



Landmark Trees

Tree Survey:

St Andrews Park
RAF Uxbridge
Middlesex,
London UB10 0RY

REPORT PREPARED FOR:

Brighton STM Developments Limited

REPORT PREPARED BY

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Ref: SAP/APA/TCR/01

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Caveats

This report is primarily an arboricultural report. Whilst comments relating to matters involving built structures or soil data may appear, any opinion thus expressed should be viewed as qualified, and confirmation from an appropriately qualified professional sought. Such points are usually clearly identified within the body of the report. It is not a full safety survey or subsidence risk assessment survey. These services can be provided but a further fee would be payable. Where matters of tree condition with a safety implication are noted during a survey they will of course appear in the report.

A tree survey is generally considered invalid in planning terms after 2 years, but changes in tree condition may occur at any time, particularly after acute (e.g. storm events) or prolonged (e.g. drought) environmental stresses or injuries (e.g. root severance). Routine surveys at different times of the year and within two - three years of each other (subject to the incidence of the above stresses) are recommended for the health and safety management of trees remote from highways or busy access routes. Annual surveys are recommended for the latter.

Tree works recommendations are found in the Appendices to this report. It is assumed, unless otherwise stated ("ASAP" or "Option to") that all husbandry recommendations will be carried out within 6 months of the report's first issue. Clearly, works required to facilitate development will not be required if the application is shelved or refused. However, necessary husbandry work should not be shelved with the application and should be brought to the attention of the person responsible, by the applicant, if different. Under the Occupiers Liability Act of 1957, the owner (or his agent) of a tree is charged with the due care of protecting persons and property from foreseeable damage and injury.' He is responsible for damage and/or nuisance arising from all parts of the tree, including roots and branches, regardless of the property on which they occur. He also has a duty under The Health and Safety at Work Act 1974 to provide a safe place of work, during construction. Tree works should only be carried out with local authority consent, where applicable.

Inherent in a tree survey is assessment of the risk associated with trees close to people and their property. Most human activities involve a degree of risk, such risks being commonly accepted if the associated benefits are perceived to be commensurate.

Risks associated with trees tend to increase with the age of the trees concerned, but so do many of the benefits. It will be appreciated, and deemed to be accepted by the client, that the formulation of recommendations for all management of trees will be guided by the cost-benefit analysis (in terms of amenity), of tree work that would remove all risk of tree related damage.

Prior to the commencement of any tree works, an ecological assessment of specific trees may be required to ascertain whether protected species (e.g. bats, badgers and invertebrates etc.) may be affected.

1. INTRODUCTION

1.1 Terms of reference

- 1.1.1 LANDMARK TREES were asked by Brighton STM Developments Limited to undertake an updated arboricultural planning survey of the survey of the Town Centre West phase of development at St. Andrew's Park. The report is to inform proposals for a planning application.
- 1.1.2 The proposals under consideration at this time are unknown to Landmark Trees in detail or plan. Landmark Trees endeavour to survey each site blind, working from a topographical survey, wherever possible with the constraints plan informing the evolution of design.
- 1.1.3 I am a Registered Consultant and Fellow of the Arboricultural Association and a Chartered Forester, with a Masters Degree in Arboriculture and 30 years (post graduate) experience of the landscape industry - including the Forestry Commission and Agricultural Development and Advisory Service. I am a UK Registered Expert Witness, trained in single joint expert witness duties. I am also Chairman of the UK & I Regional Plant Appraisal Committee, inaugurated to promote international standards of valuation in arboriculture.

1.2 Drawings supplied

- 1.2.1 The drawing supplied by the client and relied upon Landmark Trees in the formulation of our survey plans are:
- Existing site survey: HAL125-2DT*

*In the absence of a full topographical survey, tree positions may be approximate only.

1.3 Scope of survey

- | | |
|-------|--|
| 1.3.1 | As Landmark Trees' (LT) arboricultural consultant, Kim Dear surveyed the trees on site on 05/08/2025, recording relevant qualitative data in order to assess both their suitability for retention and their constraints upon the site, in accordance with British Standard 5837:2012 Trees in relation to design, demolition and construction – Recommendations [BS5837:2012]. |
| 1.3.2 | Our survey of the trees, the soils and any other factors, is of a preliminary nature. The trees were SURVEYED on the basis of the Visual Tree Assessment method expounded by Mattheck and Breloer (The Body Language of Trees, DoE booklet Research for Amenity Trees No. 4, 1994). LT have not taken any samples for analysis and the trees were not climbed but inspected from ground level. |
| 1.3.3 | A tree survey is generally considered invalid in planning terms after 2 years, but changes in tree condition may occur at any time, particularly after acute (e.g. storm events) or prolonged (e.g. drought) environmental stresses or injuries (e.g. root severance). Routine surveys at different times of the year and within two - three years of each other (subject to the incidence of the above stresses) are recommended for the health and safety management of trees remote from highways or busy access routes. Annual surveys are recommended for the latter. |
| 1.3.4 | The survey does not cover the arrangements that may be required in connection with the laying or removal of underground services. |

