

**Land East of Mons Block
St. Andrew's Park, Uxbridge
Site Clearance Method Statement**

July 2024

Introduction

This Method Statement has been prepared to discharge Condition 5, attached to planning permission ref. 585/APP/2017/2819 which relates to the Land East of Mons Block (LEOMB) parcel at St. Andrew's Park, Uxbridge. Condition 5 states:

"No site clearance or construction work shall take place until the details have been submitted to, and approved in writing by, the Local Planning Authority with respect to:

1. *A method statement outlining the sequence of development on the site including demolition, building works and tree protection measures.*
2. *Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres.*

Thereafter, the development shall be implemented in accordance with the approved details. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

- 2a) There shall be no changes in ground levels;*
- 2b) No materials or plant shall be stored;*
- 2c) No buildings or temporary buildings shall be erected or stationed.*
- 2d) No materials or waste shall be burnt; and*
- 2e) No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.*

REASON

To ensure that trees and other vegetation can and will be retained on site and not damaged during construction work and to ensure that the development conforms with Policy BE38 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)".

Sequence of Development

Demolition

The LEOMB site comprises cleared, brownfield land. No demolition works are proposed.

Building Works

The proposed building works will comprise the following, the detailed programme and timing of work stages will be agreed with the contractor:

Phase 1 – Work Stages

- Existing trees to be felled in accordance with the approved 'Tree Removal Retention Plan' (ref. 2683-TS-02 Rev P2), under RM consent ref. 585/APP/2022/665.
- Setting out and construction of access road from Burton Road.
- Setting out and construction of access road from Churchill Road (St Modwen Homes).
- Setting out and excavation for building foundations and footings.
- Excavation of the basement area, ensuring sufficient depth and construction of basement walls.
- Pour basement floor slab. Apply waterproofing.
- Installation of all underground utilities.

Phase 2 – Work Stages

- Install tower cranes.
- Construction of residential blocks and erect structural framework for blocks and podium space.
- Construct floors and walls for each block and install utilities and services as necessary.
- Build up podium structure.
- Roof works.

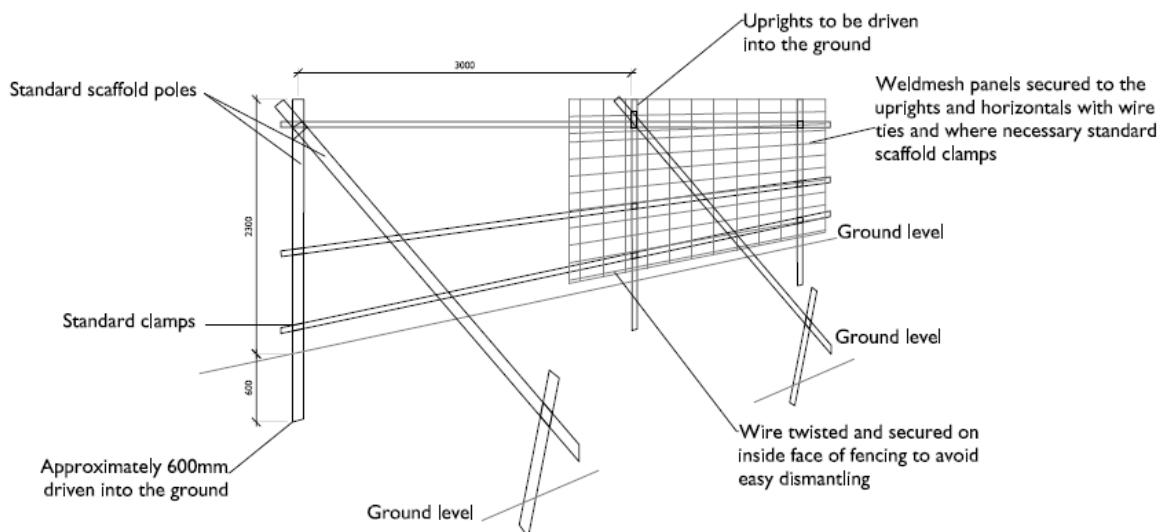
Phase 3 – Work Stages

- Apply exterior finishes to new build blocks and residential fit out works.
- Install soft and hard landscaping at podium and ground floor level.
- Completion of external works.
- Connection to St. Andrew's Park District Heat Network.

Tree Protection Measures

Prior to construction works commencing, the existing trees that are to be retained will be protected by fencing in accordance with BS5837:2012. The fencing will be maintained in good and effective condition until the works are completed. The fencing will be at least 1.5m high.

The protective fencing should follow the alignment of the fencing shown on the plan enclosed at Appendix 1. Any changes to the alignment of the protective fencing will be agreed with an arboriculturist.



TYPICAL DETAIL OF PROTECTIVE FENCING (Not to scale)

Existing trees will be removed and retained in accordance with the approved 'Tree Removal Retention Plan' (ref. 2683-TS-02 Rev P2), under RM consent ref. 585/APP/2022/665. The trees to be removed will be felled by an arboriculturist. The trees to be retained will be appropriately protected during the felling of the trees to be removed. The fall direction of the trees to be felled will be appropriately controlled to ensure the existing trees to be retained are avoided.

