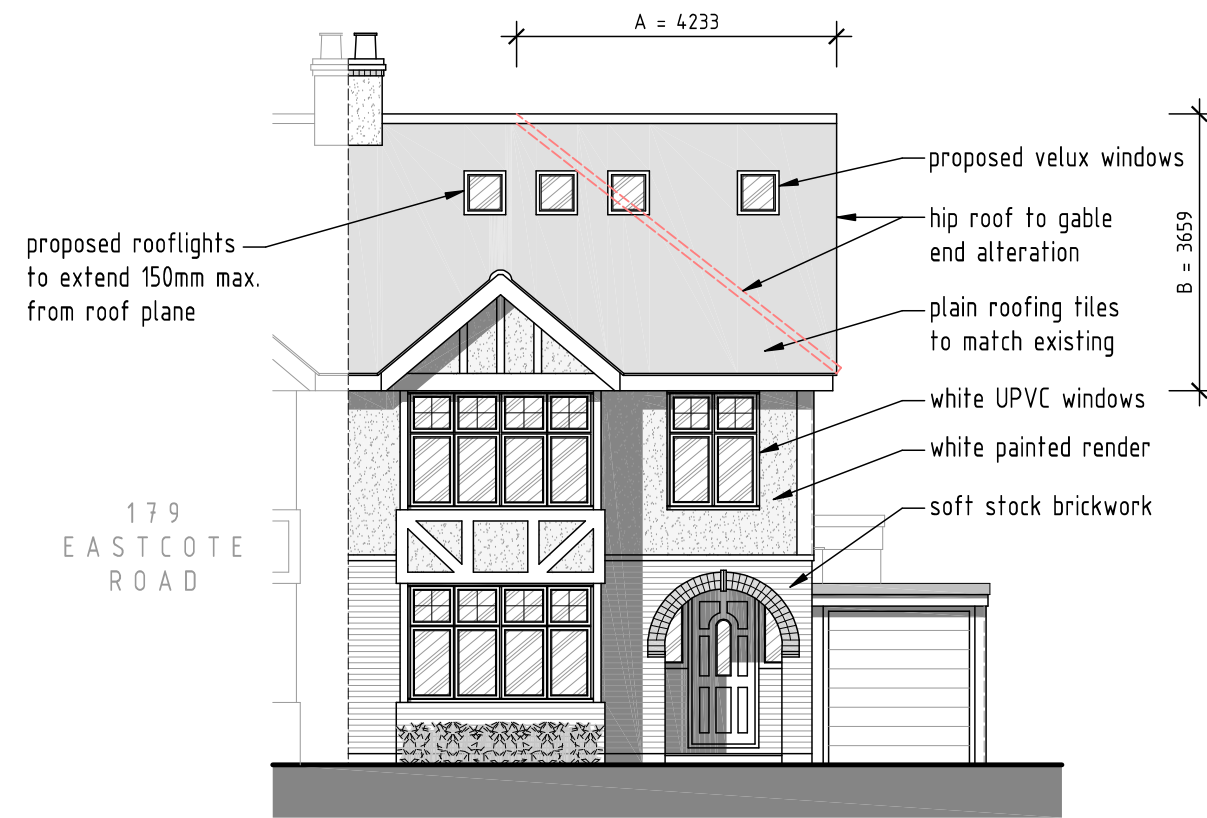