1.4 Survey data & report layout

- | | |
|-------|--|
| 1.4.1 | Detailed records of individual trees are given in the survey schedule in Appendix 1 to this report. T49 is recommended to fell for good husbandry in recommended tree works in Appendix 2. |
| 1.4.2 | A site plan identifying the surveyed trees, based on the client's drawings / topographical survey is provided in Appendix 3. |

1.5 Key Constraints

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|-------|--|
| 1.5.1 | The site lies within Hillingdon Borough Council. |
| 1.5.2 | The site formerly known as RAF Uxbridge doesn't stand within any conservation area. TPO 736 covers some trees within St. Andrew's Park, but the trees located on Burton Road are not protected by TPO 736 as confirmed by LB Hillingdon in August 2025. It is a criminal offence to prune, damage or fell TPO trees without permission from the local authority. |
| 1.5.3 | Detailed records of individual trees are given in the survey schedule in Appendix 1 to this report. |
| 1.5.4 | In theory, only moderate quality trees and above are significant material constraints on development. However, low quality trees comprise a constraint in aggregate, in terms of any collective loss / removal, where replacement planting is generally considered appropriate. |

APPENDIX 1

TREE SCHEDULE - Notes for Guidance

Notes for Guidance:

1. Height describes the approximate height of the tree measured in metres from ground level.
2. The Crown Spread refers to the crown radius in meters from the stem centre and is expressed as an average of NSEW aspect if symmetrical.
3. Ground Clearance is the height in metres of crown clearance above adjacent ground level.
4. Stem Diameter (Dm) is the diameter of the stem measured in millimetres at 1.5m from ground level for single stemmed trees. BS 5837:2012 formula (Section 4.6) used to calculate diameter of multi-stemmed trees. Stem Diameter may be estimated where access is restricted and denoted by '#'.
5. Protection Multiplier is 12 and is the number used to calculate the tree's protection radius and area
6. Protection Radius is a radial distance measured from the trunk centre.
7. Growth Vitality - Normal growth, Moderate (below normal), Poor (sparse/weak), Dead (dead or dying tree).
8. Structural Condition - Good (no or only minor defects), Fair (remediable defects), Poor - Major defects present.
9. Landscape Contribution - High (prominent landscape feature), Medium (visible in landscape), Low (secluded/among other trees).
10. B.S. Cat refers to (British Standard 5837:2012 section 4.5) and refers to tree/group quality and value; 'A' – High, 'B' - Moderate, 'C' - Low, 'U' - Unsuitable for retention. The following colouring has been used on the site plans:
 - High Quality (A) (Green),
 - Moderate Quality (B) (Blue),
 - Low Quality (C) (Grey),
 - Unsuitable for Retention (U) (Red)
11. Sub Cat refers to the retention criteria values where 1 is Arboricultural, 2 is Landscape and 3 is Cultural including Conservation, Historic and Commemorative.
12. Useful Life is the tree's estimated remaining contribution in years.



Site: St Andrews Park

Date: 5/8/25

Appendix 1

Landmark Trees Ltd

020 7851 4544

Surveyor(s): Kim Dear

Ref: MEA//68BRD/AI/

BS5837 Tree Constraints Survey Schedule

Tree No.	English Name	Height	Crown Spread	Ground Clearance	Stem Diamete	Age Class	Protection Radius	Growth Vitality	Structural Condition	B.S. Cat	Sub Cat	Useful Life	Comments
6	Plum, Myrobalan	9	4455	0.5	365	Mature	4.4	Moderate	Fair	C	2	10+	Broken branches Epicormic growth congested crown
33	Chestnut, Horse	11	7564	2.0	945	Mature	11.3	Normal	Good	B	2	20+	Pollard (Old) good regrowth and crown. Tree has consent for removal as per planning permission ref. 585/APP/2017/2819
34	Chestnut, Horse	10	4333	3.5	670	Mature	8.0	Moderate	Fair	C	2	10+	Pollard (Old) Tree has consent for removal as per planning permission ref. 585/APP/2017/2819)
35	Chestnut, Horse	10	5344	4.0	685	Mature	8.2	Moderate	Fair	C	2	20+	Pollard (Old)
36	Chestnut, Horse	9	6252	4.0	660	Mature	7.9	Moderate	Fair	C	2	20+	Pollard (Old)
37	Chestnut, Horse	13	5434	4.0	665	Mature	8.0	Moderate	Fair	C	2	20+	Pollard (Old)



