

New kitchen to have mechanical ventilation to open air, min 60l/s or 30l/s if incorporated within a cooker hood.

New roof lantern to be A-A fire rated and installed to manufacturers requirements. Double up and bolt together roof joists each side of roof lantern with M12 bolts @ 500 centers.

Due to open plan kitchen at ground floor, all doors off staircase enclosure at 1st floor to be half hour fire resistant onto 25 x 35 glued and screwed stops. All walls enclosing staircase to be half hour fire resistant and all doors to have 3No fire hinges. Ensure all first floor bedrooms have escape type window, min 0.33m² i.e. 750mm x 450mm with bottom sill min 800mm, max 1100mm above FFL. Alternatively can reinstate door to kitchen.

Provide mains operated inter-connected smoke alarms to circulating areas at ground and 1st floor ceiling levels, all with battery back up.

Rainwater from new roof to be taken to soakaway, min 1.0m cubed for every 16.5m² of roof to be drained and 5m away from any building.

NOTES:
All dimensions must be checked on site and not scaled from this drawing.

- All dimensions are in millimetres.
- Vertical dimension to be 1/20 of floor area (min).
- Lintels to have minimum end bearings of 150mm.
- Walls: 103mm face brickwork/100mm concrete blockwork externally and pebbledashed/rendered to finish. 100mm cavity filled with drytherm 34 insulation. Minimum 100mm celcon solar blockwork to be used and plastered to finish. External render to be applied in 2 coats with a suitable waterproof additive.
- Cavity walls to have stainless steel ties @ 450mm centres as staggered 900mm horizontally.
- Doors to be provided with sides and over heads of new external windows and doors, also where the cavity is closed. Provide insulated cavity closers at reveals.
- If proposed extension covers air brick then air brick to be removed and 100mm diameter PVC pipe to provide from existing to new air brick in external wall.
- New habitable rooms to have background ventilation of at least 8000m³ i.e. Trickle vent or air brick.
- New steel beams to be encased in 2, 12mm sheets of plasterboard and skim to achieve necessary fire protection.
- New stud partitions to be constructed of 100mm x 50mm timber with 10mm horizontal moggings. Infill with rockwool mineral wool quilt, 2 x 12mm sheets of plasterboard and skim. Partitions to be constructed off doubled up floor joists bolted together with M12 bolts @ 500mm centres. (If applicable)
- New structural timber to be SC3 grade and tannalised.
- New windows and doors to be double glazed and achieve a U-Value of 1.6W/m² i.e. 16mm spaced with side lights to be toughened. Glazing to doors and side lights to be toughened.
- Drainage: 100mm diameter PVC piping (flexible) totally encased in 100mm peasingle (10mm). Provide pre-cast concrete lintels where drains pass through walls. New manholes to be constructed of 350mm thick class B semi engineering brickwork on 150mm thick concrete slab and medium duty covers.
- Waste pipe sizes: Sink - 38mm diameter, Bath - 38mm diameter, Shower - 38mm diameter. Wash hand - 28mm diameter. All with 75mm deep seal traps. Lighting to be BS 5571, 1978. 15.75% of light fittings to be capable of taking a lamp having a luminous efficiency greater than 40 lumens/circuit watt.
- All electrical work to be designed and installed, inspected and tested in accordance with the requirements of BS 7671, the IEE 17th edition wiring guidance and Building Regulation Part P (Electrical Safety) by a competent person with a self certifying scheme authorised by the Society of Safety (BRE BSI ELECSA, NAPIT or NICEIC).
- If the proposed works involves the installation of a new boiler, then it is to be a condensing type with a SEDBUK rating not less than 90%. Boiler to be installed by an approved contractor and certified radiators to have thermostatic valves.

