

NOTES  
 1. All dimensions are to be checked on site prior to the commencement of work and any discrepancy is to be reported to the construction manager before construction.

2. All work to be carried out with current Building Regulations and listed legislation.

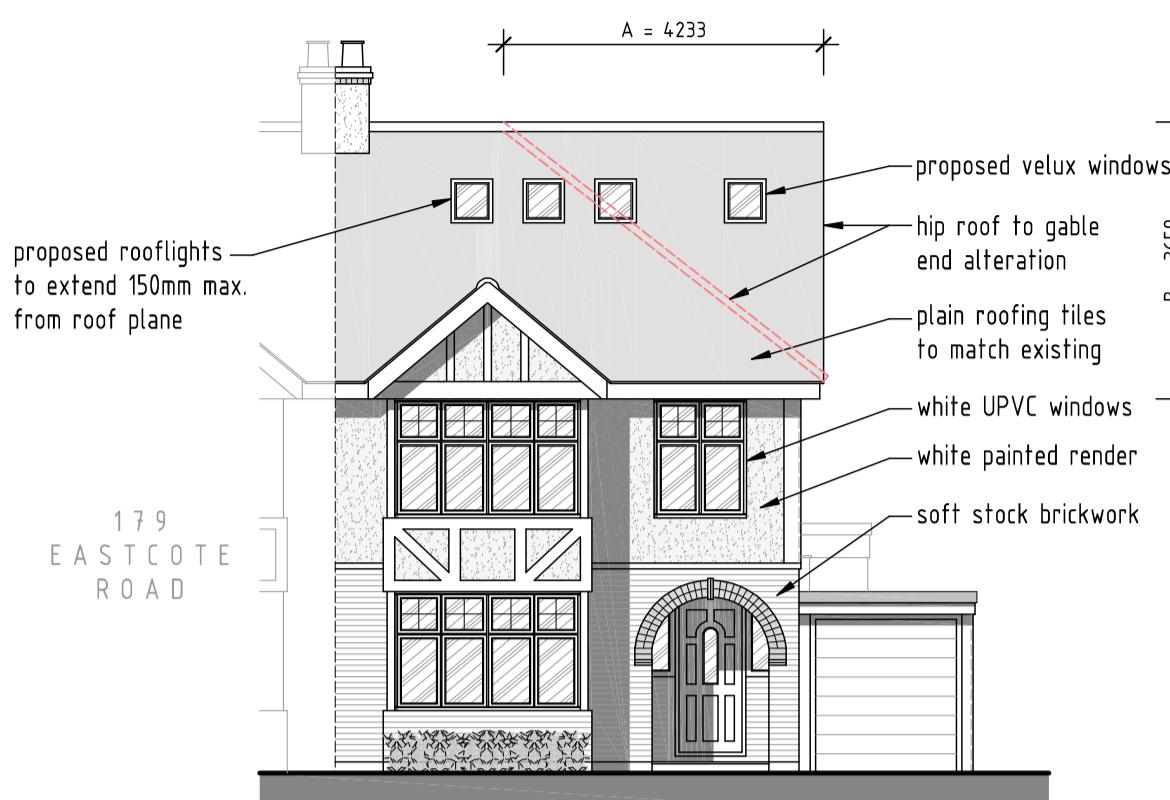
3. All contractors and sub-contractors must ensure that they have the latest issue of this drawing and details before the commencement of work on site.

4. All materials are to be used and installed in strict compliance with the relevant manufacturers instructions.

5. All works on site, managed and implemented as a result of the designs indicated on this drawing, are to be given full consideration for compliance with the Health and Safety (CPR) Regulations in respect of design, work methods and materials and these are to be undertaken if it is considered that compliance with the Building Regulations cannot be achieved.

