

SECTION 5.0: PROPOSED SCHEME

Entrance Lobby

The western Entrance Lobby will provide the main entrance point into the gym. A new double door will be provided in the existing opening to the Main Hall and the walls will be plasterboarded. Levelling screed and new floor finishes will ensure level access from these areas into the Main Hall.

Studio

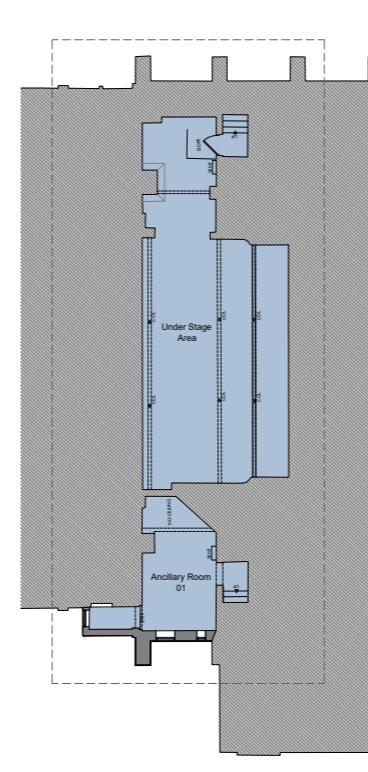
A fitness studio for classes and gym users to use will be provided in the single storey extension to the eastern edge of the Main Hall. Plasterboard will be installed over non-original walls and original walls will be cleaned and the brick work and render will be sealed before being painted. This will enable the historic elements to be viewed by users of the room.

Changing Areas

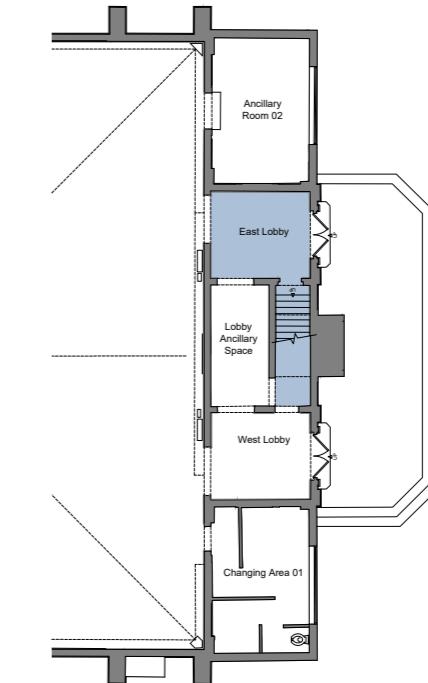
The changing areas to the south and west of the Main Hall will be refurbished up to modern standards. Toilets will be provided in the single storey extension to the south and changing cubicles including showers will be provided in the extension to the west. Levelling screed and new floor finishes will ensure level access from these areas into the Main Hall.

Ancillary Spaces

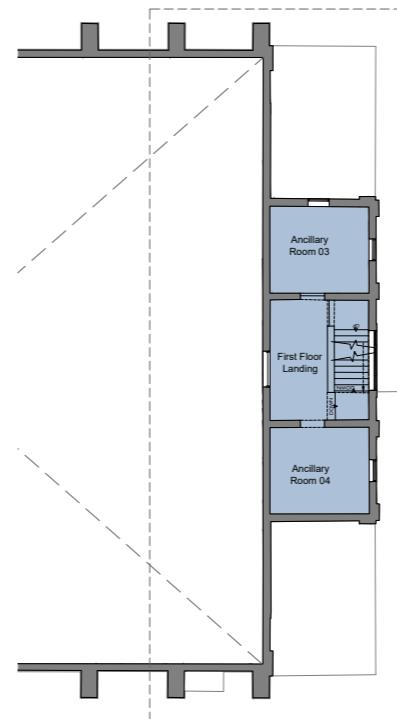
The lower ground areas, the side rooms on the stage and first and second floors will provide ancillary space for the gym use but will not be accessible to gym users. These areas will be refurbished and made good to ensure the areas are usable and meet the end operator's requirements. The works are described in full in the Schedule of Works submitted in support of the Listed Building Consent application and typically comprise repair works to walls and ceilings, introduction of plug sockets, light switches and electrical elements and new floor finishes.



