

Uxbridge Town Centre West

St Andrew's Park, Uxbridge



FBM Architects

 ST. MODWEN
HOMES

Design statement in support of Non-material Amendment Application

June 2023

Uxbridge Town Centre West
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1. Introduction

This Design Statement has been prepared on behalf of St. Modwen Homes who have appointed Fraser Brown Mackenna Architects to deliver a mixed-use development at the Town Centre West residential development, Uxbridge.

Following detailed RIBA Stage 4 design of the consented scheme, St. Modwen Homes are now looking to apply for a further amendment to bring the consented scheme up to date with the developments in layouts, structure and external envelope to ensure the building complies with the requirements of Building Control, Fire Service, and also include design changes to improve visibility.

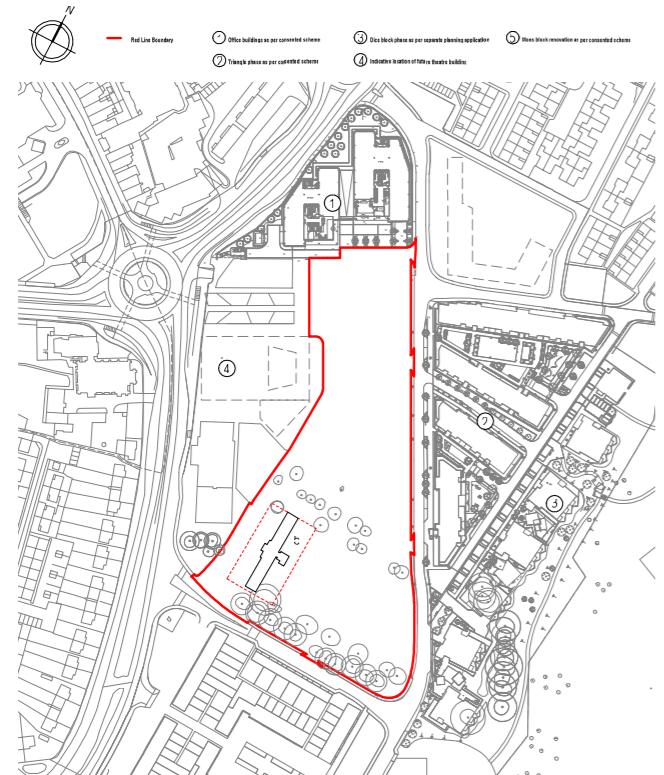
This report has been prepared as a pre-application design pack to assist with discussions surrounding the forthcoming amendment application. This report is to illustrate St. Modwen Homes' intention of continuing to provide high quality residential accommodation on the site. This report is to be read in conjunction with formal issue drawings as per schedule R9110-FBM-23-ZZ-SH-A-9600

The next section outlines all of these design changes in further detail.

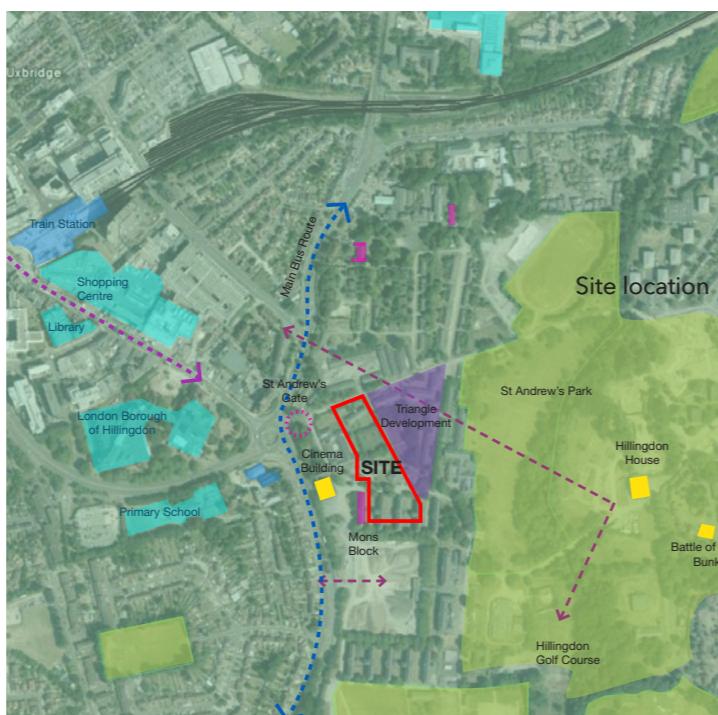
2. Site and Surroundings

The site is located at the westside of Dowding Park. To the west is Hillingdon Road. To the east is Churchill Road, the primary means of access. The site is within walking distance from Uxbridge Town Centre and Uxbridge Underground and Bus Station.