The foundations of the new residential buildings do not conflict with the RPAs of the existing trees which will be retained. The approved access road from Burton Road, into the site, is partially located within the RPA associated with trees T46 and T48. A footpath is partially located within the RPA associated with tree T44 and the bin store is partially located within the RPA associated with T43.

Soft ground within the unaffected parts of encroached RPAs will be treated with a 75mm layer of mulch which will be maintained in place throughout the duration of construction activities.

Where new hard surfacing extends over what is current soft ground, within an RPA, a no dig construction technique will be used.

The following measures will also be adhered to:

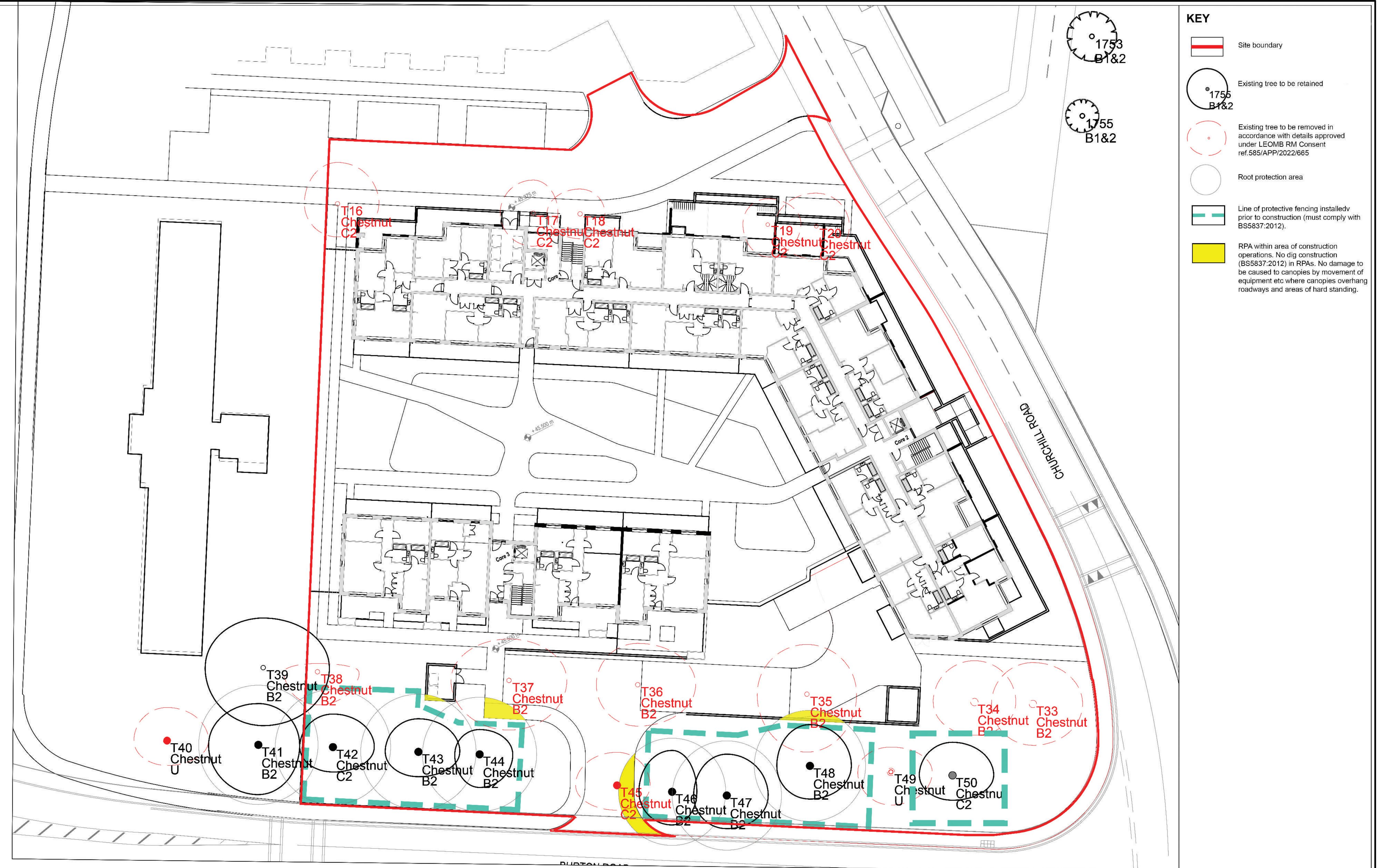
- Materials or plant will never be stored within the root spread of the trees to be retained.
- No oil, tar, bitumen, cement or other material is to be allowed to contaminate the ground beneath the root spread of the trees to be retained.
- No fires to burn materials or waste shall be lit beneath or in close proximity to the retained tree canopies or within their RPAs.
- No buildings will be located within the RPAs with the exception of the approved location of the external bin store which results in a very minor encroachment of T43's RPA.