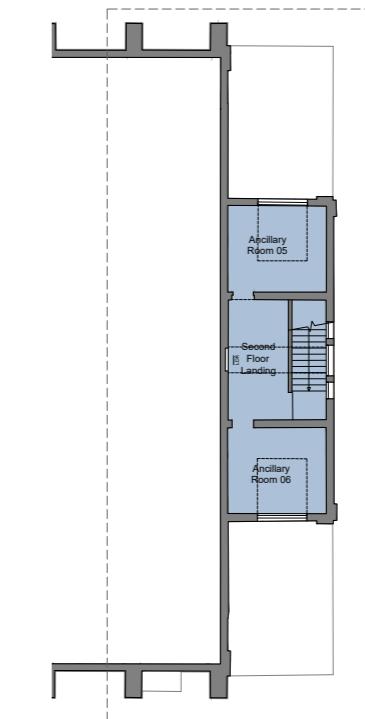
Lower Ground Floor Ancillary Spaces



Ground floor plan extract highlighting access to upper floors.



First floor plan extract



Second floor plan extract

SECTION 5.0: PROPOSED SCHEME

Cafe

The former Squash Courts will be converted to provide a café. A new flat roof will be installed to enable the space to become occupied. The principles of the conversion are to maintain, as far as possible, the character and legibility of the space whilst ensuring useability. This will be achieved by carefully forming new structural openings, in the two internal return walls to enable the café to be a connected space. Nibs and downstands will be provided to reflect the original arrangement and proportions of the former Squash Courts.

No. 3 new openings will be created within the northern elevation, these are centred on the external brick piers and will allow for no. 2 new pedestrian entrance points at either end of the elevation. A window is incorporated above each of the door openings. No. 1 window opening will also be provided centrally within the eastern elevation.

The front-of-house cafe space will incorporate features which refer to and visually denote the space's historic use. These include renewed marking tape along the walls. The back-of-house areas will be separated from the front-of-house café space via pitched hit-and-miss timber boarding. This feature with pitched tops takes reference from the original (which was subsequently altered) roofline of the former Squash Courts.

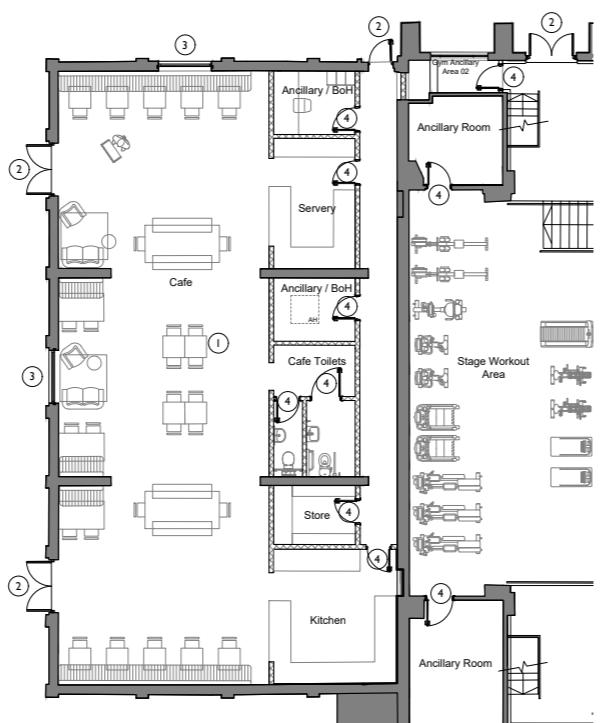
The back-of-house areas are positioned along the southern end of the former Squash Courts. This enables activation of the northern elevation to be optimised and enable the existing opening in the eastern elevation to be retained to provide servicing access. The existing masonry wall separating the former Squash Court areas from the access walkway will be removed to allow for a wider corridor, that is required to provide servicing access, to be constructed.