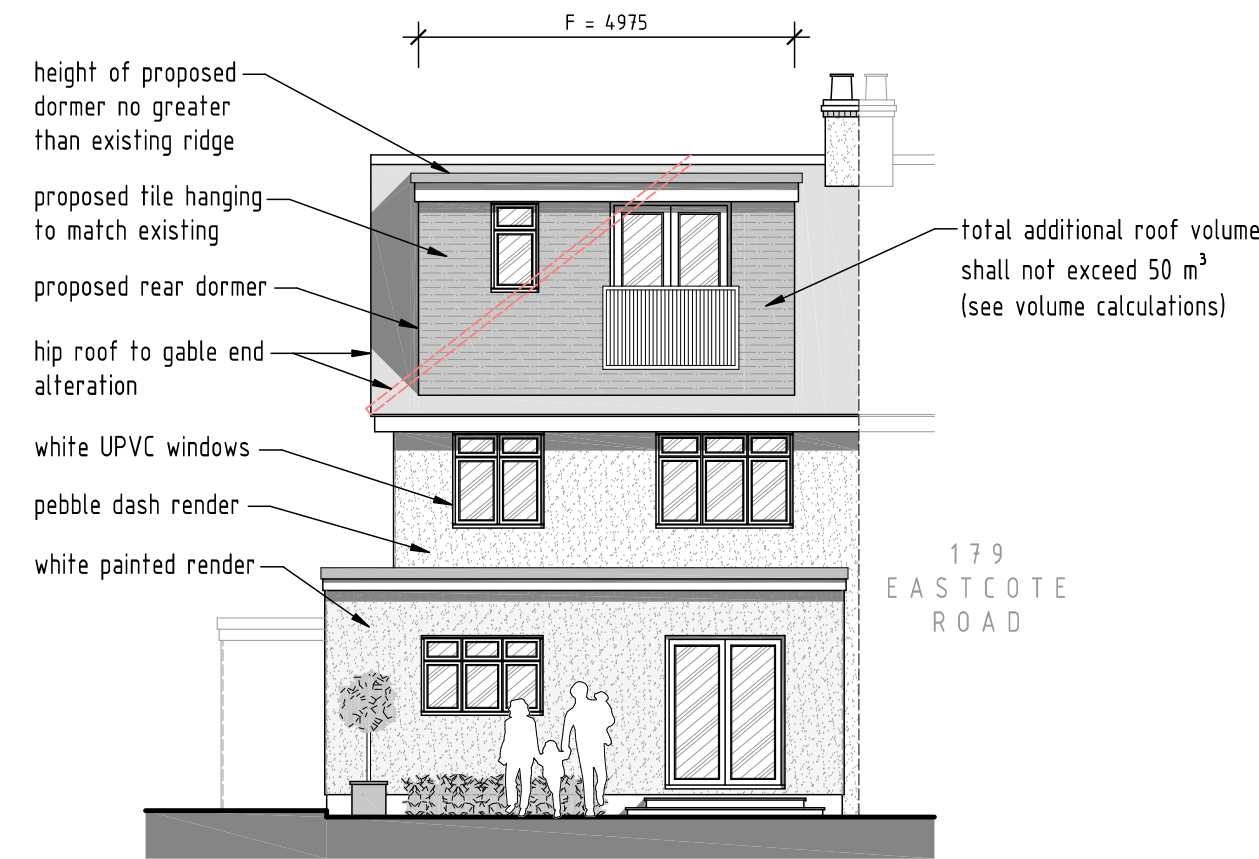