The site is set on former RAF Uxbridge land within the London Borough of Hillingdon. It is bound by the Triangle Scheme, the DICE development and the retained existing buildings such as Mons Barrack Block and St Andrew's Gates.



Site location



Site location in wider context



View of Site in March 2022



View of Site in March 2022



View of Site in May 2022

3. Proposed Amendments

Summary of proposed amendments

General Changes:

Further to detailed RIBA Stage 4 design, FBM Architects have concluded that the following layout changes will now be required to help improve the quality and buildability of the residential units:

- Disabled refuge located as per fire engineer's recommendations.
- Core design optimised - lifts resized to include 13-person lift, ventilation to basement included, smoke shafts introduced, means of escape incorporated as per fire engineer's recommendations, post boxes located to suit.
- Flat layouts optimised.
- Secondary access to balconies omitted to all flats and replaced with windows.
- Doors added to lift lobby to suit fire strategy.
- Notches in party wall at flat entrances omitted.
- Deck access amended to single door for easier manouevring of fire door.
- Access to plant rooms amended to suit plant requirements.
- Changes due to graphical errors on consented plans.

Block 1B

- Cleaner's store relocated to add switchroom.

Block 1C

- Access shown through podium to first floor flats.
- Maintenance access to roof amended to single door for greater security.

Block 2A

- Level access added to core entrance from Churchill Road side as required by fire strategy, windows and entrance door amended to suit.
- Refuse store enlarged and number of bins increased to provide adequate storage.
- Bike store door amended to single for greater security and ease of operation.

Block 3C

- Part M4(3) compliant ramp proposed to access Block 3C.

4. Layout Changes

4.1 Block 1 Ground Floor Layout Changes

- Lifts resized
- Core design to include ventilation to basements and to suit M&E
- Layouts amended (1xFlat amended to 2B4P) / Consented key incorrect
- Energy centre access relocated
- Substation access centralised
- Block 1B cleaner's store relocated to add switchroom
- Secondary access to balconies omitted to all flats and replaced with windows



Consented Block 1 Ground Floor Layout



Proposed Block 1 Ground Floor Layout

4.2 Block 1 First Floor Layout Changes

- Secondary access to balconies omitted to all flats and replaced with windows
- Access added through podium - Block 1C flats
- AOV added
- Disabled refuge shown within stair to Fire EN6 recommendations
- Flat layouts amended
- Notches in party wall at flat entrances omitted
- Access door to podium amended to single (Block 1B)



4.3 Block 1 Second Floor Layout Changes

- Secondary access to balconies omitted to all flats and replaced with windows
- Access door to Block 1C deck amended to single door
- AOVs added
- Disabled refuge shown within stair
- Flat layouts amended
- Notches in party wall at flat entrances omitted



Consented Block 1 Second Floor Layout



Proposed Block 1 Second Floor Layout

4.4 Block 1 Third to Fourth Floor Layout Changes

- Secondary access to balconies omitted to all flats and replaced with windows
- Access door to Block 1C deck amended to single door
- AOVs added
- Disabled refuge shown within stair
- Flat layouts amended
- Notches in party wall at flat entrances omitted



Consented Block 1 Third to Fourth Floor Layout



Consented Block 1 Third to Fourth Floor Layout

4.5 Block 1 Fifth to Seventh Floor Layout Changes

- Secondary access to balconies omitted to all flats and replaced with windows
- Access door to Block 1C deck amended to single door
- AOVs added
- Disabled refuge shown within stair
- Flat layouts amended
- Notches in party wall at flat entrances omitted



Consented Block 1 Fifth to Seventh Floor Layout



Proposed Block 1 Fifth to Seventh Floor Layout

4.6 Block 1 Roof Layout Changes

- AOVs added



Consented Block 1 Roof Layout



Proposed Block 1 Roof Layout

4.7 Block 2 Ground Floor Layout Changes

- Doors added to lift lobby to suit Fire strategy
- Refuse Stores enlarged, right no. of bins shown
- Cycle store door amended to single
- Secondary access to balconies omitted to all flats and replaced with windows
- Level access added to Block 2A, Terrace reduced, Windows amended to suit, Entrance door location amended
- Flat layouts amended
- 1 x 2B3P flat is incorrectly colour coded as 1 x 1B2P on consented plan, key colour amended to suit



Consented Block 2 Ground Floor Layout



Proposed Block 2 Ground Floor Layout

4.8 Block 2 First to Sixth Floor Layout Changes

- Notches in party wall at entrance omitted
- Flat layouts amended
- Disabled refuge relocated within stair
- Secondary access to balconies omitted to all flats and replaced with windows