The ceiling of the back-of-house areas will provide a plant deck, which will be screened from the front-of-house café area via the hit-and-miss timber boarding. Small scale containment will run surface-mounted to air conditioning and heating units on the internal northern elevation. Existing openings will be utilised to provide louvres. Further details regarding the M&E strategy for the café are set out at Section 5.5 of this Statement.

At ceiling level, the timber roof structure for the new flat roof will be exposed internally. New light fittings will be provided to light the front and back of house areas. The existing plaster on the retained walls will be cleaned down and re-painted and any damaged or missing plaster will be replaced to match the existing.

A levelling screed will be applied to the floor and a new floor finish will be installed to ensure a flush finish and threshold level with external areas. The final floor finish will be agreed via a condition attached to the Listed Building Consent.

A full overview of the works proposed to convert the former Squash Courts to a café is outlined in the Schedule of Works submitted in support of the Listed Building Consent application.



Cafe floor plan extract



Cafe internal view



Cafe external view

SECTION 5.0: PROPOSED SCHEME

5.3 Proposed Materials and Finishes (External Works)

The proposal includes the repair and refurbishment of the external elevations. This includes the careful removal of all redundant cables and conduits and repair of the render to match the existing.

Repair of the brickwork, where required, will be undertaken by raking out any defective pointing and installing new pointing to match the existing. Repainting all external soffits will be carried out.

A new flat roof will be installed over the former squash courts with new gutters and rainwater pipes. Elsewhere rainwater pipes and gutters will be repaired and the existing cast iron rainwater pipes will be reused where possible. The roof will be of timber construction, with a single ply membrane.

Windows will be replaced like for like where required. New windows and doors will be installed to optimise the use of the building and provide sufficient access. These take inspiration from the Crittal design of the existing windows in the Main Hall.



Cafe external view from Hillingdon Road

SECTION 5.0: PROPOSED SCHEME

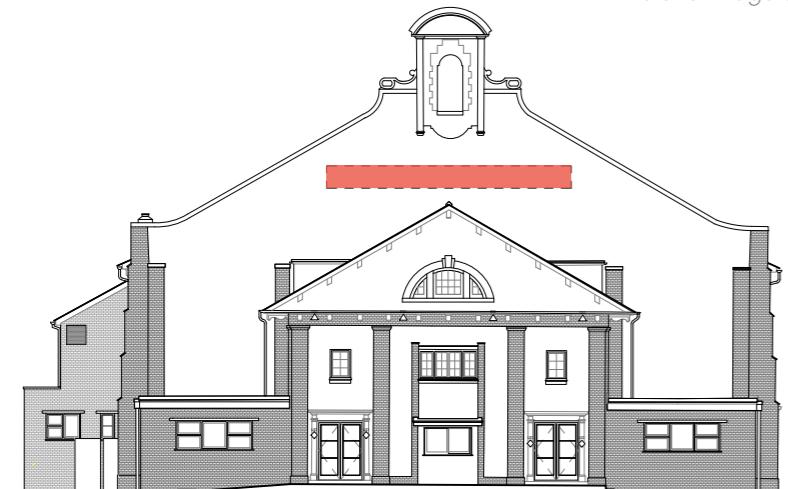
5.4 Signage Zones

The provision of signage on the building is a requirement of the end operator. The signage is required to identify the building's gym and café use and is essential for visitors to the building who need to locate the building. The building will not be able to come back into active use without the provision of signage. The signage could be removed in the future and the building returned back to its original appearance. The building has historically had signage features on its external elevations.