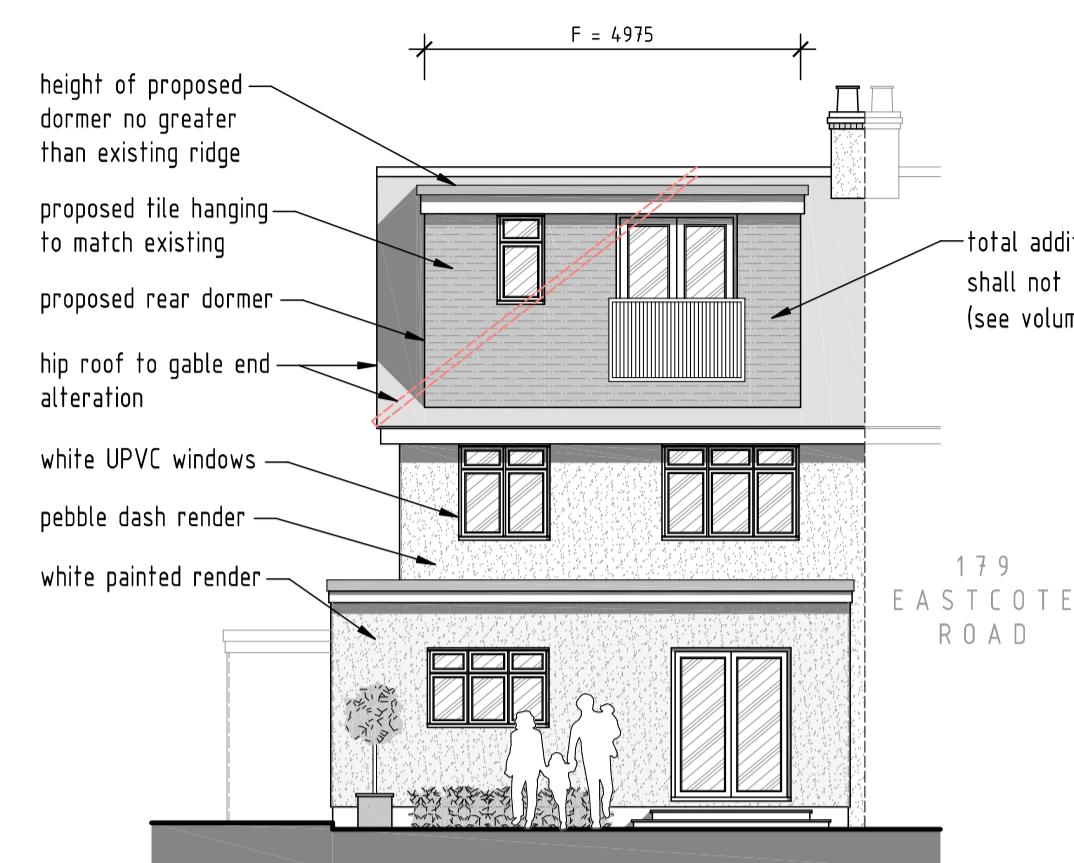
6. All dimensions shown in millimetres.

