

PLANNING STATEMENT

Including Design and Access Statement

**Erection of detached building for use by
Acorn Youth Club**

Acorn Youth Club
Colombia Avenue
Ruislip
Middlesex
HA4 9SU

April 2025

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1.0 INTRODUCTION

- 1.01 This application seeks planning permission for the erection of a detached outbuilding to be used by Acorn Youth Club, a charity providing activities and respite to young people with learning disabilities and their families.



Plan Produced for: ACORN YOUTH CLUB
Date Produced: 07 Apr 2025
Plan Reference Number: TQRQM25087100130442
Scale: 1:1250 @ A4

- 1.02 The proposed building would be positioned to the south of the existing building, which was constructed in 2008.

- 1.03 The proposed building would have the following dimensions;

- ◇ Depth – 11.5 metres
- ◇ Width – 10.7 metres
- ◇ Height – 3.45 metres (maximum), 2.95 metres (minimum)

- 1.04 The site is located in the north western corner of Columbia Avenue Field, to the north of Columbia Avenue and the east of Linden Avenue. The site is within Flood Zone 1.

2.0 DOCUMENTS AND PLANS

2.01 The following plans and documents are submitted in support of the planning application;

- ◇ Location Plan
- ◇ Proposed Block Plan
- ◇ Proposed drawings – elevations and floor plans
- ◇ Application forms
- ◇ CIL Form 1
- ◇ This Planning Statement including Design and Access Statement & Fire Strategy

3.0 THE SITE AND ITS SURROUNDINGS

- 3.01 The application site is positioned in the north western corner of Columbia Avenue Field and consists of a shallow pitched, steel framed building with open amenity space to the north and south. Access is via Columbia Avenue and there is a parking area immediately adjacent to the road which is reserved exclusively for the Acorn Youth Club. There is a railway line to the north of the site.



- 3.02 Planning permission was granted in 2006 for the construction of a building following the demolition of three existing buildings on the site. The work was commenced through the demolition and the pouring of the foundations but the charity did not have sufficient funding to build the large building they had

permission for. A smaller building was consequently erected and this has been in situ in excess of 10 years.



Image of the application site with the parking on the left and the building on the right

- 3.03 The existing single storey building on the site is low set and has a shallow pitched roof. The site is visible in the public realm and the boundaries are marked by palisade fencing. As a result, the existing building on the site is also visible from public vantage points but its scale ensures it is not a prominent feature within the surrounding area. The building is not so prominent from Linden Avenue due to the screening along the western boundary of the site.
- 3.04 There are TPO trees to the north and south of the site which, along with Columbia Avenue Field give the area a verdant character in amongst the surrounding development.



Aerial image of the site (Google)

3.05 The site located within a Flood Zone 1.

4.0 PLANNING HISTORY

4.01 The Council's records show the following planning applications;

- ◇ 58215/APP/2012/1027 - Installation of railings, gate and CCTV - Approved 2012
- ◇ 58215/APP/2006/1997 - Erection of a single-storey building with treated timber exterior to replace existing acorn hall, acorn pavilion and storage shed. the works involve the removal of the existing buildings and the re-incorporation of the cleared site as part of the open space – Approved 2006

4.02 The 2006 permission was part implemented and those works had ceased by 2008. This is current building on the site.

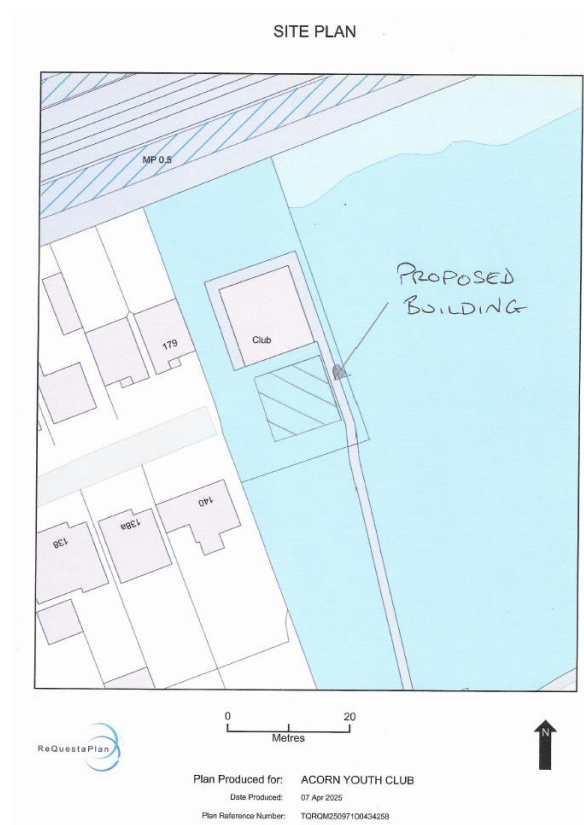
5.0 THE PLANNING APPLICATION

Use

- 5.01 The proposal involves the erection of a detached building for use by the Acorn Youth Club. The use of the site would remain unchanged.