- The retained trees will not be used as anchorages for equipment used for removing stumps, roots or other trees or for other purposes.
- No notice boards, telephone cables, or other services should be attached to any part of the trees to be retained.
- Cement mixing should not be carried out within the canopy/protected area of the tree.

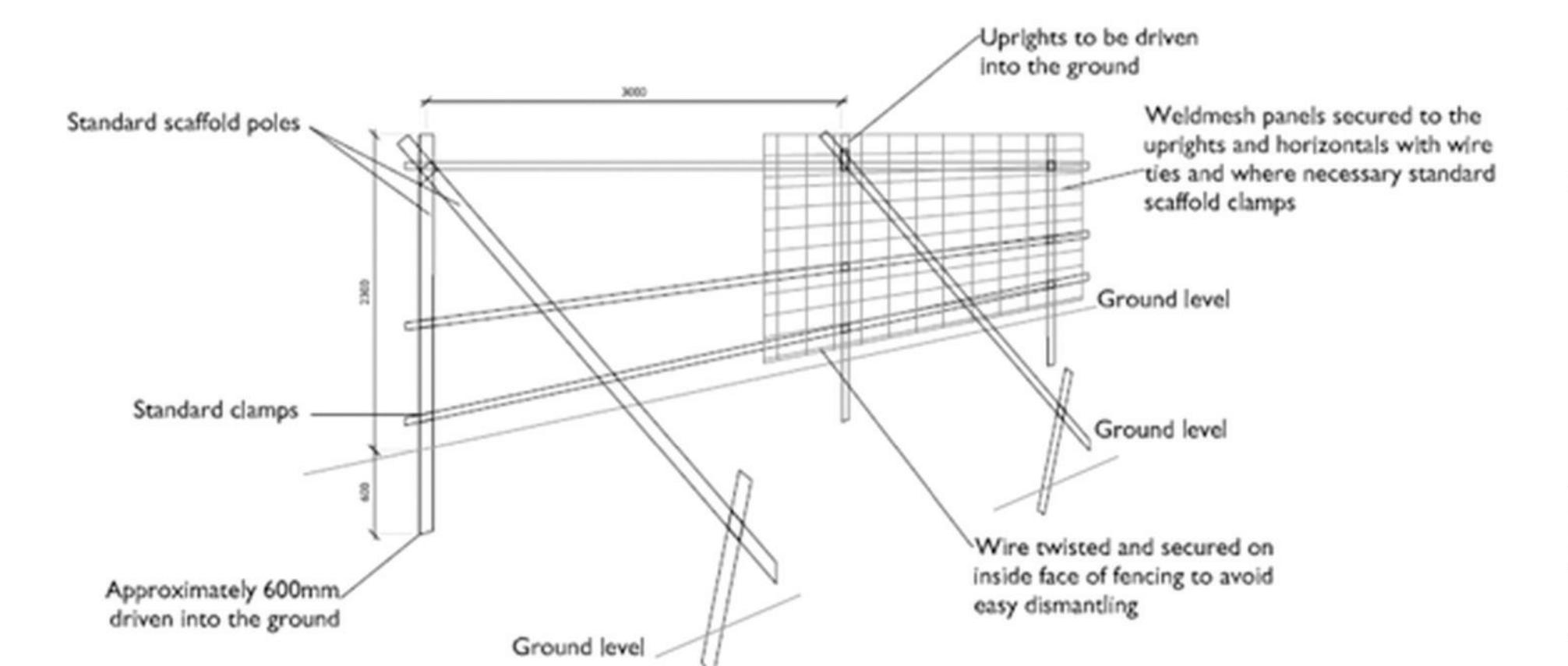
Summary and Conclusion

This Method Statement set out the following to address the requirements of Condition 5 (1); an overview of the sequence of development on the site including demolition, building works and tree protection measures. A detailed drawing showing tree protection measures (Condition 5, 2) has also been prepared and is enclosed at Appendix A.

Appendix A – Tree Protection Plan



0 5 10 20m



TYPICAL DETAIL OF PROTECTIVE FENCING (Not to scale)

KEY
— Site boundary
● Existing tree to be retained
○ Existing tree to be removed in accordance with details approved under LEOMB RM Consent ref.585/APP/2022/665
○ Root protection area
— Line of protective fencing installed prior to construction (must comply with BSS5837:2012)
■ RPA within area of construction operations. No dig construction (BSS5837:2012) in RPAs. No damage to be caused to canopies by movement of equipment etc where canopies overhang roadways and areas of hard standing.

VINCI PLC	ST. MODWEN
Site Land East of Mons Block	Scale 1:250@A1
Project St. Andrew's Park, Uxbridge	
Drawing Name Tree Protection Plan	Date July 2024
Drawing No. LEOMB-C5-01	Revision C01