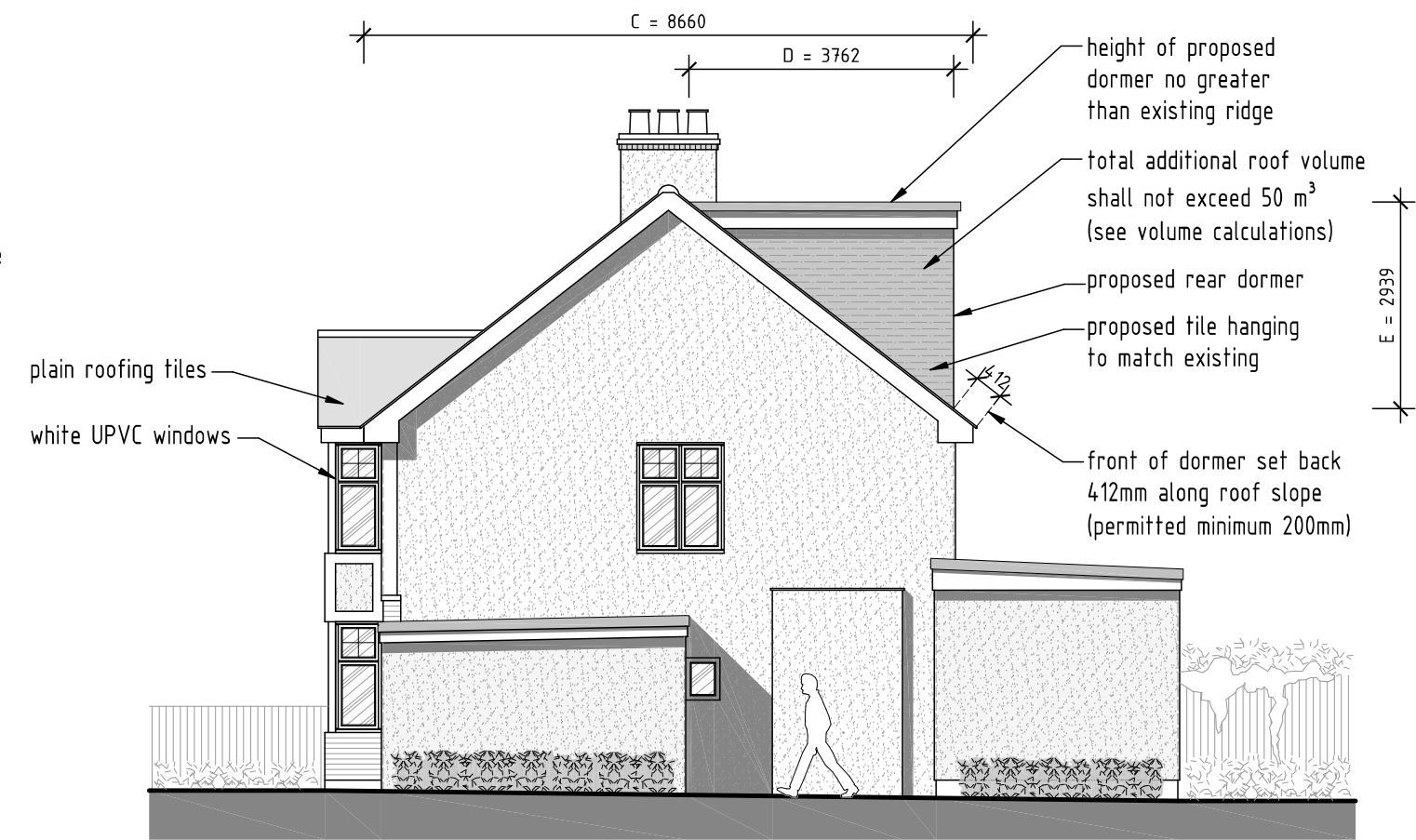
- NOTES
1. All dimensions are to be checked on site prior to the commencement of work and any discrepancy is to be reported to the construction manager before construction.
  2. All work is to comply with current Building Regulations and allied legislation.
  3. All contractors and sub-contractors must ensure that they have the latest issue of this drawing and details before the commencement of work on site.
  4. All materials are to be used and installed in strict compliance with the relevant manufacturers instructions and recommendations.
  5. All works on site, managed and implemented as a result of the designs indicated on this drawing, are to be given full consideration for compliance with the Health and Safety (COP) Regulations in respect of design and implementation on site and no works are to be undertaken if it is considered that compliance with the Building Regulations cannot be achieved.
  6. All dimensions shown in millimeters.
  7. Footprint of buildings shown at 10m above ground level.