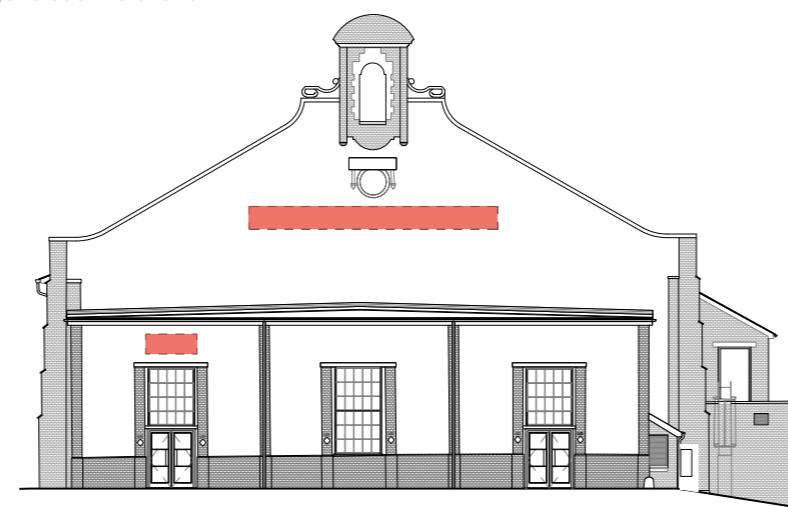
Zones for signage to be located are shown on the submitted drawings, these have been sensitively chosen to meet end user requirements and respect the heritage significance of the building. The details of the signage will be agreed via condition. The signage zones are located on the building's north, south and west elevations. The Heritage Statement confirms that the signage locations would have a neutral effect on the significance of the building.



Historic image of signage to south elevation.



South elevation highlighting signage zone



North elevation highlighting signage zone



West elevation highlighting signage zone



Visualisation of signage zones to north elevation.



Visualisation of signage to south elevation.

SECTION 5.0: PROPOSED SCHEME

5.5 M&E Strategy

The gym and the café will be served by Heating, Ventilation and Air Conditioning (HVAC) systems which will control the indoor environmental conditions of the spaces including temperature, humidity, air quality and airflow. The system has been designed to provide thermal comfort and an appropriate indoor environment for users of the space.

Gym

The existing high-level racetrack and metal sheet ductwork in the Main Hall will be removed and areas of fixing made good. The existing opening in the western elevation, beneath the existing metal sheet duct will be re-sized for re-use and to retain a connection point from the Main Hall to the existing first floor plant room. A grille will be installed within part of the existing opening to allow airflow, provide ventilation, and air circulation. Fresh air ductwork will also be installed within part of the existing opening. The area of masonry wall around the new grille and ductwork will be made good. The ductwork and grille will connect to an air handling unit (AHU) which will be located within the first floor plant room to ensure efficient air exchange. The AHU will be connected to louvres located on the south and west elevations of the first floor plant room.

Fresh air ductwork will run around the perimeter of the Main Hall. A dedicated cable tray will be installed beneath the ductwork. This will contain cabling associated with the wall-mounted fan coil units (FCUs). The FCUs will be vertically mounted and will contain a coil and fan to control temperature and airflow. Drum jet diffusers will be placed above the FCUs. They will be located on the east, south and west internal elevations.

Two external condenser units will be located externally to the south of the side extension of the Main Hall. These are a key component of the HVAC system; they ensure heat is removed and the temperature within the building can be appropriately controlled. A concrete slab will provide a stable foundation and fencing will be erected around the units to enhance security and aesthetics. Extract ductwork and fans will be installed within the ceiling in the proposed toilets and changing room areas. These will be connected to extract louvres in the external walls.

Café

An AHU will be located on the ceiling of the servery/back of house café areas. It will be screened from view in the main café space and will connect to louvres on the west elevation of the former squash court. The AHU will connect with ductwork which will supply air conditioning and heating units on the internal northern elevation. A condenser unit will be located externally to the west of the building. This will ensure heat is removed and the temperature within the building can be appropriately controlled. A concrete slab will provide a stable foundation and fencing will be erected around the units to enhance security and aesthetics. Extract ductwork and fans will be installed within the ceiling of the toilet areas. These will be connected to extract louvres within an external wall.