A	Date	Revisions
Copyright		

Pottle & Co Ltd.
Building Design & Management Services

Suite A
128 Manor Way
Ruislip
Middlesex
HA4 8HR

Tel: 01895 622800
www.pottle.uk.com

Client
Mr Shah & Mrs Mishra

Job Title
101 Shenley Avenue
Ruislip Manor
Middlesex

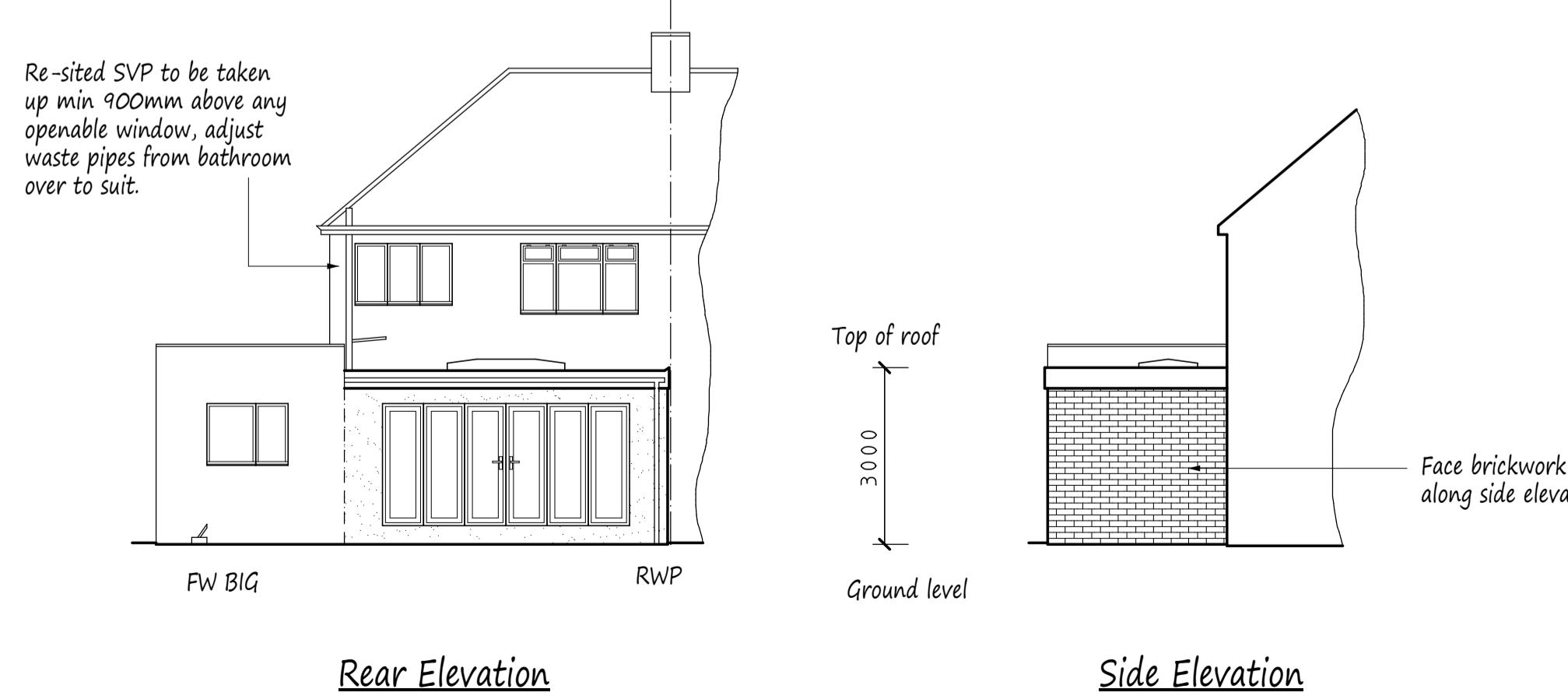
Drawing Title
Proposed Single Storey Rear Extension.