PROPOSED FRONT ELEVATION  
SCALE 1:100



PROPOSED REAR ELEVATION  
SCALE 1:100



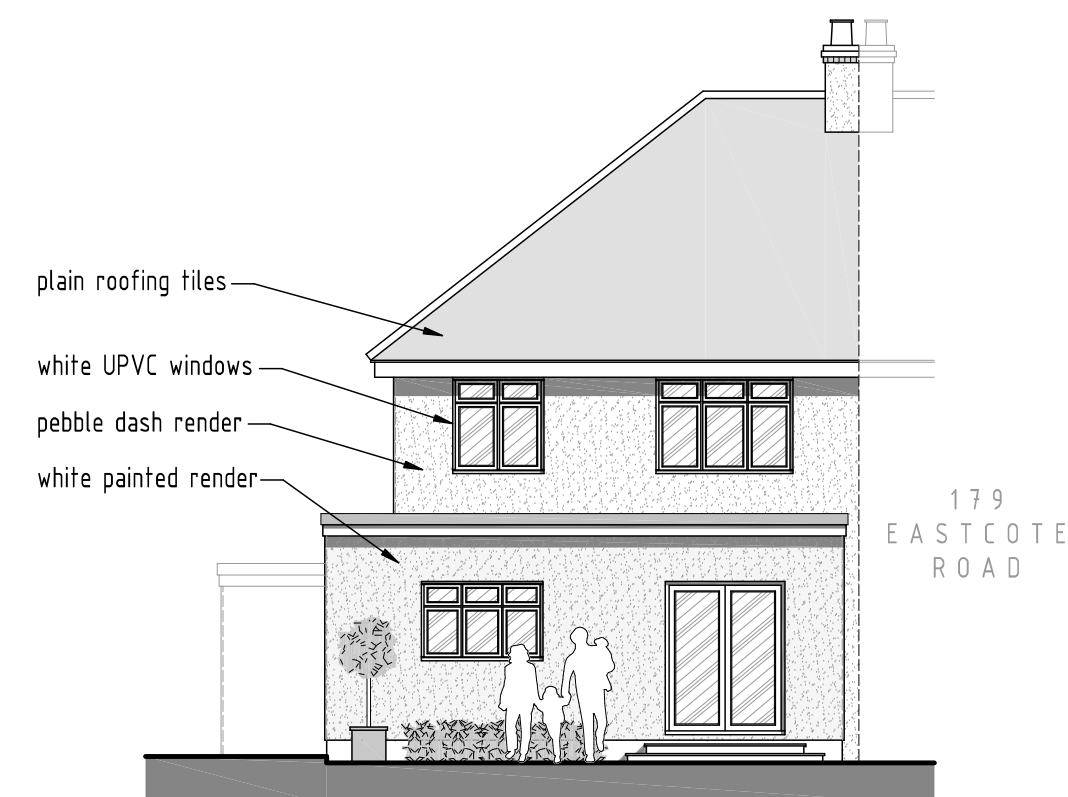
PROPOSED SIDE ELEVATION  
SCALE 1:100



PROPOSED SITE LAYOUT PLAN  
SCALE 1:250



EXISTING FRONT ELEVATION  
SCALE 1:100



EXISTING REAR ELEVATION  
SCALE 1:100



EXISTING SIDE ELEVATION  
SCALE 1:100

#### VOLUME CALCULATIONS

Max permitted additional volume for loft extension = 50 m³

##### Hip to Gable Side Extensions:

A = 4.23 m (width)  
B = 3.66 m (height)  
C = 8.66 m (length)

$$(A \times B \times C) / 6 = 22.3 \text{ m}^3$$

##### Rear Dormer Extension:

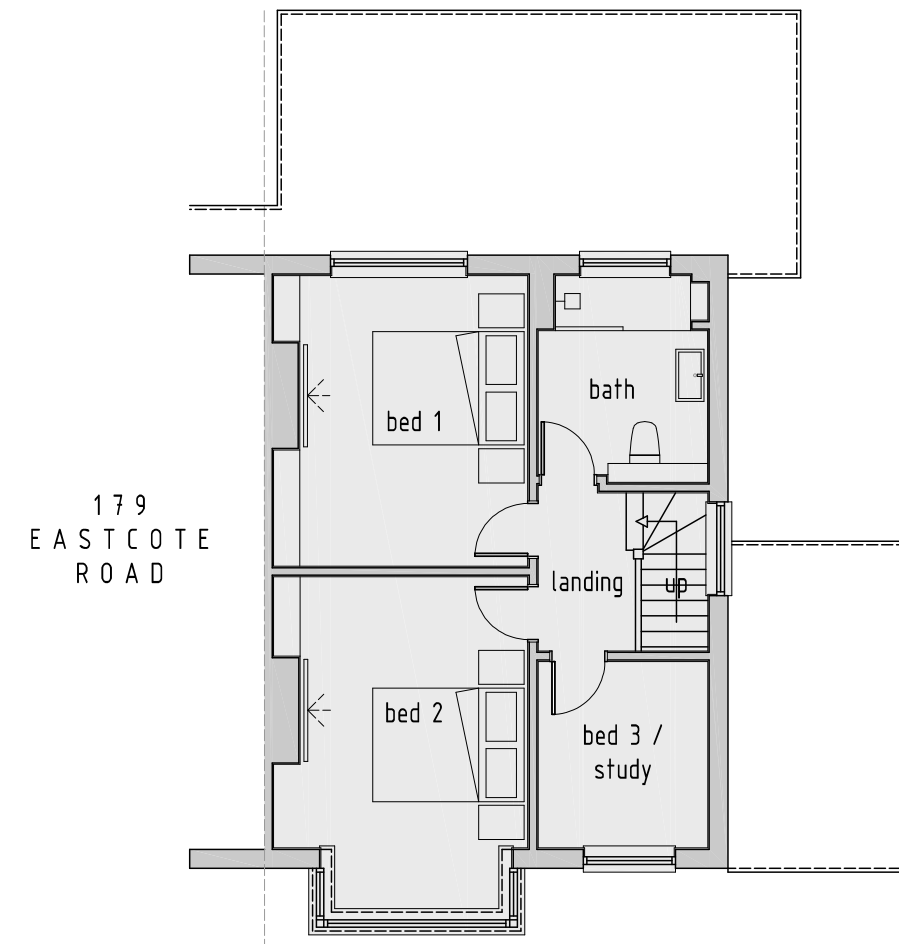
D = 3.76 m (depth)  
E = 2.93 m (height)  
F = 4.97 m (length)