Representative images of the proposed M&E equipment are shown below:

External condenser unit:



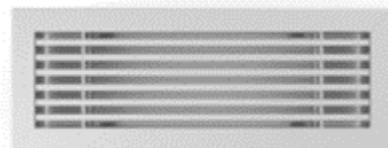
FCU:



Jet nozzle to jet diffuser:



Internal grille:



Air handling unit with first floor plant room and café mezzanine:



External extract louvres:



The M&E arrangements are shown in the internal CGIs as shown below:



SECTION 5.0: PROPOSED SCHEME

5.6 Energy and Sustainability Strategy

The energy efficiency and sustainability of the building has been considered through the design development of the proposals. Measures have been incorporated into the scheme, to ensure the energy efficiency and sustainability measures have been optimised and sensitively integrated to ensure the significance, character and appearance of the heritage assets is successfully retained.

The listed status of the former Cinema building places obtrusive constraints on the building's ability to enhance energy performance. Any measures to enhance energy performance within the building are required to sustain the listed building's character and appearance in accordance with planning policy and guidance and building regulation requirements.

Full details of the energy and sustainability measures are set out in the accompanying Energy and Sustainability Statement prepared by Hodkinson. These are summarised right.

Energy efficiency measures

- Replace existing high-level single-glazed, Crittall windows with double-glazed Crittall windows in the Main Hall;
- Provision of double-glazed windows and doors;
- Re-provision of lime plaster;
- Provision of a concrete floor in the Main Hall and former Squash Courts;
- Efficient mechanical heating and cooling system;
- Provision of a new roof in the former Squash Courts;
- Energy efficient lighting;
- Maximisation of natural daylight in the former Squash Courts.

Sustainability features:

- The retention and re-use of an existing building to align with the overarching principles of environmental, social and economic sustainability.
- Improved energy performance whilst ensuring the heritage asset and its significance are retained.
- 20% of parking spaces (no. 5) will be served by EV charging facilities.
- Adequate facilities for waste and recycling will be provided.
- The active use of the building will promote safety and security.
- New ramped accesses will promote inclusive access and enable level access into the building which has historically been non-accessible.
- The accessibility of the building and site will be improved. Pedestrian access will be provided, and cycle parking facilities will be located in convenient locations, close to building entrance points.
- The landscaping surrounding the building will be enhanced. New areas of soft landscaping, with tree planting and a SuDs feature will enhance biodiversity and ecology.
- Water usage controls

5.7 Fire Strategy

A Fire Strategy has been developed in relation to the reinstatement of the gym use and conversion of the former Squash Courts to provide a cafe. Please refer to the Fire Strategy, prepared by Orsa and submitted in support of the Full Element of the Hybrid Planning Application for full details. In summary, this outlines the requirements for the building to ensure an appropriate level of fire safety is achieved in the context of the building's listed status.

The Fire Strategy sets out an overview of the regulations, Historic England's recommendations and fire safety strategies for means of escape, approach to detection, emergency lighting and resistance. It concludes that the proposed scheme will provide a suitable level of fire safety and that fire safety management will be maintained through Fire Risk Assessments and a Fire Management Plan. The detailed Fire Risk Assessments and Fire Management Plan will be developed by the end operator prior to the building becoming occupied.

SECTION 5.0: PROPOSED SCHEME

5.8 Landscaping

The conversion of the building will be accompanied by appropriate and sensitive relandscaping to the surrounding site. The proposals enhance the setting of the listed building through the provision of the following:

- New parking area to the south of the building providing accessible vehicular parking for users of the gym
- New hard and soft landscaping to the rear to better connect the cafe (former squash courts) with the external space and existing tree to the north.
- New treatments to the west boundary to improve the visibility and better present the building to Hillingdon Road.
- Landscaping to the east boundary to ground the bulding within the wider St Andrews Park development.
- Pedestrian access from Hillingdon Road



SECTION 6.0: ACCESS STATEMENT

6.1 Access

The proposed arrangement of the uses, the utilisation of existing access openings and provision of new access points into the former Squash Courts facilitate convenient and safe access points into the building for all users. The proposal ensures the building entrances are accessible and accessible access into the site from Hillingdon Road and the Spine Road is provided.

6.2 Pedestrian, Cyclist and Vehicle Access

Pedestrian access to the site will be obtained from Hillingdon Road and the Spine Road. Cyclists will be able to enter the site via the Spine Road. The vehicular access point from the Spine Road will be retained to provide access into the reconfigured car parking area which will incorporate an accessible parking bay and enable delivery and servicing access. Cycle parking for users of the former Cinema building are provided within the Full Element of the Hybrid Planning Application. Please refer to the Landscape Strategy document prepared by Gillespies for full details.