7. Footprint of buildings shown at 10m above ground level.



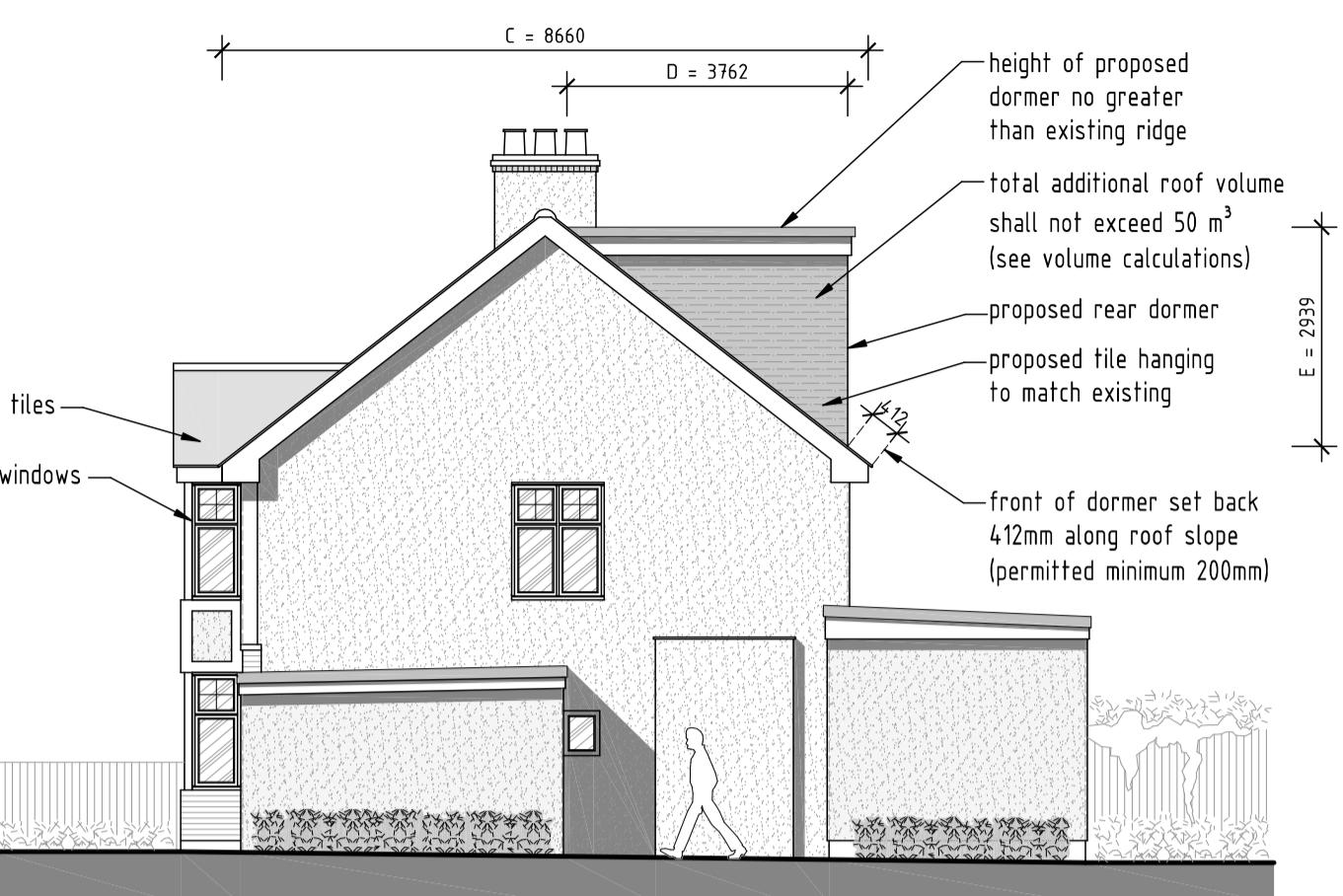
PROPOSED FRONT ELEVATION

SCALE 1:100



PROPOSED REAR ELEVATION

SCALE 1:100



PROPOSED SIDE ELEVATION

SCALE 1:100

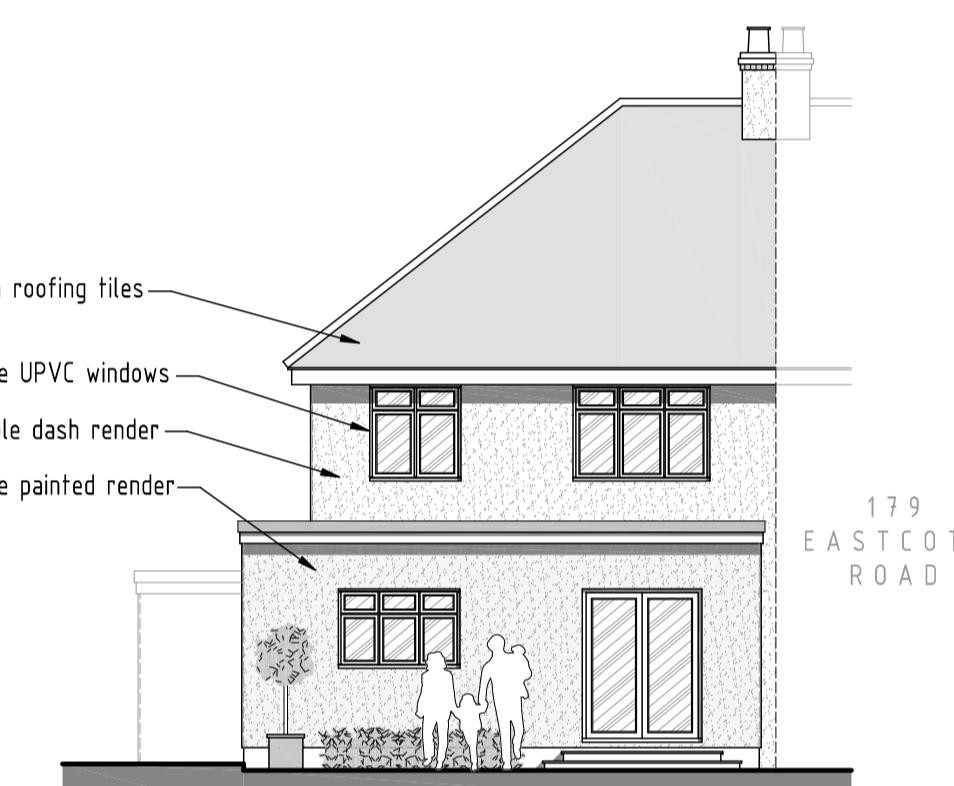


EASTCOTE ROAD



EXISTING FRONT ELEVATION

SCALE 1:100



EXISTING REAR ELEVATION

SCALE 1:100



EXISTING SIDE ELEVATION

SCALE 1:100

