

THE MARKET DESIGN & BUILD



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Rev 1 – February 2025

Planning/Design and Access Statement

Demolition of existing garage and addition of a side extension, loft conversion with hip to gable roof

at

16 Hillside Road, Northwood HA6 1QA

An aerial photograph of a residential street, Hillside Rd, which is highlighted with a thick green line. The street runs diagonally from the bottom left towards the top right. On the left side of the street, house numbers 10, 14, 18, and 20 are visible. On the right side, house numbers 19, 21, 23, 25, 29, and 31 are visible. A red location pin is placed on the roof of house 14. Various cars are parked along the street, and there are trees and lawns between the houses.

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1. Project Description

Demolition of existing garage and addition of a side extension, loft conversion with hip to gable roof

2. Existing Site and Building

The application site (No. 16) is situated on Hillside Road, Northwood, near Northwood Way and comprises a detached bungalow.

The site benefits from an area of hard paving to the front of the dwelling for off street parking and a large rear garden, backing to the boundary of plot no. 13 Hillside rise

The surrounding area is predominantly residential in character. No. 14 Hillside Road is located to the west of the application site, and No. 18 Hillside Road is located to the east of the application site.



Fig. 1 Front elevation of 16 Hillside Road



Fig. 2 Rear elevation of 16 Hillside Road

3. Transport

The property is located at 16 Hillside Road. This is about 0.7 mile from Northwood Underground Station. The site also is accessible by bus route H11 and 282 and the nearest bus stop is less than 1 minute walk away from the property.

4. Project Brief and Proposed Design

The existing house comprises of the following:

Ground Floor

– Hallway, 2 bedrooms, Kitchen, dining, living area, bathroom and a garage

First Floor/Loft

–Bedroom, Bathroom and eaves storage

Project Brief

The owner of the house felt the current layout does not make the best use of the internal space they have.

They would like to open the rear ground floor of the property to provide a new kitchen, dining, and living area, also a new WC near the existing bathroom. Also, they would like to demolish the existing garage and add a new side extension with an office/study room, a ventilated passage for the staircase to the first floor, a storage area, utility and a garden room accessible from the rear garden.

The proposed first floor loft conversion would provide 2 bedrooms, a family bathroom and a new access to the eave's storage.

Proposed Design

The proposed changes comprise of the following:

1. The reconfiguration of internal layout of the Ground floor, to form a open plan with kitchen, dining, and living area at the back of the house, and to create a new WC adjoining the existing bathroom.
2. Existing garage is demolished, and a new side extension is added with an office/study room. Connecting passage to the first floor, a storage area, utility and a garden room.
3. The first-floor loft conversion proposed with 2 bedrooms, a family bathroom and an eaves storage. Proposed hip to gable roof.

The materiality of the proposed extensions will match that of the existing house i.e., white rendered walls, uPVC windows, clay roof tiles. This will ensure an aesthetic constancy is maintained between the neighbouring properties on Hillside Road.

Hence, we believe that the proposed alterations and extension will preserve and enhance the heritage asset of the original house, whilst improving the quality of space inside the property at the same time.

5. Planning history of the property and precedents in the area

Properties on the same road have received planning approval to carry out alterations and/or extensions of similar sizes/style; here are some examples:

Reference	Location	Proposal	Received	Status
13592/APP/2024/1490	18 HILLSIDE ROAD NORTHWOOD	Conversion of roof space to habitable use to include 2 side dormers and conversion of roof from hip to gable end with two new gable end windows (Application for a Certificate of Lawful Development for a Proposed Development)	04-06-24	Undecided
20315/APP/2024/1119	52 HILLSIDE ROAD NORTHWOOD	Erection of a single storey side and rear extension following demolition of existing car port with amendments to fenestrations.	29-04-24	Approval
76140/APP/2023/3169	42 HILLSIDE ROAD NORTHWOOD	Retrospective application for continuing use of childminding business from main house and existing outbuilding.	02-11-23	Undecided
19664/APP/2023/3123	39 HILLSIDE ROAD NORTHWOOD	Conversion of roof space to habitable use to include hip to gable extensions to both sides, new gable end windows, rear dormer, three front rooflights, three rear facing rooflights and removal of chimney (Application for a Certificate of Lawful Development for a Proposed Development)	30-10-23	Approval
75901/APP/2023/3117	62 HILLSIDE ROAD NORTHWOOD MIDDLESEX HA6 10B	Details pursuant to the discharge of Condition 3 (Materials and External Surfaces) of planning permission ref. 75901/APP/2023/595, dated 01-03-2023 (Erection of single storey extensions to the front, side and rear. Extension and conversion of existing loft to form habitable accommodation including 12 roof lights and a rear hip to gable end with 1 no. front dormer. Alterations to external surface materials including white rendered elevations and grey replacement roof tiles (Reconsultation due to amended proposal description to include changes to external materials)	30-10-23	Approval
10522/APP/2023/2053	3 HILLSIDE ROAD NORTHWOOD	Erection of single storey rear extension. Erection of front extension with new front porch and amendments to fenestration.	11-07-23	Approval
8560/APP/2023/2006	77 HILLSIDE ROAD NORTHWOOD	Conversion of garage to habitable use including change of garage door to window	07-07-23	Approval
50578/APP/2023/1741	38 HILLSIDE ROAD NORTHWOOD	Erection of a single storey rear extension and a front infill extension with amendments to fenestration and steps (revised plans and description 25/09/23)	16-06-23	Approval
75901/APP/2023/595	62 HILLSIDE ROAD NORTHWOOD MIDDLESEX HA6 10B	Erection of single storey extensions to the front, side and rear. Extension and conversion of existing loft to form habitable accommodation including 12 roof lights and a rear hip to gable end with 1 no. front dormer. Alterations to external surface materials including white rendered elevations and grey replacement roof tiles (Reconsultation due to amended proposal description to include changes to external materials)	01-03-23	Approval

Also, the immediate neighbour that is the 14 Hillside Road, Northwood have done a similar development for the loft conversion with a hip to gable roof.

Ref. : 8675/APP/2021/1091 - 14 Hillside Road, Northwood(attached drawings below show the roof plan)

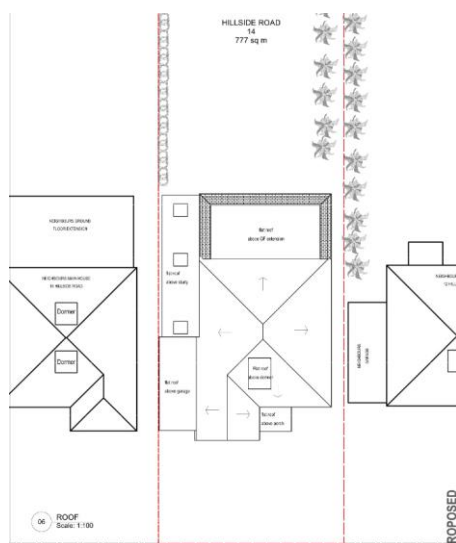


Image showing the
existing roof plan for 14
Hillside road

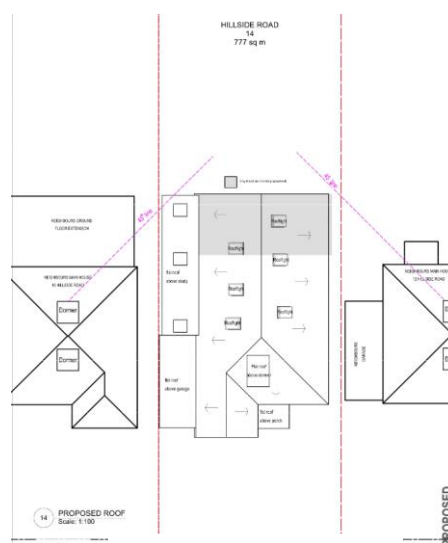


Image showing the
proposed roof plan for 14
Hillside road



Images showing the proposed build development for 14 Hillside road

Our proposal is not dissimilar to the above proposals in terms of size, proportion, and scale.

6. Impact on the scale/ character of the existing property and the surrounding area

Since 16 Hillside Road is a detached bungalow, the proposed single storey side extension and loft conversion will not cast any shadows nor block any daylight to the habitable rooms of neighbouring properties at No. 14 & No. 18.

The proposed loft conversion is within the existing footprint of the house, they will have minimal impact on the habitable rooms on the first floor/ground floor of the adjacent properties at No. 14 & 18, i.e. not overshadowing nor blocking daylight into neighbours' habitable rooms.

The overall design will not form an overbearing impact on the street scene.

7. Landscaping

There are NO Tree Protection Orders to be observed. According to records, there are no trees with Tree Protection Order in neighbouring properties.

8. Access

No changes to existing – access to the property remains the same.

9. Parking

There is currently a double driveway in the front court which has 2 parking spaces and a garage with 1 parking space.