Amount and Layout

- 5.02 The proposed building would be positioned over the remaining foundations of the previously approved 2006 building, which are to the south of the existing building on the site.

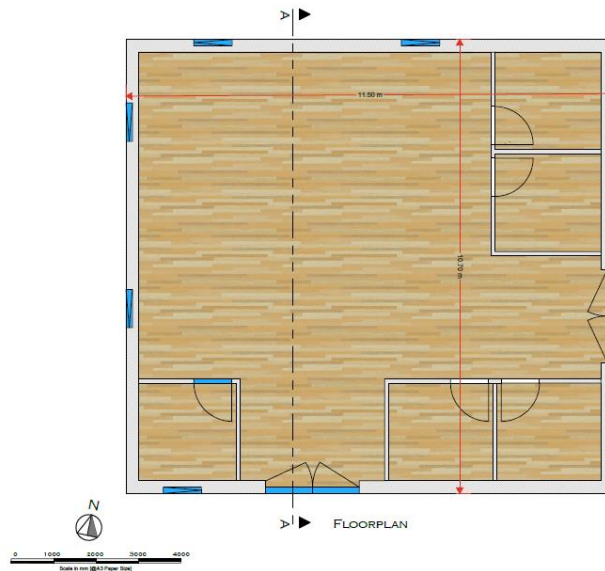


Block Plan

- 5.03 The dimensions of the building would be:

- ◇ Depth – 11.5 metres
- ◇ Width – 10.7 metres
- ◇ Height – 3.45 metres (maximum), 2.95 metres (minimum)

- 5.04 The building would consist of an open plan space with three corners partitioned off for smaller rooms.



Scale and appearance

- 5.05 The proposed structure would have a mono pitched roof and a contemporary appearance with fire rated composite cladding on the elevations. The windows would be powder coated aluminium.



- 5.06 There would be windows and/or doors on all elevations with the main entrance located on the southern elevation.

Landscaping and Trees

- 5.05 Whilst there are significant protected trees to the south of the position of the proposed building, the building is to be located over the existing foundations which have been in situ since between 2006 and 2008. This ensures that no further ground work will be undertaken and there will be no impact on the protected trees.
- 5.06 No further landscaping would be required.

6.00 THE DEVELOPMENT PLAN

NPPF and the Planning Guidance Suite

6.01 The National Planning Policy Framework was published in 2025. The following sections are relevant to the current proposal;

- ◇ Section 2 – Achieving sustainable development
- ◇ Section 4 – Decision making
- ◇ Section 12 - Achieving well-designed and beautiful places
- ◇ Section 16 – Conserving and enhancing the historic environment

London Plan (2021)

6.02 The main policies applying to the site are:

- ◇ D1 London's form, character and capacity for growth
- ◇ D3 Optimising site capacity through the design led approach
- ◇ D4 Delivering good design
- ◇ G1 Green infrastructure
- ◇ G5 Urban greening
- ◇ G6 Biodiversity and access to nature
- ◇ S 5 Water infrastructure
- ◇ SI1 Improving air quality
- ◇ SI2 Minimising greenhouse gas emission
- ◇ SI13 Sustainable drainage

Hillingdon Local Plan Part 1 (2012) and Part 2 (2020)

6.02 The main policies applying to the site are:

- ◇ DMCI 1 – Retention of Existing Community Facilities
- ◇ DMCI 2 – New Community Infrastructure
- ◇ DMHB 11 – Design of new development
- ◇ DMHB 14 – Trees and landscaping
- ◇ DMHB 15 – Planning for safer places

7.0 THE PLANNING APPLICATION

7.01 The following issues are considered pertinent to the consideration of this planning application:-

- ◇ Principle of development
- ◇ Impact on the character of the area
- ◇ Effect on the amenity of nearby residents
- ◇ Biodiversity and Sustainability
- ◇ Trees
- ◇ Parking

Principle of development

7.02 The site is located within a settlement where the principle of the development is acceptable. This is subject to all other relevant planning considerations and policies which are set out below.