PROPOSED SITE LAYOUT PLAN

SCALE 1:250

#### VOLUME CALCULATIONS

Max permitted additional volume for loft extension = 50 m³

##### Hip to Gable Side Extensions:

A = 4.23 m (width)  
 B = 3.66 m (height)  
 C = 8.66 m (length)

(A x B x C) / 6 = 22.3 m³

##### Rear Dormer Extension:

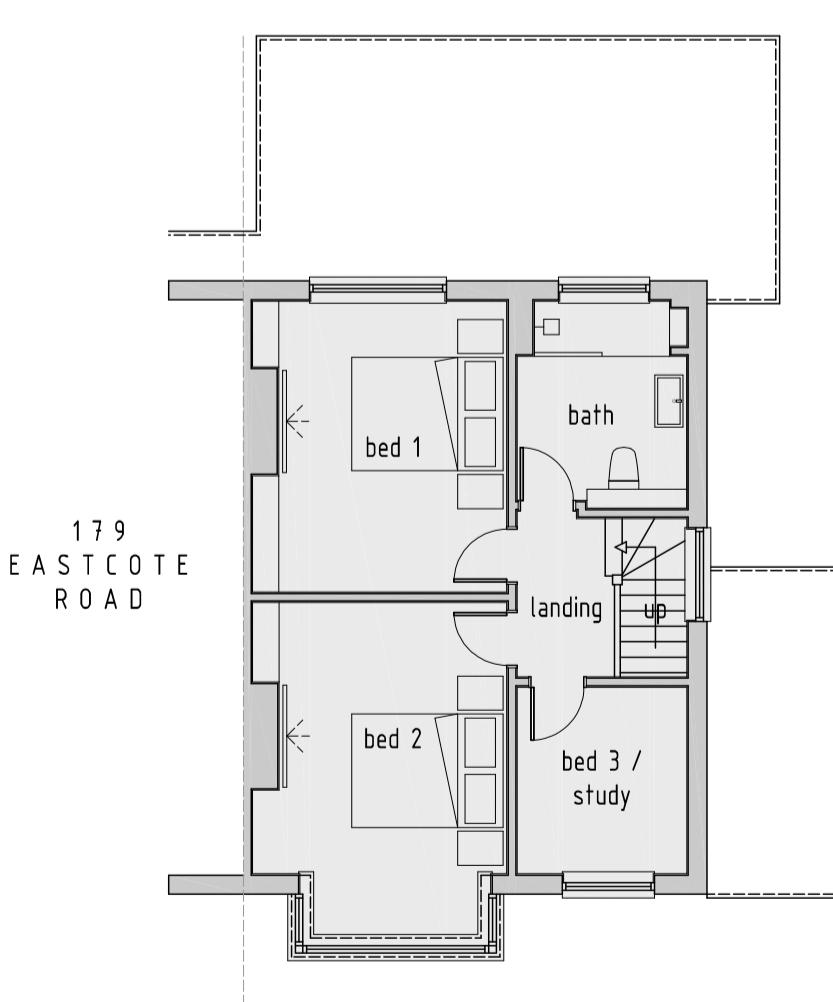
D = 3.76 m (depth)  
 E = 2.93 m (height)  
 F = 4.97 m (length)