6.3 Inclusive Access

The design approach with regards to inclusion is to ensure that all interior and exterior spaces are as comfortable and enjoyable as possible for all users, visitors and staff at the facility, regardless of their particular needs.

All public parts of the building are fully accessible for wheelchair users. The main entrances to the gym and the café will have level access via new ramps and be generous in size.

An accessible WC and shower is provided within the gym and an accessible WC is also provided within the café.



Aerial view of site from south-east



Aerial view of site from north-east



Access arrangement to site and building

SECTION 6.0: ACCESS STATEMENT

6.4 The Proposed Scheme and Town Centre Extension Masterplan

The refurbishment of the former Cinema building to provide the gym and cafe use is also supported by the Full Element of the Hybrid Planning Application for the TCE masterplan. The Full Element incorporates external alterations to the existing parking area and introduces a soft landscaping scheme. Please refer to the Landscape Design Statement for the Former Cinema Building, prepared by Gillespie for full details. The landscaping and external works enhance the setting of the former Cinema Building and integrate it seamlessly into the TCE masterplan through the provision of the following:

- The existing car park will be reconfigured to set back from the building's main frontage and resurfaced with permeable paving. It will incorporate parking bays, a requirement of the end operator for the former Cinema building and wider TCE masterplan area. EV chargers will be provided, and the parking area screened by low shrub planting.
- Two existing trees will be retained within the Full Element and the existing soft landscape area to the south of the site will be enhanced with new tree, perennial, and low shrub planting.
- A ramp will be installed to the western side of the building to provide level access into the gym. A new ramped pedestrian access will be provided from Hillingdon Road into the site. This will link into the wider movement network and provide access from Hillingdon Road to the café and gym uses.
- A soft landscaped edge will be provided along the Hillingdon Road, Burton Road and Spine Road frontages. This will green the streetscapes and contribute to the setting of the listed building.
- A terraced area will be provided for the café use. This will activate the southern edge of the wider area of public realm.
- The former cinema building will be a prominent feature within Roundel Place, a new area of public realm which will be provided as part of the Outline Element of the Hybrid Planning Application which incorporates the existing Horse Chestnut tree and provides a Pocket Park.



Hybrid Planning Application illustrative Masterplan

SECTION 7.0: SUMMARY AND CONCLUSION

This DAS provides an overview of the works associated with the refurbishment of the Grade II listed former cinema building to provide a gym and café. It relates to the Listed Building Consent application and the Full Element of the Hybrid Planning Application. The proposed internal and external alterations to the building and surrounding context have been developed in response to the site's heritage constraints, opportunities, pre-application consultation feedback and an extensive design development process with the end operator.

The proposals for the former cinema building will repair and revitalise a significant heritage asset. The gym and café use optimise the potential of the building and seek to retain as much historic fabric as possible. The proposal comprises high-quality design, introducing a new, long-term active use in the building, which is on the Heritage at Risk Register. The gym and café will complement the wider uses within the TCE masterplan area and will provide valuable facilities for the existing and emerging residential communities in St. Andrew's Park.

In conclusion, the revitalisation of the long-term vacant heritage asset to provide a gym and café preserves the building's heritage while creating an asset valued by the local community. The use of the building and the associated landscape scheme will enhance the townscape quality of the site, particularly at the Burton Road entrance into St. Andrew's Park. The scheme integrates with the wider TCE masterplan and the proposed area of public realm, effectively contributing to the overall quality and functionality of St. Andrew's Park.



