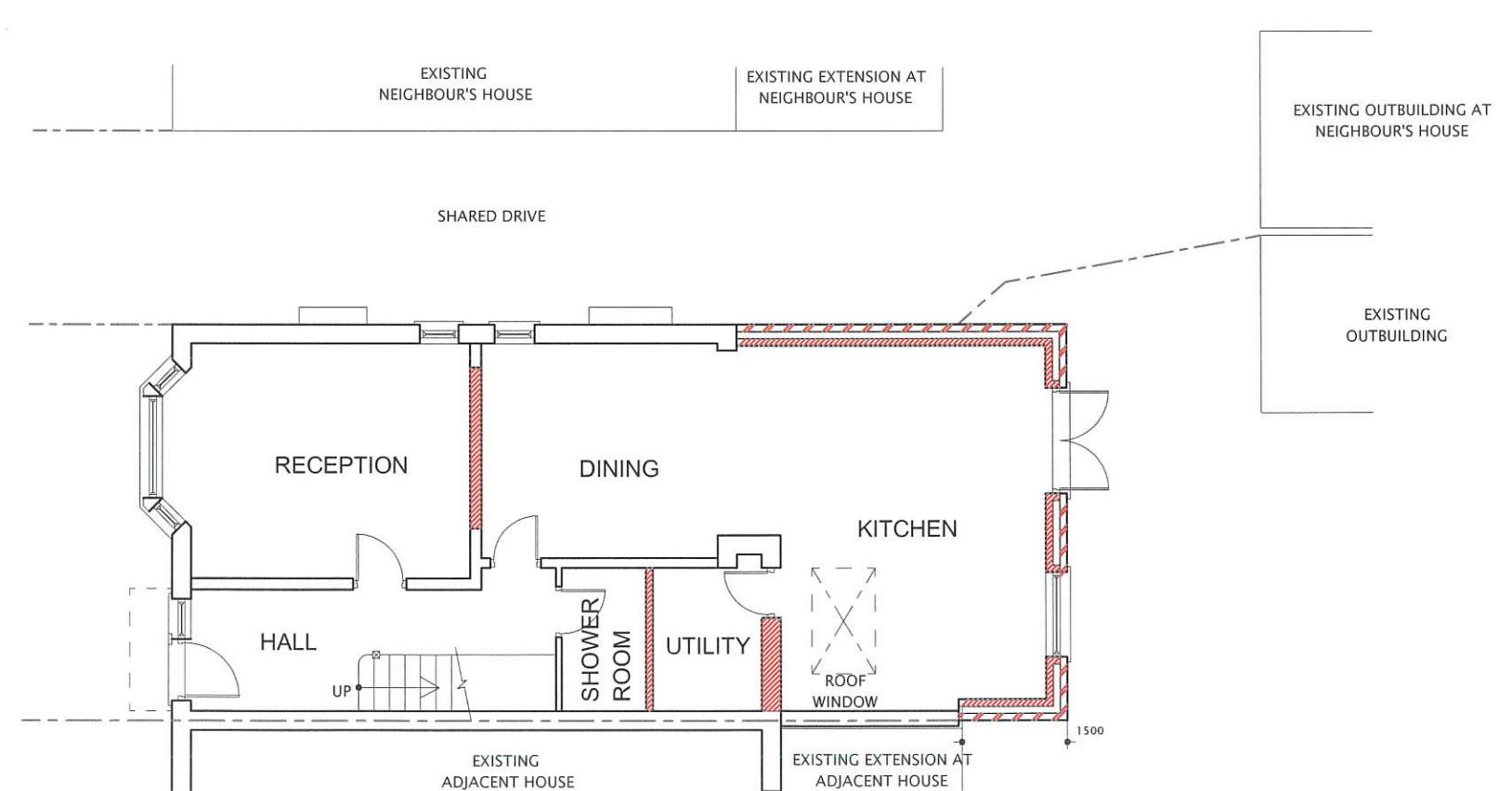
SCALE : 1:100

DATE: 17/04/2022 DRAWN BY:

DRG. NO.	REV.
2022/13/CWR/102	



PROPOSED FIRST FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

All dimensions verified on site.  
All work to comply with British Standards, Code of practice.  
All internal works to be in accordance with client instructions.

All external surfaces to match existing.  
All work to be to the satisfaction of the local authority-building surveyor.

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and to Gas Safe recommendations

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Upgrade doors to minimum 20mins. fire rated.

Smoke detection provided throughout complying with requirements of BS5839 part-6.

