

Introduction

This Method Statement has been prepared to discharge Condition 66 of the planning permission ref. 585/APP/2015/848 which relates to the Town Centre West (TCW) parcel at St. Andrew's Park, Uxbridge.

Condition 66 states:

“Unless otherwise agreed in writing by the Local Planning Authority, prior to commencement of each phase of the outline element of the development, or any of the elements of development for which full planning permission is hereby approved, a method statement outlining the sequence of development for the relevant phase/relevant component of the full planning element, including demolition, building works and tree protection shall be submitted to and approved by the Local Planning Authority”.

Sequence of Development

Demolition

The TCW site comprises cleared, brownfield land. No demolition works are proposed, nor are they required under the TCW consent.

Building Works

The proposed building works will comprise the following, the detailed programme and timing of work stages will be agreed with the contractor:

Phase 1 – Work Stages

- Establish site boundaries and confirm site conditions
- Setting out and construction of site access from Burton Road
- Existing trees to be felled in accordance with the approved details associated with the TCW RM approval
- Setting out and construction of basements including erection of tower cranes to facilitate the works as per drawings and specifications
- Setting out and construction of spine road, Northern and Southern access roads
- Setting out and construction of ground floor structures including transfer slabs
- Installation of underground service utilities and drainage systems

Phase 2 – Work Stages

- Setting out and construction of structural frames
- Construct external envelopes to structures
- Commence construction of energy centre including connection to the wider scheme
- Install roof finishes to apartment blocks
- Internal fit out of apartment blocks including services and building management systems

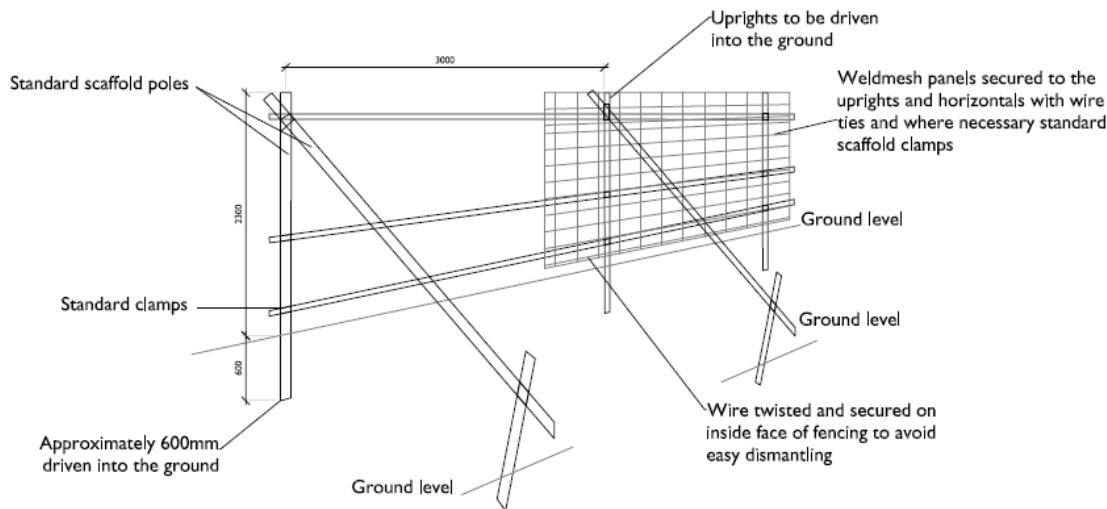
Phase 3 – Work Stages

- Complete construction of hardscaping and access roads
- Complete soft landscaping in accordance with approved documents

Tree Protection Measures

the existing trees that are to be retained will be protected by fencing in accordance with BS5837:2012. The fencing will be maintained in good and effective condition until the works are completed. The fencing will be at least 1.5m high.

The protective fencing should follow the alignment of the fencing shown on the plan enclosed at Appendix 1. Any changes to the alignment of the protective fencing will be agreed with an arboriculturist.



TYPICAL DETAIL OF PROTECTIVE FENCING (Not to scale)

Existing trees will be removed and retained in accordance with the approved Tree Protection Plan.

The trees to be removed will be felled by an arboriculturist. The trees to be retained will be appropriately protected during the felling of the trees to be removed. The fall direction of the trees to be felled will be appropriately controlled to ensure the existing trees to be retained are avoided.

