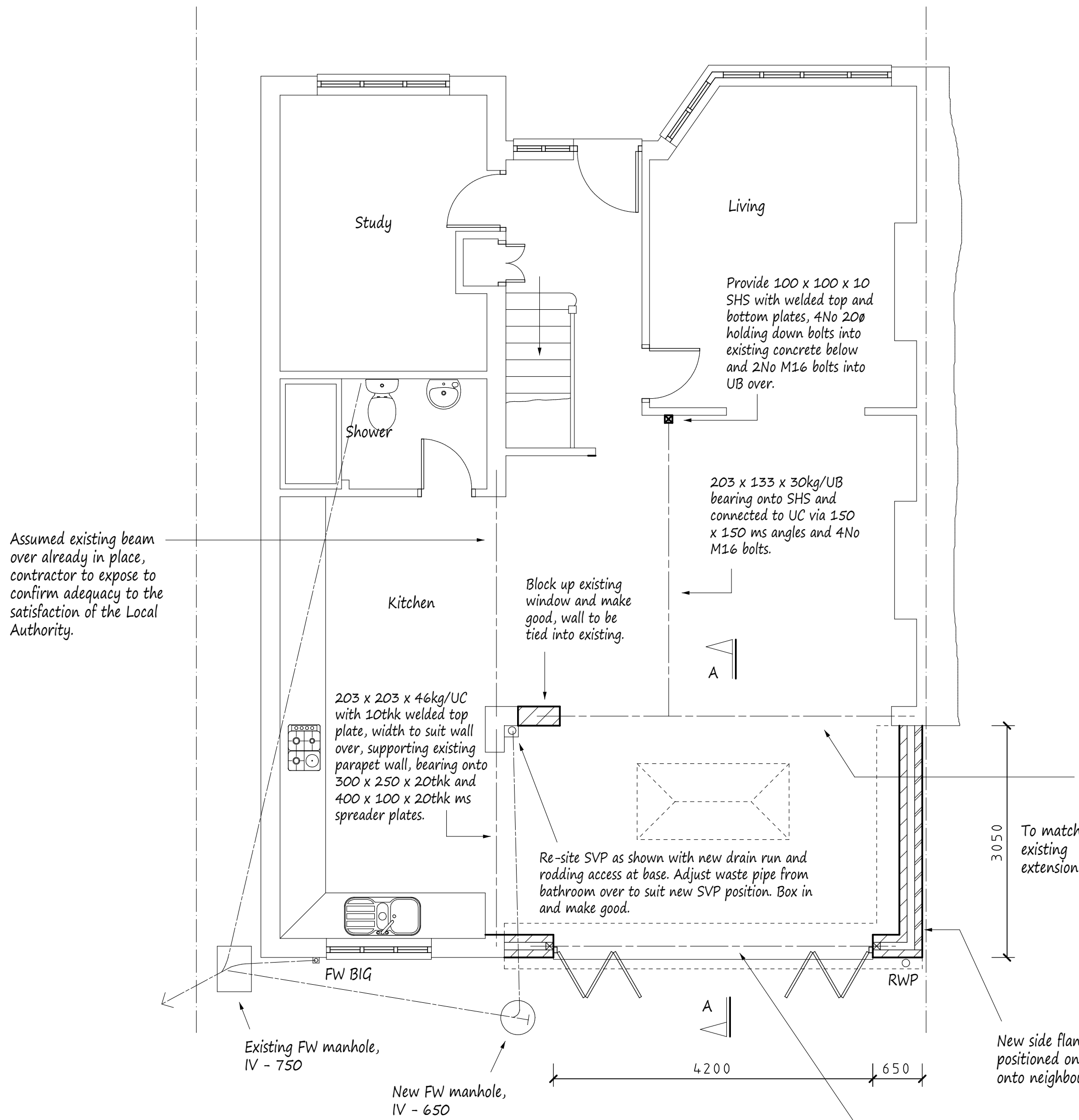


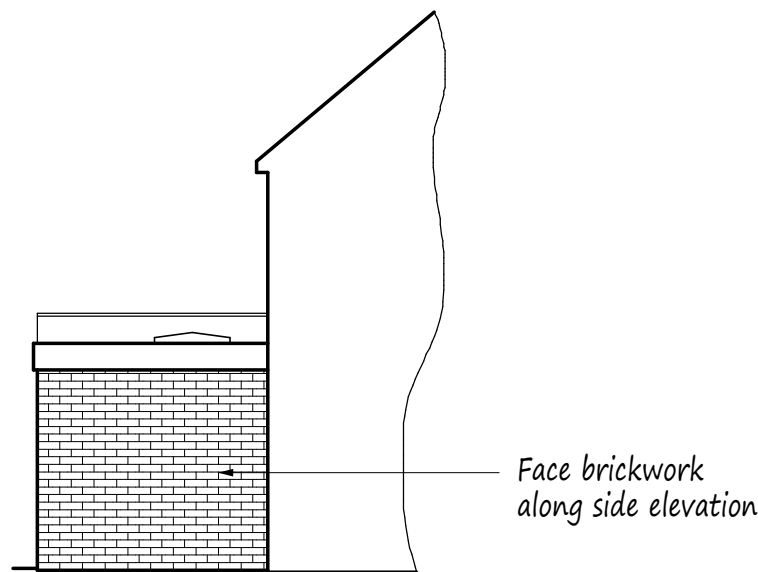
Existing Ground Floor Plan



Proposed Ground Floor Plan

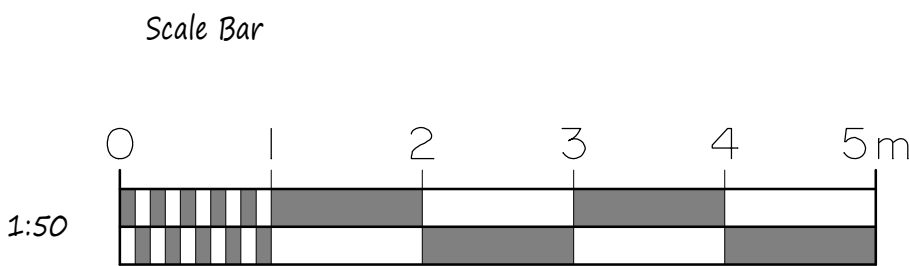


Rear Elevation



Side Elevation

- Thames Water Requirements (If required)
1. No internal manholes
 2. Foundations to extend below invert level of any drain.
 3. Pre-cast concrete lintels to be provided where drains pass through walls.
 4. Min 600mm from side of trench to side wall of sewer.



New kitchen to have mechanical ventilation to open air, min 60l/s or 30l/s if incorporated within a cooker hood.

New roof lantern to be A-A fire rated and installed to manufacturers requirements. Double up and bolt together roof joists each side of roof lantern with M12 bolts @ 500 centers.

Due to open plan kitchen at ground floor, all doors off staircase enclosure at 1st floor to be half hour fire resistant onto 25 x 35 glued and screwed stops. All walls enclosing staircase to be half hour fire resistant and all doors to have 3No fire hinges. Ensure all first floor bedrooms have escape type window, min 0.33m² i.e. 750mm x 450mm with bottom cill min 800mm, max 1100mm above FFL. Alternatively can reinstate door to kitchen.

Provide mains operated inter-connected smoke alarms to circulating areas at ground and 1st floor ceiling levels, all with battery back up.