DATE REVISION

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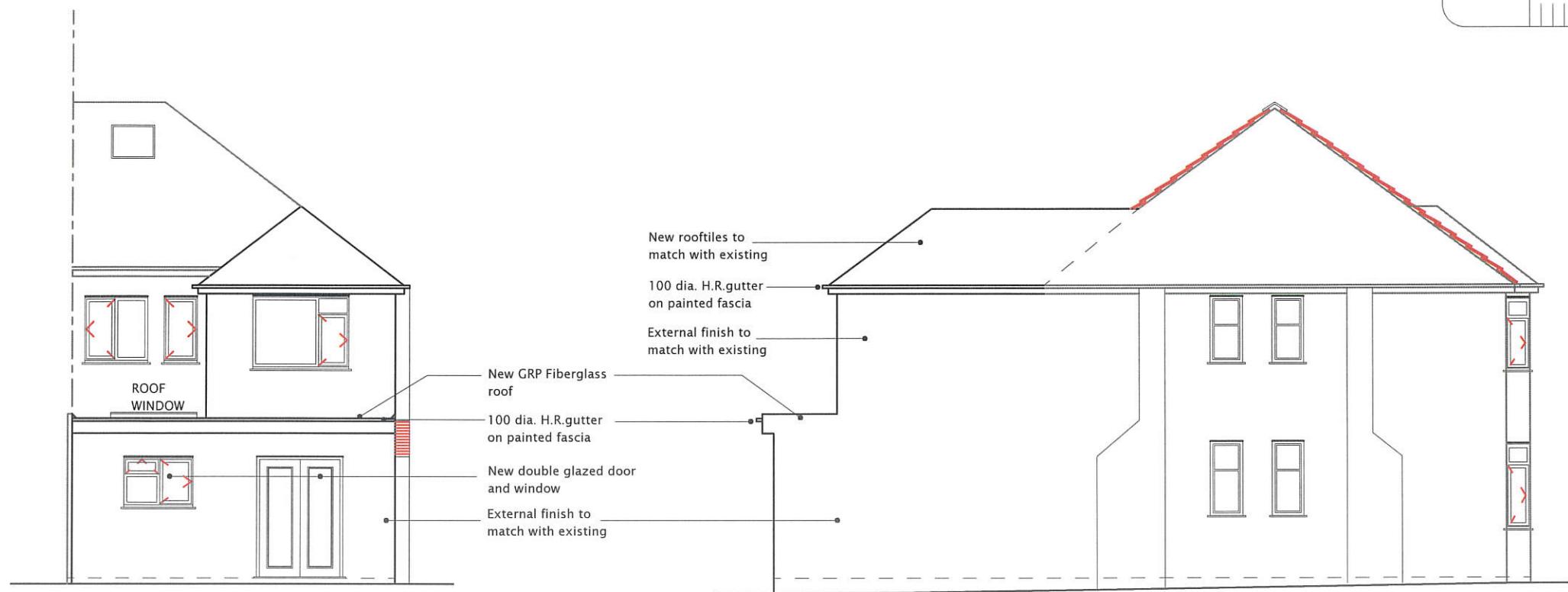
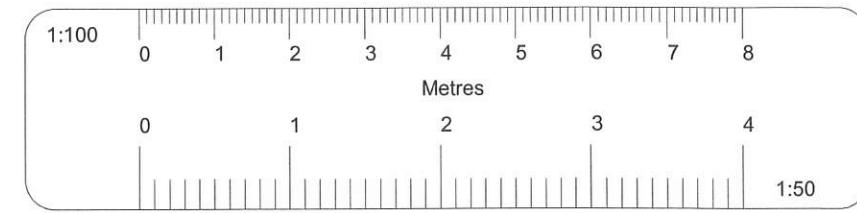
JOB TITLE:  
13 CROSIER WAY  
RUISLIP.