The foundations of the new residential buildings do not conflict with the RPAs of the existing trees which will be retained.

Where new hard surfacing extends over what is current soft ground, within an RPA, a no dig construction technique will be used.

The following measures will also be adhered to:

- Materials or plant will never be stored within the root spread of the trees to be retained.
- No oil, tar, bitumen, cement or other material is to be allowed to contaminate the ground beneath the root spread of the trees to be retained.
- No fires to burn materials or waste shall be lit beneath or in close proximity to the retained tree canopies or within their RPAs.
- No buildings will be located within the RPAs, unless otherwise approved.
- The retained trees will not be used as anchorages for equipment used for removing stumps, roots or other trees or for other purposes.

- No notice boards, telephone cables, or other services should be attached to any part of the trees to be retained.
- Cement mixing should not be carried out within the canopy/protected area of the tree.

Summary and Conclusion

This Method Statement set out the following to address the requirements of Condition 66; an overview of the sequence of development on the site including demolition, building works and tree protection measures.

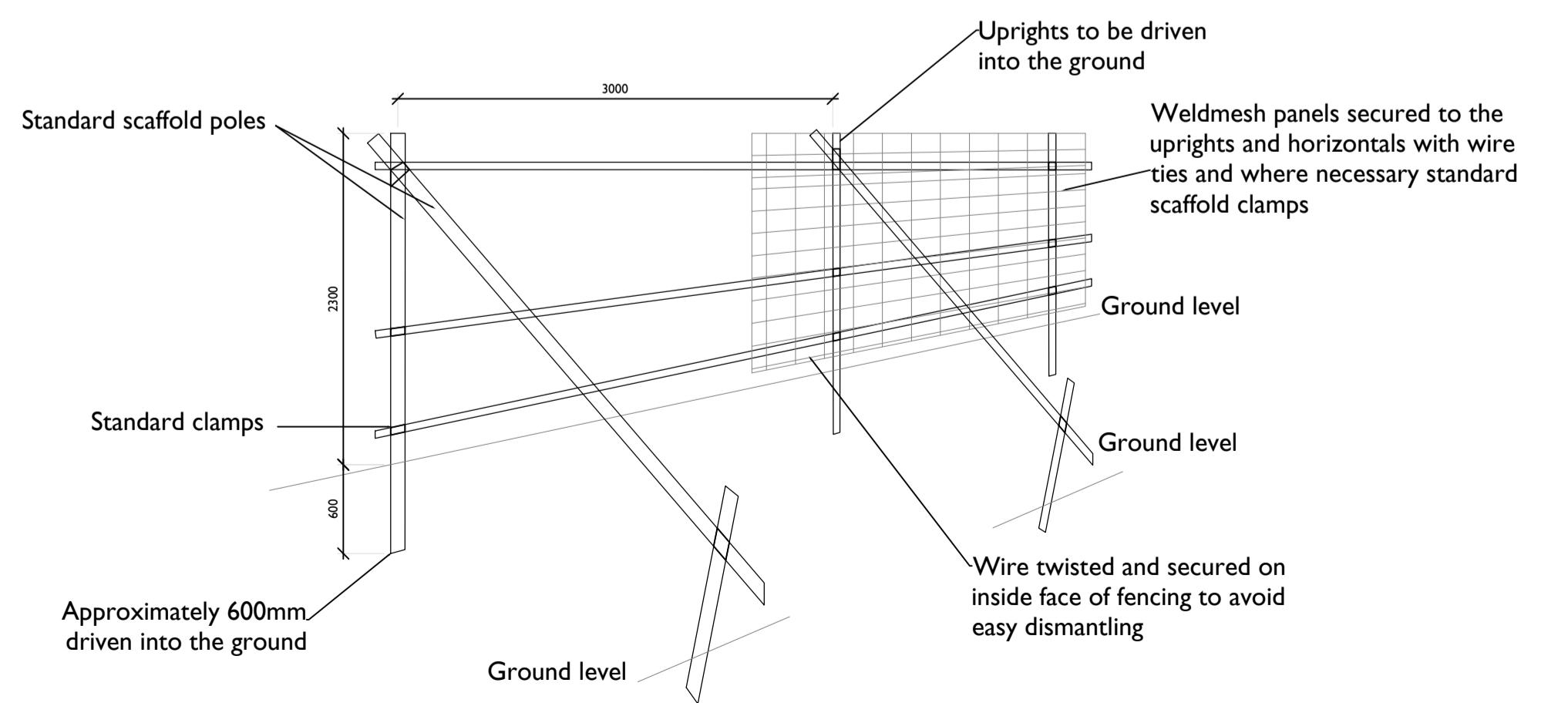
Appendix 1: Tree Protection Plan



Protective measures

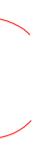
Protective measures

- I. Prior to the commencement of any work whatsoever, or any materials being brought on site, existing trees and vegetation to be retained are to be protected from damage by fencing similar to that shown. This shall be maintained in good and effective condition until the work is completed.
2. The protective fencing is to follow the alignment shown on the adjacent plan. Any new alignments are to be agreed with the landscape architect or arboriculturalist.
3. The following measures are particularly important:
 - 3.1. Materials are never to be stacked within the root spread of the tree.
 - 3.2. No oil, tar, bitumen, cement or other material is to be allowed to contaminate the ground beneath the root spread of the tree.
 - 3.3. No fires shall be lit beneath or in close proximity to the canopy.
 - 3.4. Trees to be retained should not be used as anchorages for equipment used for removing stumps, roots or other trees or for other purposes.
 - 3.5. No notice boards, telephone cables, or other services should be attached to any part of the tree.
 - 3.6. Cement mixing should not be carried out within the canopy/protected area of the tree.
 - 3.7. Soil levels are to be maintained as existing within the root spread of the tree. Any alteration to soil levels in an area up to one and a half times the diameter of the tree canopy must be agreed with the landscape architect/arboriculturalist.
