

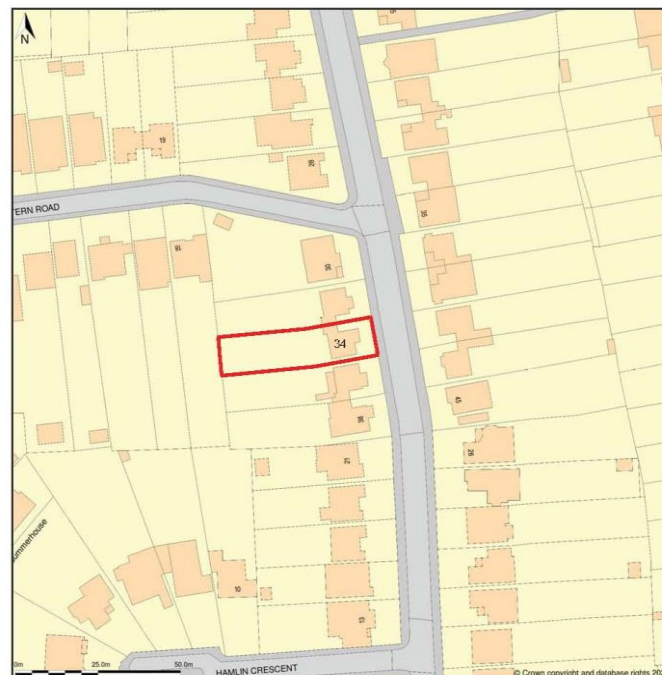
# **34 BARNHILL EASTCOTE HA5 2SX**

**ERECTION OF A TWO STOREY REAR EXTENSION  
AND RAISED PATIO AREA. CONVERSION OF  
GARAGE TO HABITABLE USE AND ERECTION OF A  
SINGLE STOREY SIDE EXTENSION. CHANGES TO  
FRONT PORCH PILLARS, INSTALLATION OF ROOF  
LIGHTS TO MAIN ROOF, INSTALLATION OF  
EXTERNAL A/C UNIT AND RENDERED FINISH.**

## **DESIGN AND ACCESS STATEMENT**

**THIS LETTER ACCOMPANIES HOUSEHOLDER PLANNING  
APPLICATION, EXISTING AND PROPOSED PLANS, LOCATION MAP,  
SUBMITTED ONLINE AS PART OF THE PLANNING APPLICATION FOR  
THE ABOVE PROPERTY**

34, Barnhill, Eastcote, Hillingdon, HA5 2SX



➤ INTRODUCTION

The Barnhill is a residential street, within Eastcote area.

The existing site is a plot containing detached house. The house has got a ground floor and first floor. There is a good size front external area and large rear garden. The house is part brick/part rendered built with tiles roof.

➤ USE

The proposal involves the two storey rear extension, single storey side extension including garage conversion in line with the existing architecture aesthetic of the house. All materials will match the existing in type, colour and pointing to preserve the appearance and character of the local area.

The other houses within Barnhaill area have done similar extensions recently.

➤ LAYOUT / SCALE

This information has been provided through drawings that accompany with planning application.

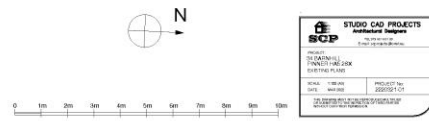
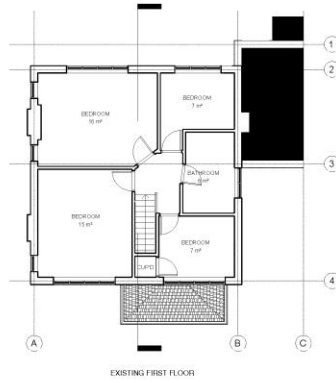
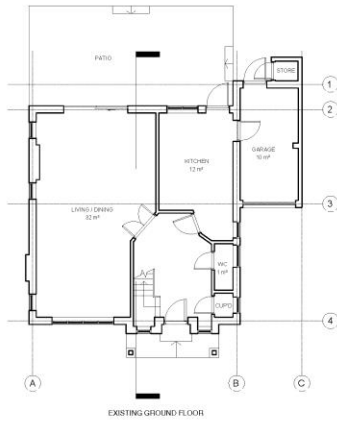
EXISTING DRAWINGS LIST:

SCP2250113-01 Existing ground and first floor plans

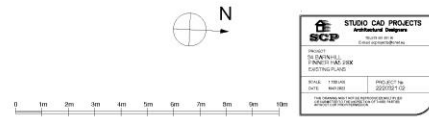
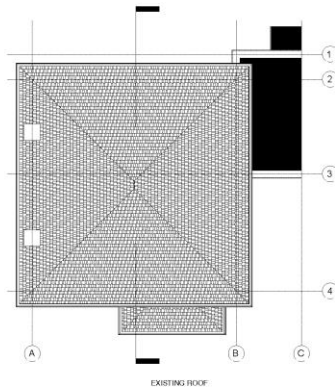
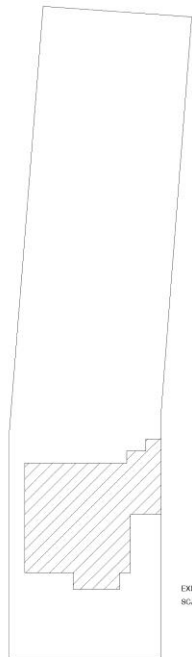
SCP2250113-02 Existing roof plan and block plan

SCP2250113-03 Existing elevations and section

SCP2250113-04 Existing elevations vs no32



STUDIO CAD PROJECTS	
Architectural Drawings	
PROJECT	FLORISSANT
LOCATION	FLORISSANT
DATE	2023/01/12
SCALE	1:100
PROJECT NO.	SCP2250113
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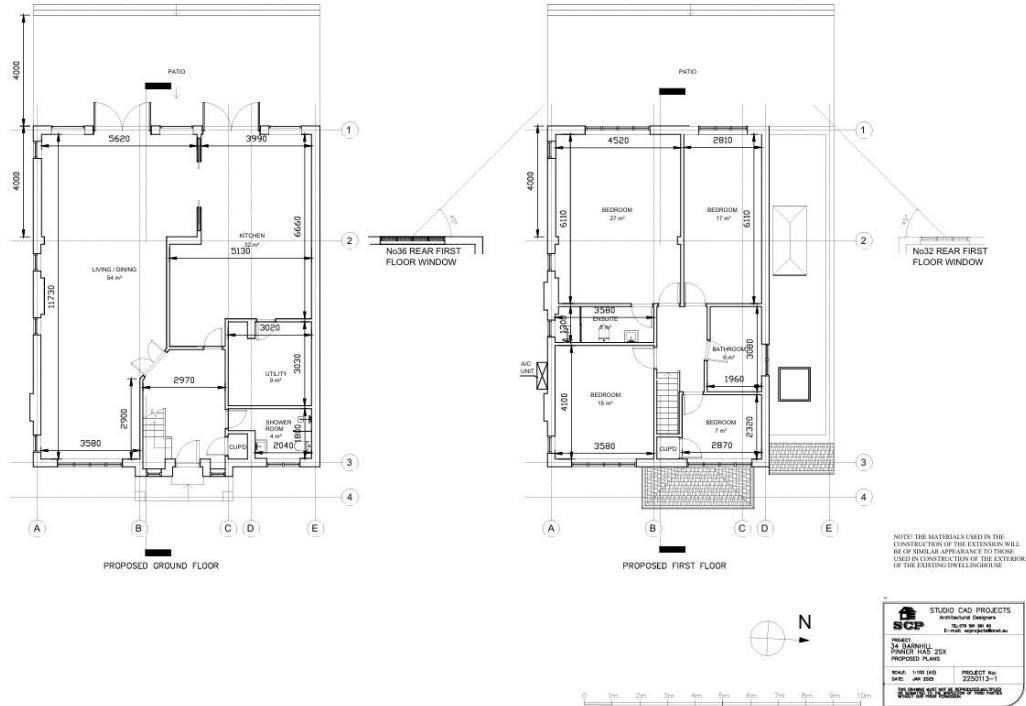
## PROPOSED DRAWINGS LIST:

SCP2250113-1 Proposed ground and first floor plans

SCP2250113-2 Proposed roof plan and block plan

SCP2250113-3 Proposed elevations & section

SCP2250113-4 Proposed elevations vs no32







## PROPOSED AIR CONDITIONING DETAILS AND PECIFICATION



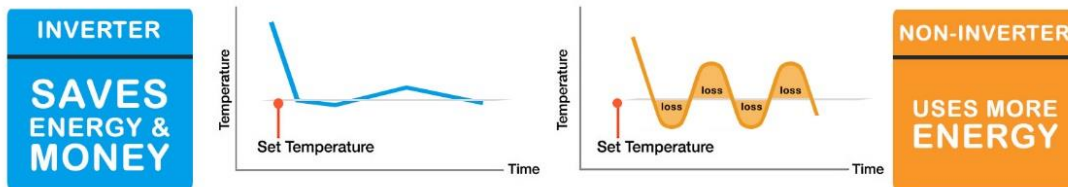
The electriQ multi split Air Conditioning System comes with an impressive 5 year warranty.

### Features

Controls the climate of 3 rooms from just a single outdoor unit  
Outputs 3x9,000 Btu/h (variable speed inverter) cooling and heating  
A++/A+ Rating 2019 ERP  
Super DC Inverter with Panasonic compressor  
Cooling, Heating & Dehumidifying  
Easy Fit with 5 meter pipe and cable kit supplied as standard (optional 10 meter pipe kit available)  
Energy Saving Inverter Technology  
Heat Pump for efficient heating  
Ultra Quiet Operation  
Remote control for each indoor unit  
Digital White Led temperature and function display  
Cooling capacity (single unit): 2.65 kW  
Heating capacity (single unit): 2.65 kW  
Cooling capacity (total 3 units): 2.8-8.8 kW  
Heating capacity (total 3 units): 2.45-8.8 kW  
SCOP: 5.1 A++ / SEER: 6.1 A+  
5 years warranty\*  
24 Hour Timer  
Self-diagnostic function  
Sleep Mode  
Auto Restart

### Dimensions:

L x W x H: 77.7 x 20.5cm x 25cm (per indoor unit)  
L x W x H: 96.8 x 37.5 x 65.5cm (outdoor)  
Net/Gross Weight: 8 / 10.5(indoor)  
Net/Gross Weight: 46 / 51(outdoor)



#### UNRIVALED PERFORMANCE

This cost-effective, energy-efficient system will economically cool or heat rooms up to 65 sqm in size. It boasts the very latest Inverter technology that will reduce or increase the compressor speed according to fluctuation in temperature dependent on your required heating and cooling levels, thus saving you between 40%-60% on your energy bill when compared with a non-inverter equivalent which has fixed compressor speed. It also has the added advantage of being exceptionally quiet so you will forget it is even there.

#### Key Specification

Cooling Power (BTU)	27,000
Cooling Power (kW)	8.8kW
Lowest Temperature	16Degrees
Maximum Cooling Area (m2)	56m <sup>2</sup>
Power supply	220-240V/50hz
Max. Hose Length	15Metres
Power cord length	1.5Metres
Installation	Multi-Split
Pipe Kit Included	✓
Pipe Kit Length	5Metres
Colour	White
Brand	electricQ
Warranty (year)	2 up to 5

#### Features

Heating Function	✓
Dehumidifier function	✓
Timer	Programmable
Wifi	WiFi Built-in
Auto Restart	✓

#### ➤ LANDSCAPING

Rear landscaping will be redesigned to accommodate new extensions.

Font landscaping will be unaffected.

#### ➤ APPEARANCE

The extension's appearance and details will be in line with the existing architectural aesthetic of the house and that of the local area in order to preserve and enhance its character.

All materials are to match the existing.

#### ➤ ACCESS

Current access to the property will be unaffected