DRAWING TITLE:  
EXISTING FLOOR PLANS AND BLOCK PLAN

SCALE : 1:100

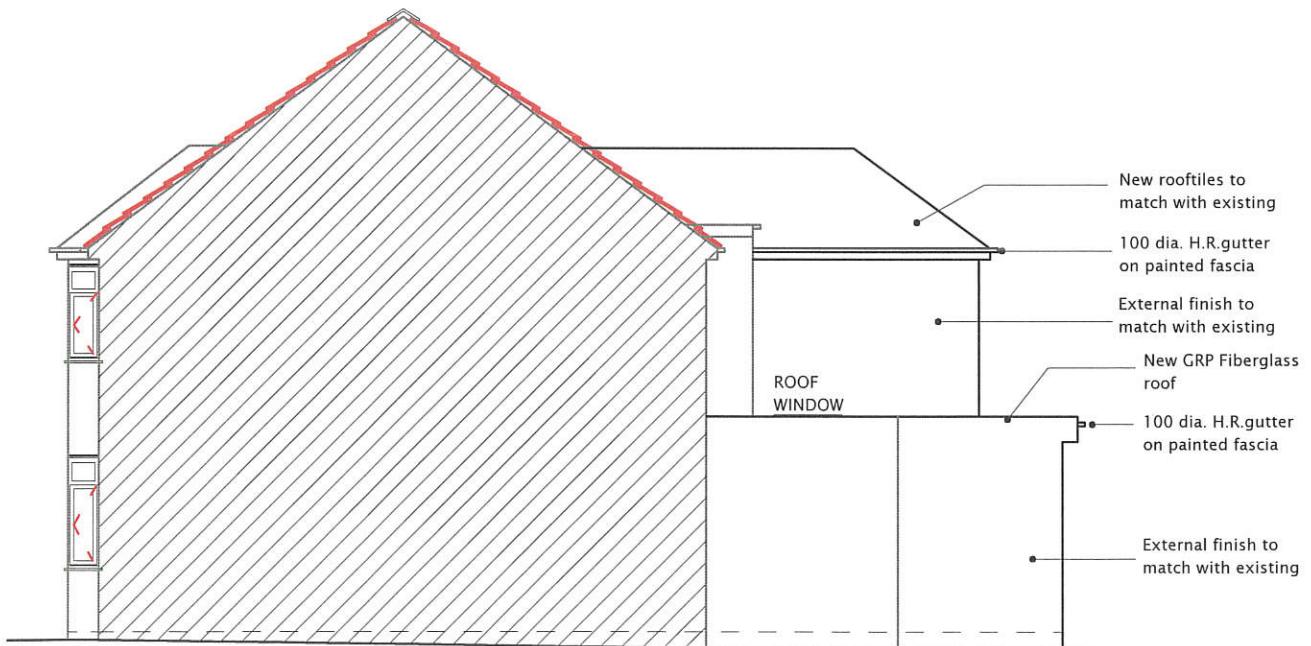
DATE: 17/04/2022 DRAWN BY:

DRG. NO.	REV.
2022/13/CWR/103	



PROPOSED REAR ELEVATION

PROPOSED LEFT SIDE ELEVATION



PROPOSED RIGHT SIDE ELEVATION

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Upgrade doors to minimum 20mins. fire rated.

Smoke detection provided throughout complying with requirements of BS5839 part-6.

	DATE	REVISION

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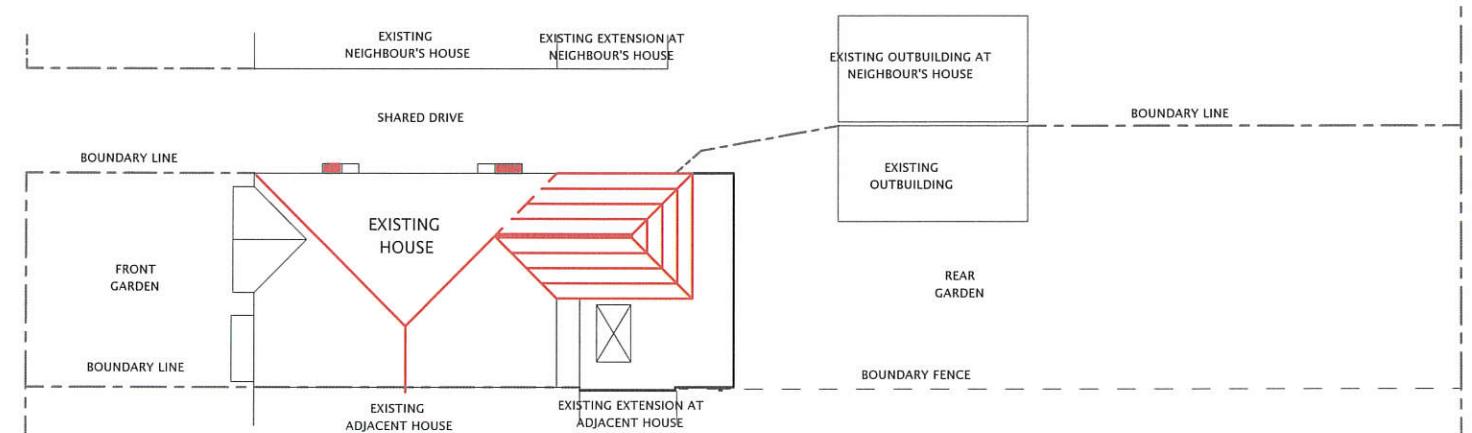
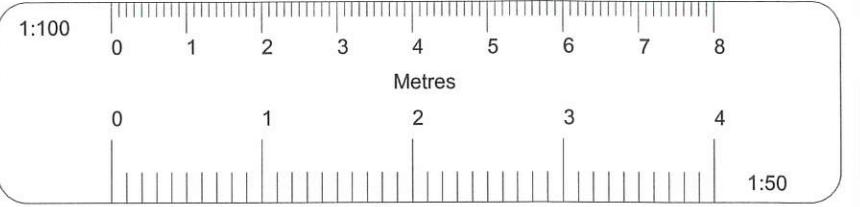
JOB TITLE:  
13 CROSIER WAY  
RUISLIP.