Consented Block 2 First to Sixth Floor Layout



Proposed Block 2 First to Sixth Floor Layout

4.9 Block 3 Ground Floor Layout Changes

- Notches in party wall at entrance omitted
- Secondary access to balconies omitted to all flats and replaced with windows
- 1 x 2B4P flat is incorrectly colour coded as 1 x 3B6P on consented plan, key colour amended to suit

- Fire separation added to stair
- Post boxes relocated in Block 3B
- AOVs added



Consented Block 3 Ground Floor Layout



Proposed Block 3 Ground Floor Layout

4.10 Block 3 First Floor Layout Changes

- AOVs added
- Notches in party wall at entrance omitted
- Secondary access to balconies omitted to all flats and replaced with windows

- Disabled refuge shown within stair
- Flat layouts amended



Consented Block 3 First Floor Layout



Proposed Block 3 First Floor Layout

4.11 Block 3 Second Floor Layout Changes

- AOVs added
- Notches in party wall at entrance omitted
- Secondary access to balconies omitted to all flats and replaced with windows

- Fire separation added to stair
- Post boxes relocated in Block 3B



Consented Block 3 Second Floor Layout



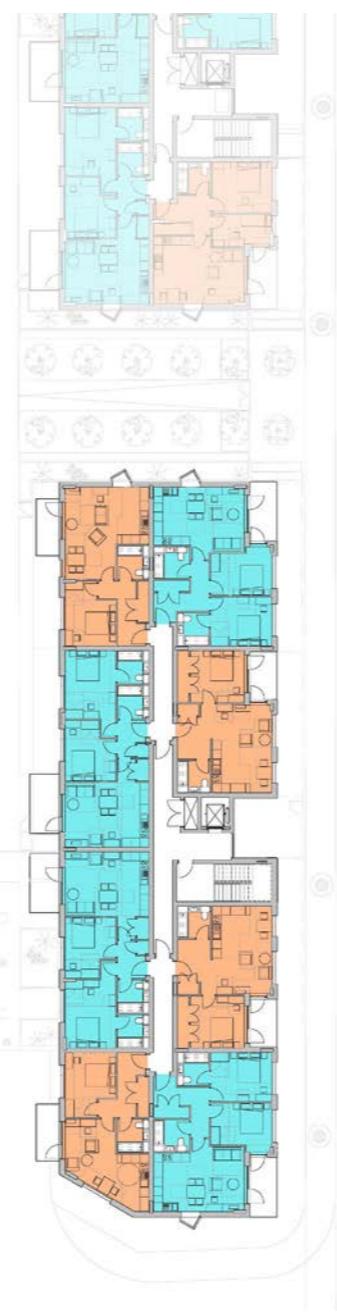
Proposed Block 3 Second Floor Layout

4.12 Block 3 Third Floor Layout Changes

- AOVs added
- Notches in party wall at entrance omitted
- Secondary access to balconies omitted to all flats and replaced with windows
- Disabled refuge shown within stair
- Flat layouts amended