New Community Infrastructure

7.03 Local Plan (Part 2) policy DMCI2 advises that 'Proposals for the refurbishment and re-use of existing premises for community facilities will be supported.'

7.04 This policy further states that;

'B) Proposals for the provision of new community facilities will be supported where they:

- i) are located within the community or catchment that they are intended to serve;*
- ii) provide buildings that are inclusive, accessible, flexible and which provide design and space standards that meet the needs of intended occupants;*

iii) are sited to maximise shared use of the facility, particularly for recreational and community uses; and

iv) make provision for community access to the facilities provided.'

7.05 The proposal is for use by the Acorn Youth Club, an established community facility for disabled young people in Ruislip. The building has been designed with its users in mind and will expand the existing operation on the site. This new building will provide a flexible space to allow the Youth Club to continue its provision for its existing members and welcome new members.

7.06 The principle of extending the existing community facility is therefore acceptable.

Impact on the character of the area

7.07 Policy DMBH 11: Design of New Development requires all development to be designed to the highest standards and incorporate good design. This is in accordance with the aims of the NPPF.

7.08 The proposed building would be of a comparable scale to the existing building on the site and would be positioned on the foundations of what would have been a much larger building, had the charity been able to fund its construction. The overall impact will be two smaller buildings, rather than the larger one that could be constructed by virtue of the extant 2006 permission.

7.09 By virtue of its scale, the building will be subservient to the nearby properties in Linen Avenue and the separation distances will ensure that the feeling of space around these residential properties will be retained and a feeling of overdevelopment will be avoided. The scale is such that the proposed building will sit comfortably within the surrounding built development and will not constitute a dominant or prominent feature when seen from public vantage points within Columbia Avenue Field and the surrounding areas. The protected

trees will remain and will further soften any views of the proposal. Notwithstanding this, the high quality design and finishing materials will be a beneficial addition to the built environment.

- 7.10 Given the modest size of the proposed building, a sufficient amount of outdoor amenity space would be retained by the Youth Club, which is important for providing enrichment for the members. The separation distance between the proposal and the main building would be sufficient to prevent plot appearing cramped.
- 7.11 We therefore consider that the proposal would have an acceptable impact on the character of the area and would preserve the character and appearance of the area in accordance with the relevant national and local policies.

Effect on the amenity of nearby residents

- 7.12 Policy DMBH 11: Design of New Development also requires development to avoid adversely impacting the amenity, daylight and sunlight of adjacent properties and open space.
- 7.13 The nearest residential properties are located within Linden Close to the west of the application site. The low-set mono pitched roof design of the building and its position within the site, away from the western boundary, would ensure that the structure would not materially impact the amenities of these adjoining occupiers.
- 7.14 The use of the building will be an extension of the existing established community use of the site and there would be no material increase in the levels of disturbance or noise. In terms of neighbour amenity, the proposal is therefore considered acceptable and in accordance with both local and national policy.

- 7.15 With regard to the open space, this proposal will be contained within the land associated with the existing Youth Club and will not expand into Columbia Avenue Field. Therefore, there will be no adverse impact on the open space.

Trees

- 7.16 There are protected trees to the north and south of the application site. Those to the north are separated from the proposal by the existing building and will not be affected by the proposal.
- 7.17 Those to the south are within close proximity to the proposal. However, the use of the existing foundations on the site will avoid the need for ground works and there will be no impact on these trees or their root protection areas. No tree works are proposed or required.
- 7.18 No further landscaping would be required apart from making good the ground around the proposal.

Parking

- 7.19 The site has parking for 8 vehicles and there is on-street parking in Columbia Avenue which is not restricted after midday or during weekends. However, as the charity is for local families, it is not envisaged that the proposed expansion will lead to a significant increase in parking demand as the site is easily walkable from the surrounding area and Eastcote tube station is a 9 minute walk away.

8.0 SUMMARY

- ◇ The proposal is to expand the Acorn Youth Club, a facility for disabled young people in Ruislip.
- ◇ The proposed new building will be flexible, designed with users in mind, and allow for the continuation of services to current and new members.
- ◇ The building will be modest in scale and positioned to avoid overcrowding or dominating nearby properties.
- ◇ The design will enhance the local environment without being prominent in public views.
- ◇ The proposal will not adversely affect nearby residential properties or amenities, including daylight, sunlight, and noise levels.
- ◇ Protected trees will not be affected as the proposal uses existing foundations and requires no tree works.
- ◇ The proposed building therefore accords with Government advice in the National Planning Policy Framework and the policies of the Development Plan.

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