$$(D \times E) / 2 \times F = 27.3 \text{ m}^3 \text{ (total volume for dormer)}$$

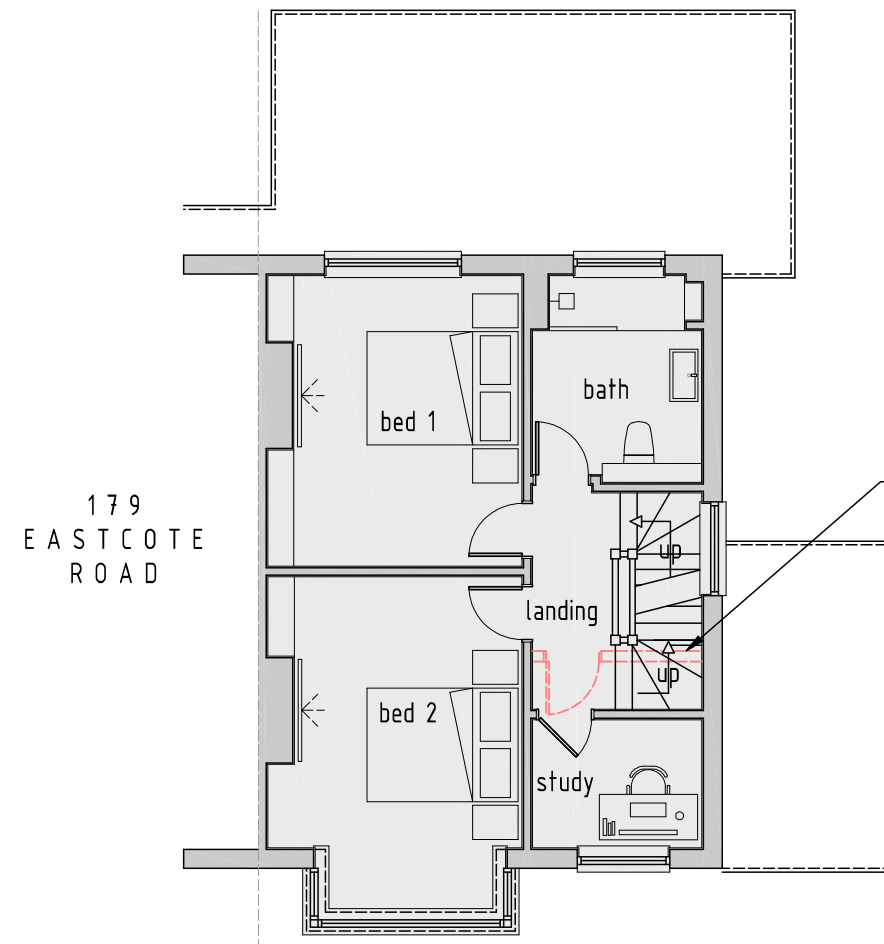
##### Total Additional Volume for Gables and Rear Dormer