Consented Block 3 Third Floor Layout

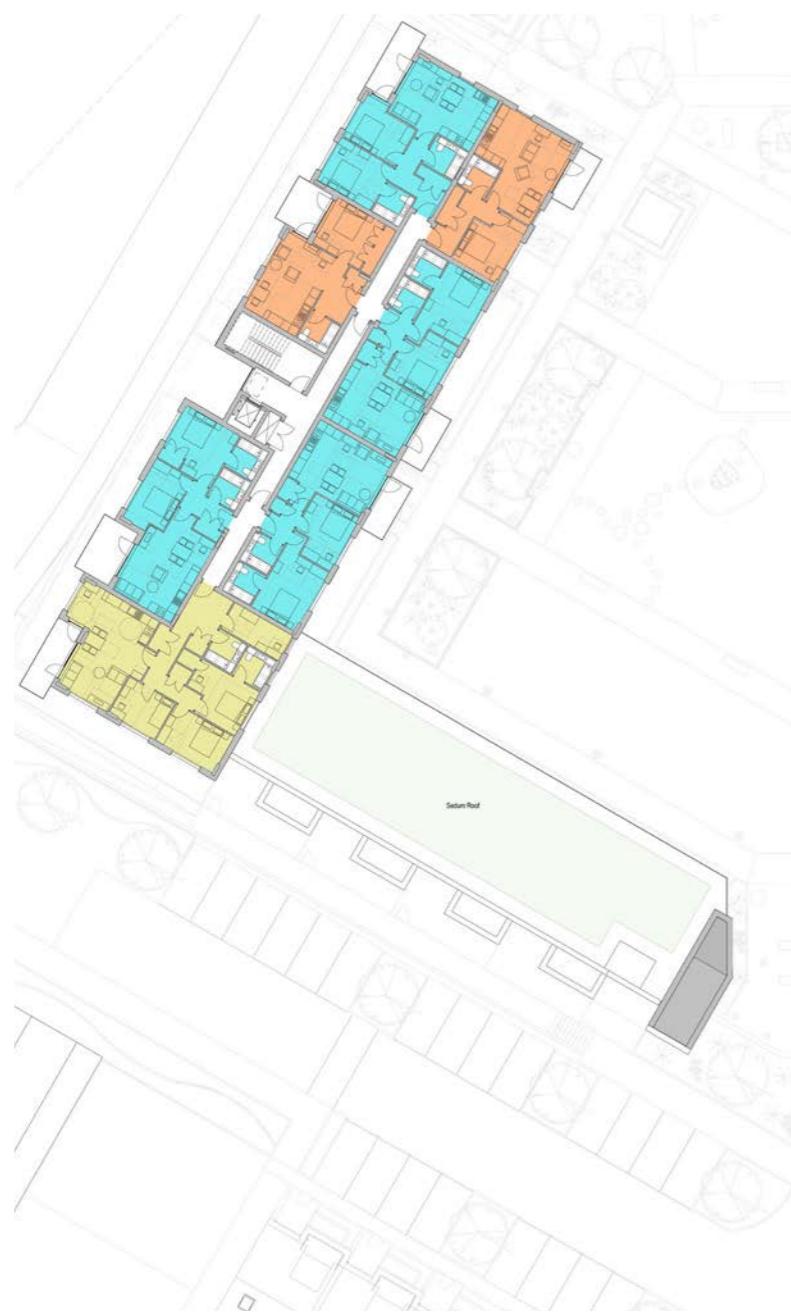


Proposed Block 3 Third Floor Layout

4.13 Block 3 Fourth to Fifth Floor Layout Changes

- AOVs added
- Notches in party wall at entrance omitted
- Secondary access to balconies omitted to all flats and replaced with windows

- Fire separation added to stair
- Post boxes relocated in Block 3B
- AOV opening at head of stair shown



Consented Block 3 Fourth to Fifth Floor Layout



Proposed Block 3 Fourth to Fifth Floor Layout



5. External Envelope Changes

5.1 External Facade Changes

The following changes are proposed to the external building facade:

- Facade banding to be fabricated out of metal rather than precast concrete.

- Openable windows shown.

- Amendment to window/external door size/layout/positions to suit detailed design.

- Balcony fascias deeper to incorporate structure.

- Coping introduced.

- Stair overrun omitted; lift overrun shown.

- Louvres added to energy centre for ventilation.

- RWP added / location amended.

- Glazed spandrel panels omitted to ground floor balconies to match upper floor balconies.

- Spandrel panel added to ceiling services zones in lieu of glazing.

- Door to podium - Block 1B and 2B amended to single to match all other podium access doors

- Block 1C and 3C - balustrade amended to imperforate metal to comply with new BS.

- Parapets levelled off at 1100mm above roof level to comply with Building Regulation 7 and warranty provider requirements for maximum height of parapets capped at 1100mm

- Secondary access to balconies omitted to all flats and replaced with windows



Photos of The Dice blocks on adjacent site where precast panel was changed to a metal panel due to technical and viability issues. A similar approach is proposed on this scheme with no compromise to design quality or built product.