(D x E) / 2 x F = 27.3 m³ (total volume for dormer)

##### Total Additional Volume for Gables and Rear Dormer

22.3 + 27.3 = 49.6 m³

Therefore, the proposed works as considered acceptable under P.D. as they equate to less than the max. 50 m³.



1:1250 SCALE BAR (m)

0 25 50 75 100 125

1:250 SCALE BAR (m)

0 5 10 15 20 25

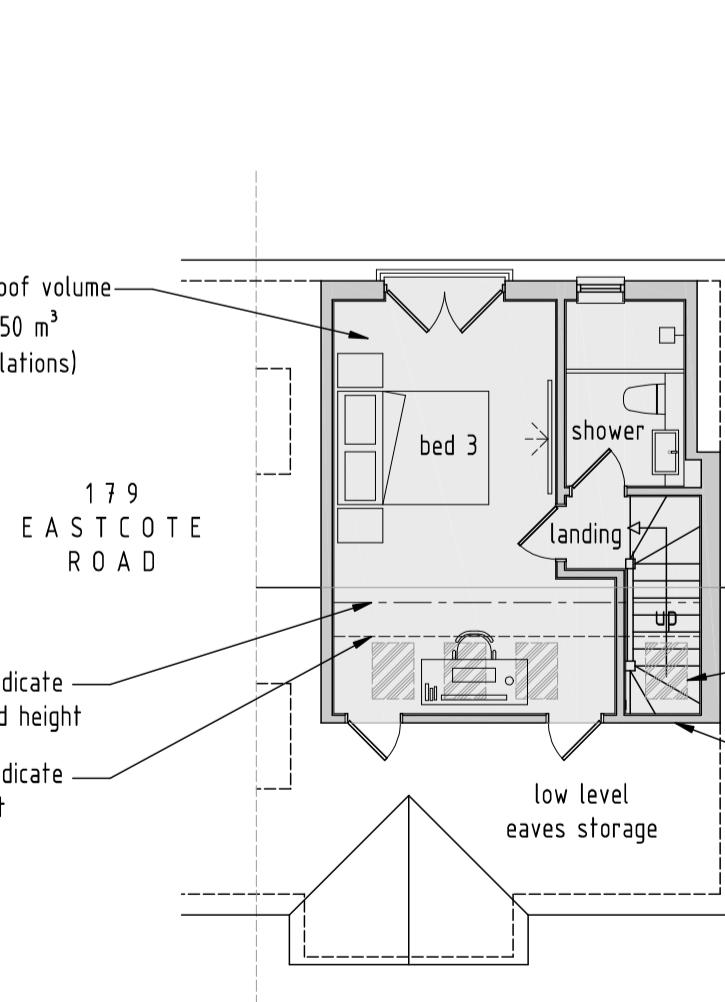
1:100 SCALE BAR (m)