There is on street parking available on the road.

Emergency vehicles can access the property with no obstructions.

The proposed alterations will not create extra demand for additional parking on site.

10. Materiality

The existing property is made of white rendered walls and clay roof tiles with uPVC windows throughout the property.

The proposal seeks to match the existing materials to remain respectful of the existing character and feel of the property. The use of matching white rendered walls, clay roof tiles and hanging tiles on the extensions will create more visual continuity between the existing and the proposed.

11. Sustainability and environmental impact

All new construction will be executed to current standards for sustainability, and best practice will be followed in the procurement of all materials. All timber will be FSC certified, all surface materials will have low VOCs. The external walls, windows, new roof, and floors of the proposed extension will be designed to provide an effective thermal envelope as well as limiting noise ingress.

12. Bin and Refuse Storage

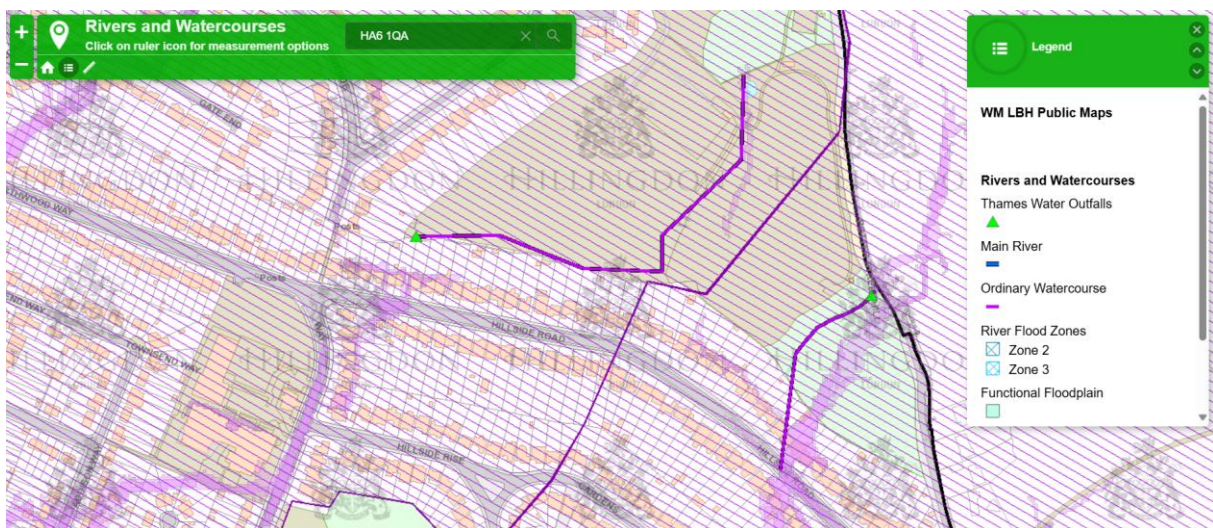
The proposal will not impact the existing bin and refuse storage and will remain the same.

13. Planning Constraints

The site is **NOT** classified as a ‘**Listed Building**’.

The application site is not designated within a Conservation Area; however, it does lie within the Hillside, **Northwood Hills Area of Special Local Character**.

The site is **NOT** within a high flood risk area (**Flood Zone 1**). **However**, the site lies within a Critical Drainage Area.



14. Relevant Planning Policy

The following Local Plan Policies are considered relevant to the application:

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMHD 1 Alterations and Extensions to Residential Dwellings

DMHB 5 Areas of Special Local Character

DMHB 11 Design of New Development

DMHB 12 Streets and Public Realm

DMHB 14 Trees and Landscaping

DMHB 18 Private Outdoor Amenity Space

DMT 2 Highways Impacts

DMT 6 Vehicle Parking

LPP D6 (2021) Housing quality and standards

NPPF4 -23 NPPF4 23 - Decision making

NPPF12 -23 NPPF12 23 - Achieving well-designed and beautiful places

15. Conclusion

The proposed design will provide extra bedrooms/amenity spaces for the owner and their family.

We have designed the proposal to be in keeping to the architectural style of the other properties on the same road, as well as preserving the original character of the property.

We consider that this proposal complies with the local and national guidance for such types of developments. We believe that the proposal contributes positively to the local area in terms of architectural character, while adhering to local planning regulations and enhancing the overall neighbourhood.

We trust that the local authority will consider this in their assessment of the application.

Prepared by the Market Design and Build Planning Team
February 2025