DRAWING TITLE:  
PROPOSED ELEVATIONS

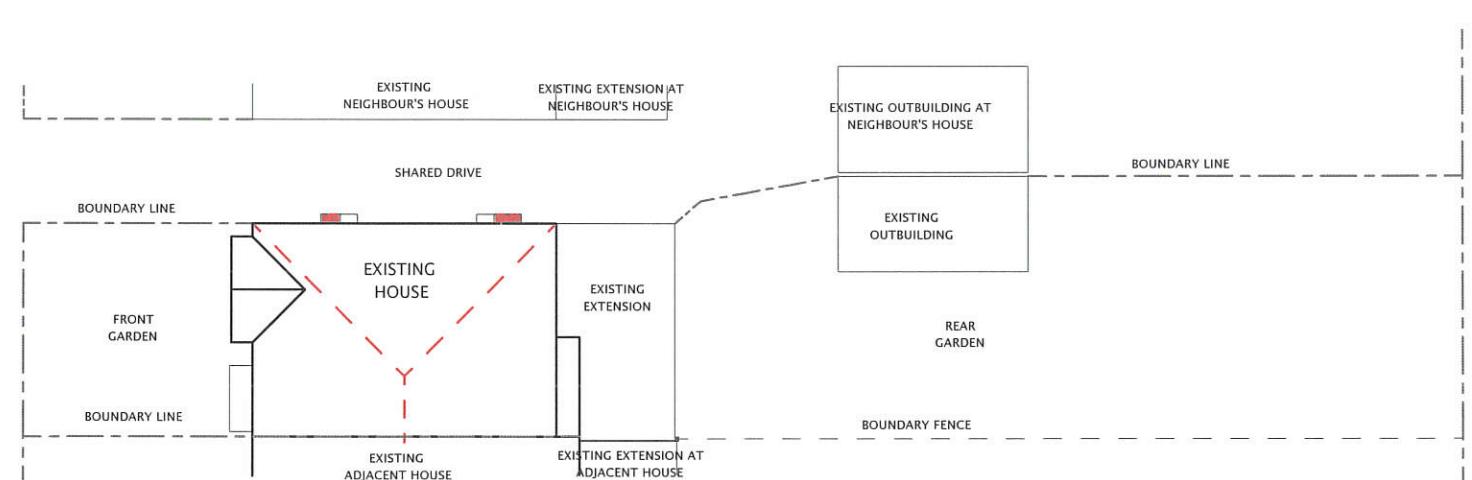
SCALE : 1:100

DATE: 17/04/2022 DRAWN BY:

DRG. NO.	REV.
2022/13/CWR/104	



PROPOSED BLOCK PLAN (SCALE 1:200)



EXISTING BLOCK PLAN (SCALE 1:200)

All dimensions verified on site.  
All work to comply with British Standards, Code of practice.  
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Upgrade doors to minimum 20mins. fire rated.

Smoke detection provided throughout complying with requirements of BS5839 part-6.

DATE REVISION

COPYRIGHT:

JOB TITLE:

13 CROSIER WAY  
RUISLIP.

DRAWING TITLE:

EXISTING AND PROPOSED BLOCK PLAN

SCALE : 1:200

DATE: 17/04/2022 DRAWN BY:

DRG. NO.	REV.
2022/13/CWR/105	