 - 3.8. Erection of fencing is to be carried out in accordance with BS 5837:2012.
 4. Any unavoidable and essential excavation within the fenced areas should be undertaken by hand.
 - 4.1. Within any hand excavation all roots are to be neatly cut back to the excavation face nearest the vegetation using secateurs or loppers to minimise wound area and drying out.
 - 4.2. Hand excavations should comply with the recommendations contained within Section 7.2 "Principles for Avoiding Tree Root Damage during Construction" of BS5837:2012 "Trees in Relation to Construction - Recommendations".
 - 4.3. Protective fencing should remain installed around the unaffected portions of the RPA during such works and until the completion of construction.



TYPICAL DETAIL OF PROTECTIVE FENCING (Not to scale)

This architectural site plan illustrates a detailed layout of a development area. The plan includes building footprints, roads, and landscaping elements such as trees and shrubs, represented by black and grey symbols. A prominent red line outlines a specific boundary or area of interest. Numerous red circles are scattered across the plan, marking specific locations of interest. Some of these circles contain labels, such as 'T21', 'B2', 'C2', 'T22', 'B22', and 'C22', which likely refer to specific plots or features within the development. The plan also shows a 'GREEN LANE' and various other plot numbers and labels.

FILE REFERENCE 3-TS-01-Rev B Tree Protection Plan	
drawing is subject to copyright. Not to scale from this drawing.	
Based on drawing by FMB Drawing number R9110-FBM-23-R0-DR-A-9	
<h1>GEND</h1>	
	Application boundary
	Existing Tree to be retained
	Tree to be removed - No T34, T40 and T49 are applicable removal under planning permission ref. 585/APP/2022/665.
	Root protection area
	Line of protective fencing prior to construction (must be in accordance with BS5837:2012, section 6)
	Indicative area of canopy within area of construction operations (ref Landmark report APA_UX-TC_TC) No-dig construction method in accordance with BS5837: RPAs. No damage to be done to canopies by movement of etc where canopies overlap roadways and areas of hard Contractor to provide Method Statement.

Updated to reflect latest layout	28/07/25	JH	JH
Description	Date	Drawn	Checked
Planning Status			
PLANNING			
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STON UPON THAMES • CAMBRIDGE			
  			
Member of the Landscape Institute			
Allen Pyke Associates Ltd		Scale 1:250@A1	
Project Andrew's Park Town Centre West		By/Chk BB/LB	
Planning Title Planning Protection Plan		Date 29/11/16	
Planning Number 3-TS-01		Revision B	