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38	Chestnut, Horse	10	5441	4.0	630	Mature	7.6	Moderate	Fair	C	2	10+	Basal cavity Pollard (Old) cavity 2 m west, lost limb
39	Chestnut, Horse	14	7556	4.0	795	Mature	9.5	Moderate	Poor	C	2	<10	Bleeding canker Pollard (Old).
40	Chestnut, Horse	14	6747	3.0	780	Mature	9.4	Moderate	Poor	C	2	<10	Basal cavity Pollard (Old). Cavity East. Tree has consent for removal as per planning permission ref. 585/APP/2017/2819
41	Chestnut, Horse	18	4844	3.0	685	Mature	8.2	Normal	Good	B	2	20+	Pollard (Old)
42	Chestnut, Horse	11	2443	2.5	700	Mature	8.4	Moderate	Poor	U		<10	Ganoderma decay fungi on stem A sparser than normal canopy hollow tap test
43	Chestnut, Horse	15	6757	4.0	805	Mature	9.7	Normal	Good	B	2	20+	Leaf miner Pollard (Old)



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44	Chestnut, Horse	13	5553	3.0	570	Mature	6.8	Normal	Good	B	2	20+	Leaf miner Pollard (Old)
45	Chestnut, Horse	13	5544	3.5	625	Mature	7.5	Moderate	Fair	C	2	10+	Pollard (Old) bark wound gl to 4 m south
46	Chestnut, Horse	13	4443	4.0	570	Mature	6.8	Normal	Fair	C	2	20+	Pollard (Old) small cavities 3 m east
47	Chestnut, Horse	16	6654	4.0	680	Mature	8.2	Moderate	Fair	C	2	<10	A sparser than normal canopy Pollard (Old)
48	Chestnut, Horse	14	6455	3.0	595	Mature	7.1	Moderate	Fair	C	2	<10	Decay in pollard heads Pollard (Old)
49	Chestnut, Horse	14	5631	4.0	650	Mature	7.8	Poor	Poor	U		<10	Polyporus decay fungi on stem Tree has consent for removal as per planning permission ref. 585/APP/2017/2819



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Appendix 1

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020 7851 4544
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Ref: MEA//68BRD/AI/

Tree No.	English Name	Height	Crown Spread	Ground Clearance	Stem Diamete	Age Class	Protection Radius	Growth Vitality	Structural Condition	B.S. Cat	Sub Cat	Useful Life	Comments
50	Chestnut, Horse	14	5654	4.0	760	Mature	9.1	Moderate	Fair	C	2	<10	Bacterial canker Pollard (Old) staining in stems.

APPENDIX 2

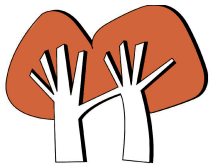
RECOMMENDED TREE WORKS

Notes for Guidance:

1, 2, 3 - Urgent (ASAP), Standard (within 6 months), Non-urgent (2-3 years)

- CB - Cut Back to boundary/clear from structure.
- CL# - Crown Lift to given height in meters.
- CT#% - Crown Thinning by identified %.
- CCL - Crown Clean (remove deadwood/crossing and hazardous branches and stubs).*
- CR#% - Crown Reduce by given maximum % (of outermost branch & twig length)
- DWD - Remove deadwood.
- Fell - Fell to ground level.
- FInv - Further Investigation (generally with decay detection equipment).
- Pol - Pollard or re-pollard.
- Mon - Check / monitor progress of defect(s) at next consultant inspection which should be <18 months in frequented areas and <3 years in areas of more occasional use. Where clients retain their own ground staff, we recommend an annual in- house inspection and where practical, in the aftermath of extreme weather events.
- Svr Ivy / Clr Bs - Sever ivy / clear base and re-inspect base / stem for concealed defects.

*Not generally specified following BS3998:2010



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Appendix 2

Recommended Tree Works

Hide irrelevant

Show All Trees

Landmark Trees

Tree No.	English Name	B.S. Cat	Height	Ground Clearance	Crown Spread	Recommended Works	Comments/ Reasons
40	Chestnut, Horse	C	14	3.0	6747	Fell	Basal cavity Pollard (Old) cavity East. Recommended husbandry 2
49	Chestnut, Horse	U	14	4.0	5631	Fell	Polyporus decay fungi on stem

APPENDIX 3

TREE SURVEY PLAN