Scale
1:50. 100. 200

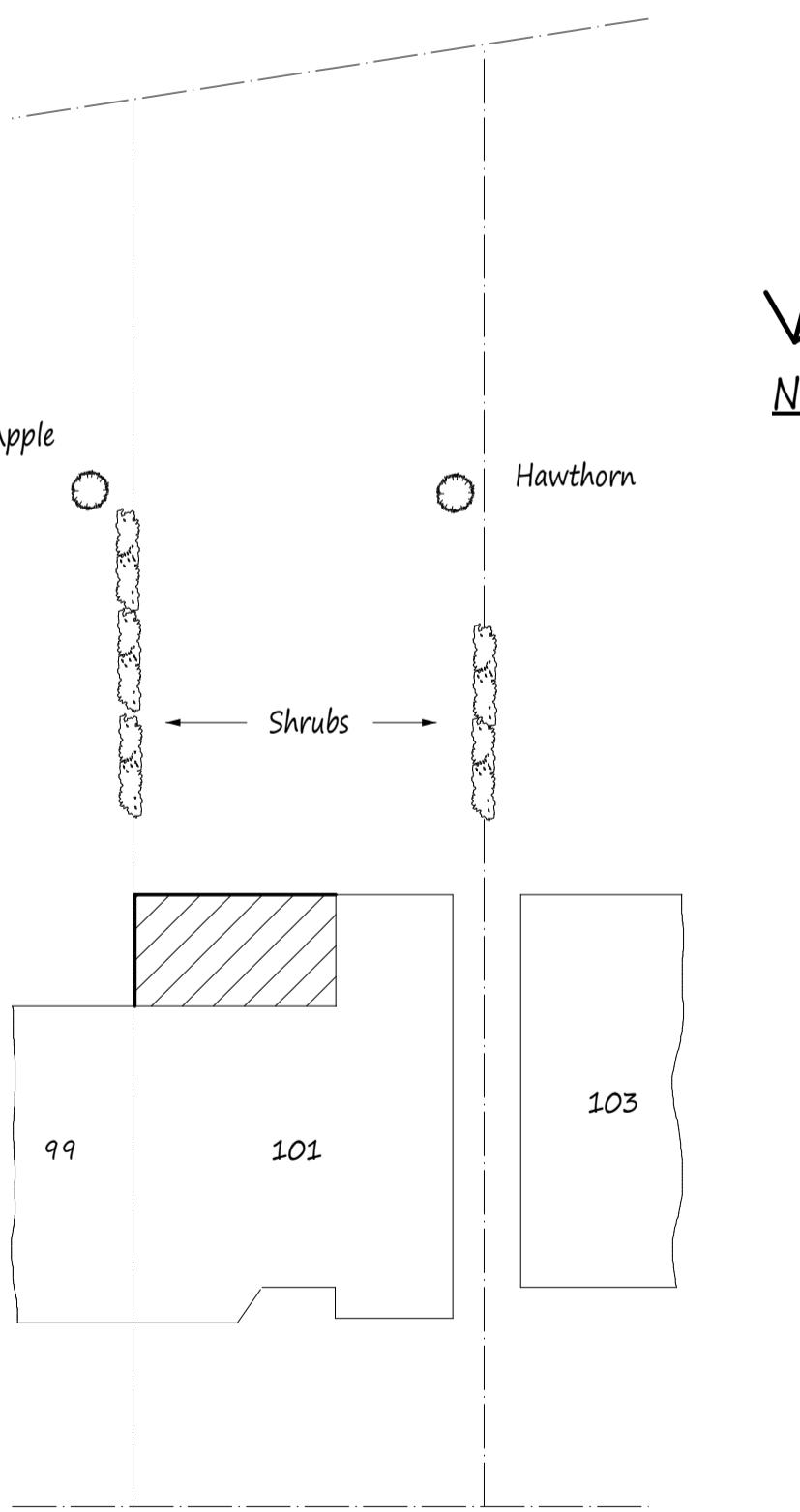
Date
June 2020

Drawn by
MPP

Drg No.
4399/01



Thames Water Requirements (if required)
1. No internal manholes
2. Foundations to extend below invert level of any drain.
3. Pre-cast concrete lintels to be provided where drains pass through walls.
4. Min 600mm from side of trench to side wall of sewer.



Site Plan scale 1:200