0 2 4 6 8 10

EXISTING FIRST FLOOR PLAN

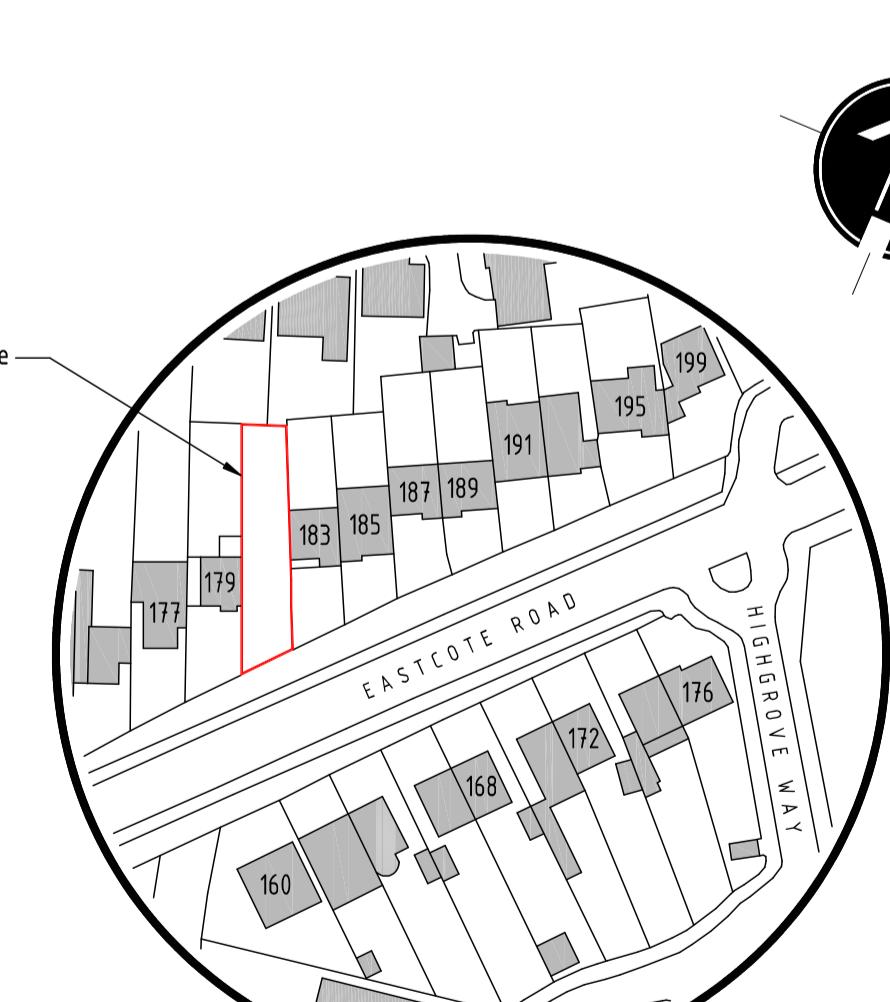
PROPOSED FIRST FLOOR PLAN

SCALE 1:100



PROPOSED ROOF AREA PLAN

SCALE 1:100



LOCATION PLAN

SCALE 1:1250

C 25-10-2022 Drawings amended  
 B 11-08-2022 Client comments incorporated  
 A 08-08-2022 Client comments incorporated

rev: date: description:  
 scale: 1:100 A1 date: 14 / 06 / 2022  
 drawing no: 1405 / PD / 1C drawn: AF

drawing: CERT. LAWFUL DEVELOPMENT (PROPOSED)  
 EXISTING & PROPOSED FLOOR PLANS & ELEVATIONS

project: LAND AT 181 EASTCOTE  
 ROAD, RUISLIP, HA4 8BJ

client: MISS L. DUNCAN

DDA

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