APPENDIX A: PRE-APPLICATION FEEDBACK

07/07/22: LBH Pre-Application Meeting

A pre-application meeting, focussed on the former Cinema building was held with LB Hillingdon on 07th July 2022. The scheme proposed the gym in the Main Hall and café in the former Squash Courts. A summary of the LB Hillingdon feedback issued following the 07/07/23 meeting is set out below:

Main Hall

- The proposed gym use would have minimal impact on the historic fabric of the building and would retain the main hall as one large open space. However, it is regrettable that a community use is not proposed. It would be useful to understand why other uses have been eliminated.
- No objection to building up the floor slab although a timber floor would be more welcomed than vinyl flooring.
- The removal of paint from the glazed brickwork would be a benefit. The proposed finishes to the walls should be clearly referenced on the drawings along with retention notes for the decorative architectural features so that it is clear what is to be retained and what is to be removed.
- It is noted that the stage area has been modified. Modification to the stage will need to be carefully considered and further research undertaken to determine its original configuration. The position of the pilasters and later additions should help inform the proposed modifications. It is welcomed that the stage would not be sub-divided into sections.

Former Squash Courts

- The proposed café use is supported.
- A pitched roof, shallow pitches, with glazing would be more desirable than replicating the previously existing flat roof configuration.
- The proposed introduction of windows and doors to the proposed café (northern elevation) respect the design of the existing building.
- The proposed door to the rear access corridor should not appear utilitarian in appearance.
- Further details regarding the extraction process should be provided. MEP louvres should not be located prominently on the western elevation; the opportunity to hide extraction behind the roof parapet should be explored.

External

- Signage will need to be carefully designed so that it does not detract from the elevation. Fret cut letters, with backlighting would be the preferred option.
- The bin store will need to be carefully designed and integrated with the building.
- The lower levels of the building are currently obscured from view by unsympathetic hoarding and palisade security fencing. The Hillingdon Road elevation requires careful consideration to ensure the visual impact of service additions is minimised and the building becomes more exposed to Hillingdon Road.
- External lighting is supported in principle however the building should not be cluttered with light fittings. The lighting scheme should create a gentle wash of light over elements of the building. There is concern over the proposed spotlights in the soffit of the principal entrance. A detailed lighting scheme would need to be submitted with any formal application. Lighting within the surrounding landscaping rather than on the building would keep visual clutter to a minimum.
- The parking area to the front of the building should be carefully landscaped so that it does not appear as one large space. The loading bay should not have an imposing impact on the approach to the building.
- The soft landscaping should be retained and further enhanced to create a more attractive setting and entrance into the site.

04/11/22: LBH Pre-Application Meeting

A summary of the LB Hillingdon feedback issued following the 04/11/22 meeting is set out below:

Main Hall

- The proposed low level tracking lights which stretch across the main hall are not supported, they harm the open character of the space and would detract from the listed building interior. Singular pendant lights within this space would be acceptable. Or a slender track suspending around the perimeter of the hall to retain its spacious open character.
- No objection to the balustrade to the stage.
- The proposed purple linings to the front entrance doors appear detracting. Lighting to the entrances would be acceptable but these should be more subtle to respect the listed building.
- Any plant should be positioned as close to the building as possible. Signage on any form of plant screening would not be supported.

Former Squash Courts

- Could the internal layout be amended to lose the rear corridor and provide more space in the café and improve the access to the secondary service door to the east elevation. This would allow for an additional window to the Hillingdon Road elevation to help break up the elevation which is a less sensitive area of the listed building.
- Block up and make good high-level openings to the east and west elevations.

External

- There are concerns with the prominent bin storage enclosure which is positioned close to the principal entrance. The enclosure should be the minimum necessary and should be screened by soft landscaping.
- The proposed signage needs to be more discreet and respectful to the listed building.
- Lights should ensure they do not add visual clutter to the elevations, lights set within the ground should be explored.
- Softer boundary treatments to Hillingdon Road should be explored rather than railings.

21/09/23: GLA Pre-Application Meeting & 06/11/23 GLA and LB Hillingdon Site Visit

In summary, the feedback from the GLA specific to the former Cinema building comprised:

- The inclusion of the former Cinema building within the wider Town Centre Extension (TCE) site is supported.
- The proposed gym and café use are an appropriate character and form for the building.
- The original roofing material should be reinstated as part of the works and the reinstatement of lost details (such as the stone ball finials on the buttresses and the ventilation cupola) would be welcomed.
- The removal of the 20th century flat roofed elements to the centre and front elevation and either side of the front entrances would be welcomed.
- The main entrances to the building should be a focus.