Consented Block 1A East Elevation



Proposed Block 1A East Elevation



Consented Block 1A West Elevation



Proposed Block 1A West Elevation



Consented Block 1B West Elevation



Proposed Block 1B West Elevation



Consented Block 1B East Elevation



Proposed Block 1B East Elevation



Consented Block 1C North Elevation



Proposed Block 1C North Elevation



Consented Block 1C South Elevation



Proposed Block 1C South Elevation



Consented Block 2A East Elevation



Proposed Block 2A East Elevation



Consented Block 2A North East Elevation



Proposed Block 2A North East Elevation



Consented Block 2A West Elevation



Proposed Block 2A West Elevation



Consented Block 2A South Elevation



Proposed Block 2A South Elevation



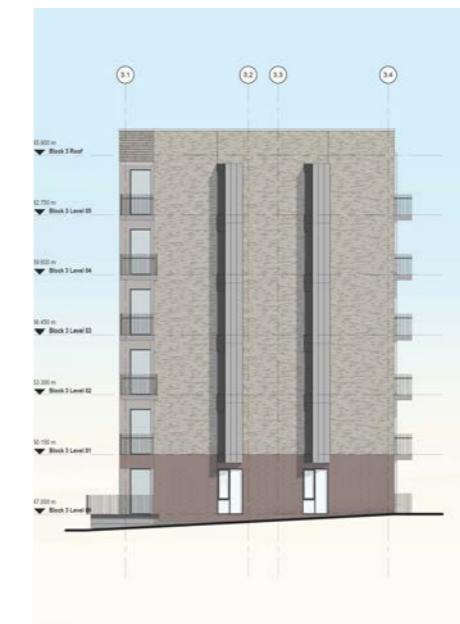
Consented Block 3A East Elevation



Proposed Block 3A East Elevation



Consented Block 3A North Elevation



Proposed Block 3A North Elevation



Consented Block 3A West Elevation



Proposed Block 3A West Elevation



Consented Block 3B West Elevation



Consented Block 3B West Elevation



Consented Block 3C South Elevation



Proposed Block 3C South Elevation



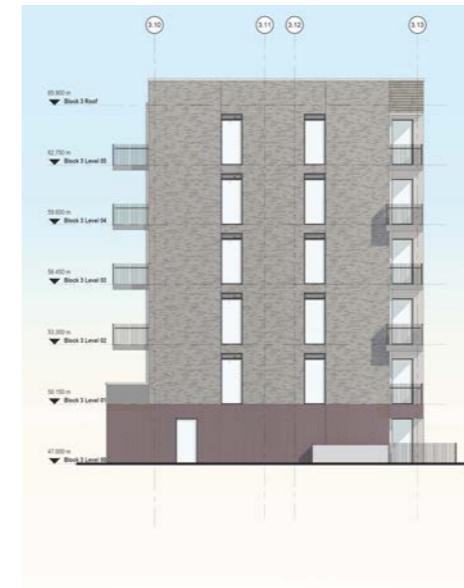
Consented Block 3B East Elevation



Proposed Block 3B East Elevation



Consented Block 3B North Elevation



Proposed Block 3B North Elevation

6. Conclusion

It is St Modwen's Homes' intention to deliver a high-quality scheme that reflects the original design intent. Any changes proposed are to comply with fire safety standards, space standards and Building Regulations and all of the changes proposed will continue to ensure design quality is maintained.

Layout changes include:

GENERAL:

- Flat layouts optimised.
- Core design optimised; lifts resized to include 13-person lift, ventilation to basement included, smoke shafts introduced, means of escape incorporated as per fire engineer's recommendations, post boxes located to suit.
- Doors added to lift lobby to suit fire strategy.
- Disabled refuge located as per fire engineer's recommendations.
- Secondary access to balconies omitted to all flats and replaced with windows
- Notches in party wall at flat entrances omitted.
- Access to plant rooms amended to suit plant requirements.
- Maintenance access to roof amended to single door for greater security.
- Changes due to graphical errors on consented plans

BLOCK 1:

- Deck access amended to single door for easier manouevring of fire door.
- Cleaner's store relocated to add switch room (Block 1B).
- Access shown through podium to first floor flats (Block 1C).

BLOCK 2:

- Level access added to core entrance from Churchill Road side as required by fire strategy, windows and entrance door amended to suit.
- Refuse store enlarged and number of bins increased to provide adequate storage
- Bike store door amended to single for greater security and ease of operation.

BLOCK 3:

- Pedestrian access added
- Bin store added to Block 3C, area correspondingly replanned to suit.
- Block 3A cycle store accessed internally only.
- Plant spaces optimised.
- Part M4(3) compliant ramp proposed to access Block 3C.

Changes to facade for technical reasons and regulatory compliance include:

- Facade banding to be fabricated out of metal rather than precast concrete
- Openable windows shown
- Amendment to window/ external door size/ layout/ positions to suit detailed design
- Balcony fascias deeper to incorporate structure
- Coping introduced
- Stair overrun omitted; Lift overrun shown/
- Louvres added to energy centre and retail unit facade for ventilation
- RWPs added/Location amended
- Glazed spandrel panel added to ceiling services zones in lieu of glazing.
- Door to podium - Block 1B and 2B amended to single to match all other podium access doors.
- Block 1C and 3C - balustrade amended to imperforate metal to comply with new BS.
- Parapets levelled off at 1100mm above roof level to comply with Building Regulation 7 and warranty provider requirements for maximum height of parapets capped at 1100mm.
- Secondary access to balconies omitted to all flats and replaced with windows.



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