$$22.3 + 27.3 = 49.6 \text{ m}^3$$

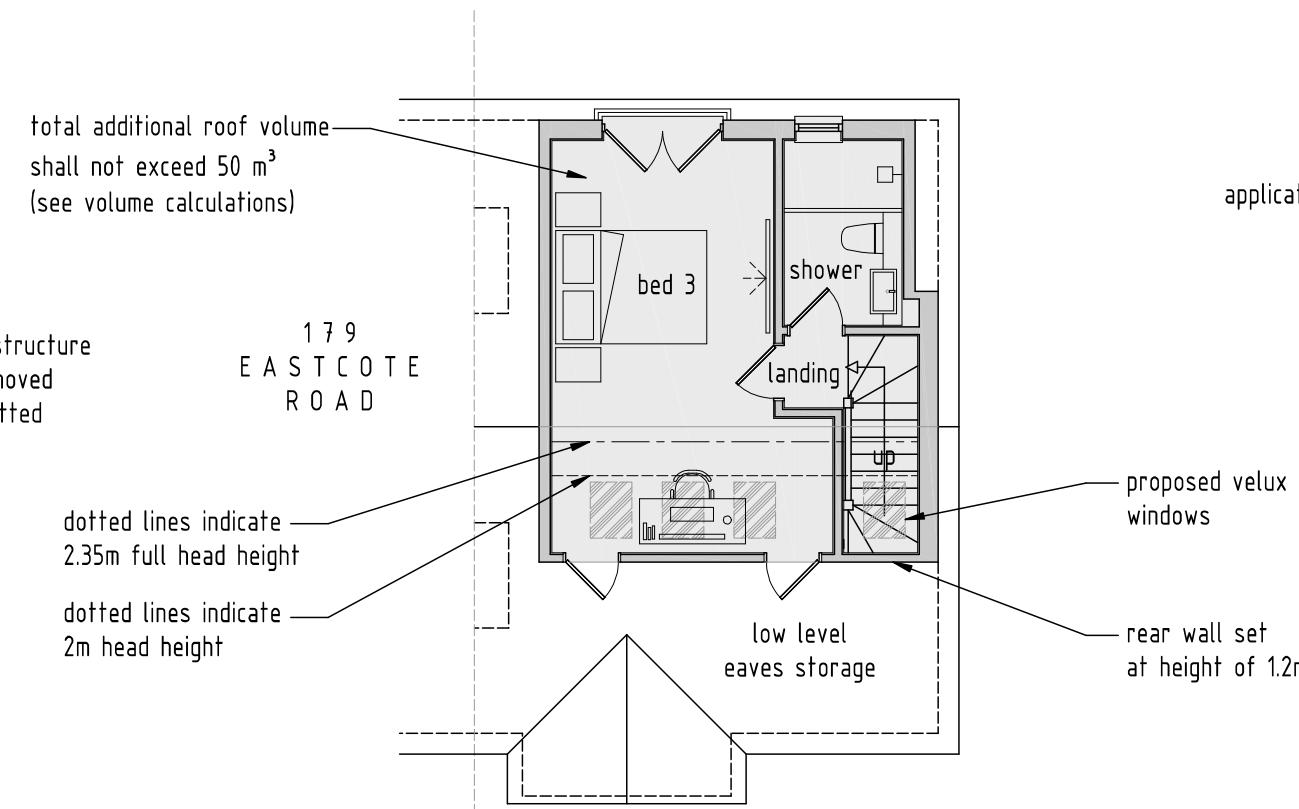
Therefore, the proposed works as considered acceptable under P.D. as they equate to less than the max. 50 m³.



EXISTING FIRST FLOOR PLAN  
SCALE 1:100



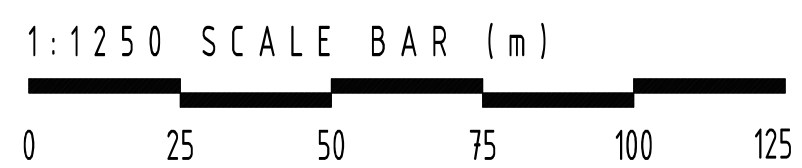
PROPOSED FIRST FLOOR PLAN  
SCALE 1:100



PROPOSED ROOF AREA PLAN  
SCALE 1:100



LOCATION PLAN  
SCALE 1:1250



rev:	date:	description:
C	25-10-2022	Drawings amended
B	11-08-2022	Client comments incorporated
A	08-08-2022	Client comments incorporated

scale:	1:100 A1	date:	14 / 06 / 2022
drawing no:	1405 / PD / 1 <sup>C</sup>	drawn:	AF

drawing: CERT. LAWFUL DEVELOPMENT (PROPOSED)  
EXISTING & PROPOSED FLOOR PLANS & ELEVATIONS

project: LAND AT 181 EASTCOTE ROAD, RUISLIP, HA4 8BJ

client: MISS L. DUNCAN



DUSEK DESIGN ASSOCIATES LTD  
ARCHITECTURE + PLANNING

01895 831 103  
info@dusek.co.uk  
www.dusek.co.uk