Public Consultation

The proposals for the former Cinema building have been discussed with key stakeholders, the public and the existing St. Andrew's Park community in March 2022 and October 2023. Many people were positive about the provision of a gym and café in the building and expressed that such, non-residential uses were needed and would be appreciated by the local community.

Response to Pre-Application Feedback & Consultation

The proposed scheme has been revised and developed in response to the pre-application feedback received from LB Hillingdon and the GLA. The scheme seeks to address the feedback and proposes the following:

- A gym use in the former Main Hall to respect the openness and the heritage constraints associated with the existing building. VSM have carried out a comprehensive campaign to try and secure an operator for the building. This confirmed there is no reasonable alternative development scenario that would re-introduce an active use within the Main Hall.
- A proposed café use in the former Squash Courts with new openings created on the northern elevation to provide access and light the space (2 doors with glazing above and 1 window).
- The external lighting scheme has been refined to subtly light the building and surrounding landscaping.
- The proposed plant has been relocated to be positioned as close to the building as possible and removed from the roof of the extension on the western elevation. The plant has been relocated to ground floor level and positioned as sensitively as possible.
- The proposed M&E strategy seeks to re-use existing high-level openings and limit changes to the historic fabric.
- The proposed scheme retains the existing flat roofed elements to the centre and front elevation of the building. The removal of these spaces would result in the need to sub-divide the Main Hall to provide toilets and studio. The sub-division of the Main Hall would negatively harm the character and appearance of the building; the level of harm caused would not be outweighed by any benefit associated with the removal of the flat roofed elements, which were in situ when the building was listed.

APPENDIX A: PRE-APPLICATION FEEDBACK

- A flat roof is proposed in relation to the café use / former Squash Courts. This replaces the previously proposed glazed, pitched roof. The glazed roof would require extensive structural support and a substantial height change to the elevations which would harm the historic fabric. The flat roof is consistent with previous roof, which was in situ, when the building was listed and will enable the former squash courts to come back into an active use with minimal intervention to the structure. The new hit-and-miss timber battens to the profiled internal screen will also reflect the original pitched roof of the squash courts.
- The proposed layout of the café has been revised to ensure the space is accessible. An additional door, with glazing above, has been provided to address pre-application feedback and express the buildings north-eastern corner adjacent to Hillingdon Road.
- Later, modern additions to the stage will be removed to reveal the full height of the pilasters. The stage comprises a single useable space that will not be subdivided. A single stair access is proposed to reflect the original form of the stage.
- The low level painted glazed brick work will be retained. A protective shroud will be installed over the glazed brick work. This will ensure an original feature of the building is retained, preserved and appropriately protected from the proposed gym use. The provision of a protective shroud will also allow for cables and electrical equipment to be located within the Main Hall without the need to penetrate the glazed brick work / historic fabric of the building.
- The internal lighting strategy for the Main Hall has been revised. The low level, band lighting, has been removed to address pre-application feedback. The Main Hall will be illuminated by high-level dome pendant lights located in the position of the existing, redundant, light fixtures.
- The proposed signage area has reduced in size. Signage is required for both the café and gym to meet the end-operator requirements.
- The proposed purple light linings to the front entrance doors have been removed.
- The existing car parking area has been reconfigured and is further set back from the former Cinema building principal frontage. The area of hardstanding associated with the car parking area provides access (from the existing junction with the spine road); and the parking spaces and loading area are set back from the building frontage.
- The bin store has been re-located away from the building and will be screened by soft landscaping.
- A visually permeable railing is provided along the Hillingdon Road and Burton Road frontages to open up views into the site / of the building but also to address the level change from the site and Hillingdon Road. The railing will be situated in soft landscaping. A secure boundary is required along this edge to ensure the effective and safe operation of the proposed café and gym.
- The area of soft landscaping to the south of the car parking area will be retained and extended to the back edge of pavement on Hillingdon Road and Burton Road (replacing the existing area of hardstanding at the southern edge of the site).

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