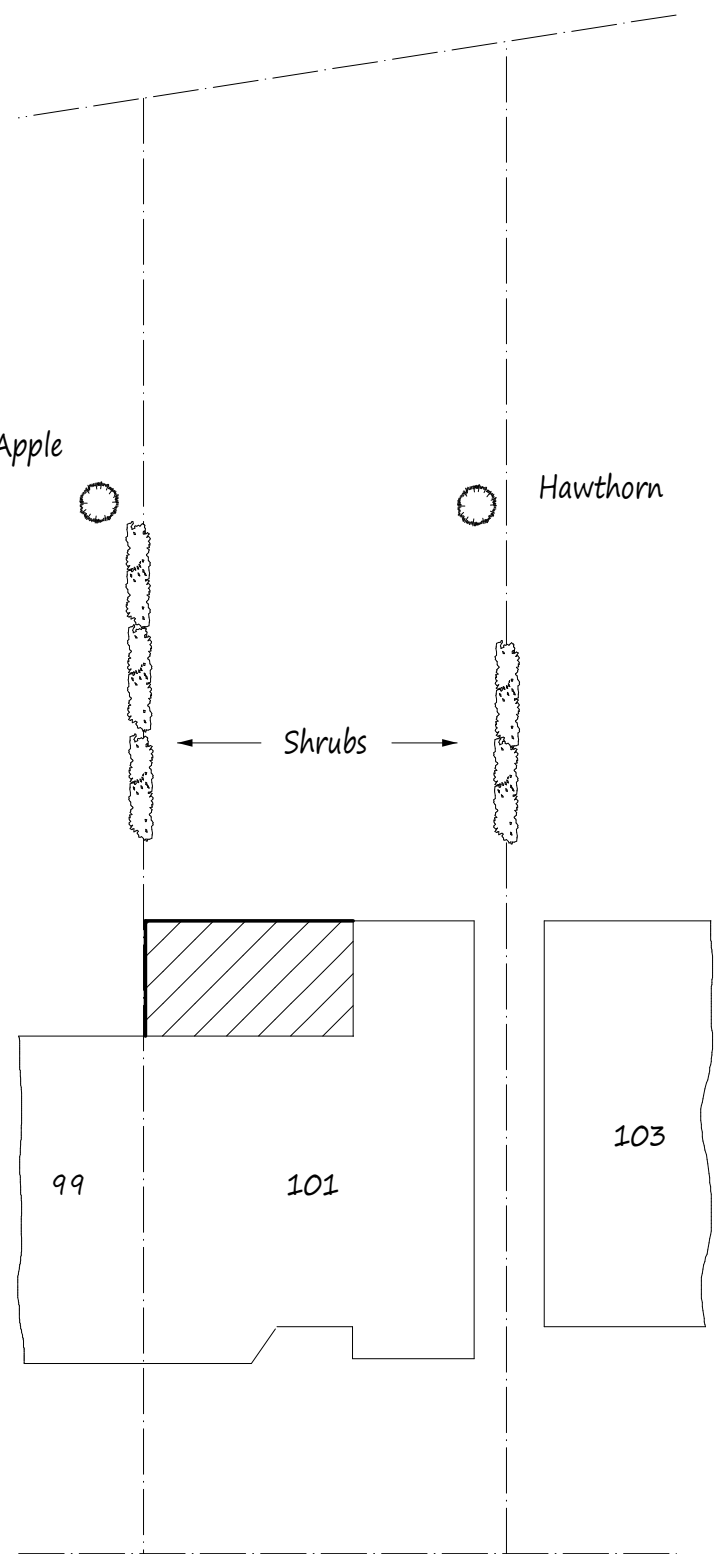
Rainwater from new roof to be taken to soakaway, min 1.0m cubed for every 16.5m² of roof to be drained and 5m away from any building.

203 x 203 x 52kg/UC bearing onto 350 x 215 x 300dp concrete pads.

Proposed roof lantern in flat roof shown dotted.

New side flank wall to be eccentrically positioned on foundation as to not encroach onto neighbours property.

203 x 203 x 46kg/UC with 10thk welded bottom plate, 300wd, bearing onto 300 x 300 x 20thk ms spreader plates over bi-fold doors.



Site Plan scale 1:200

NOTES:
All dimensions must be checked on site and not scaled from this drawing.

1. All dimensions are in millimetres.
2. Ventilation to be 1/20 of floor area (min).
3. Lintels to have minimum end bearings of 150mm.
4. Walls: 103mm face brickwork/100mm concrete blockwork externally and pebbledashed/rendered to finish. 100mm cavity filled with drytherm 34 insulation. Minimum 100mm celcon solar blockwork or similar approved, and plastered to finish. External render to be applied in 2 coats with a suitable waterproof additive.
5. Cavity walls to have stainless steel ties @ 450mm centres and staggered 900mm horizontally.
6. DPC's to be provided up sides and over heads of new external windows and doors, also where the cavity is closed. Provide insulated cavity closers at reveals.
7. If proposed extension covers air bricks then air brick to be removed and 100mm diameter PVC pipe provided from existing to new air brick in external wall.
8. New habitable rooms to have background ventilation of at least 8000mm³ i.e. Trickle vent or air brick.
9. New steel beams to be encased in 2, 12mm sheets of plasterboard and skim to achieve necessary fire protection.
10. New stud partitions to be constructed of 100mm x 50mm timbers @ 400mm centres with horizontal nogginns. Infill with rockwool mineral wool quilt, 2 x 12mm sheets of plasterboard and skim. Partitions to be constructed off doubled up floor joists bolted together with M12 bolts @ 500mm centres. (If applicable)
11. New structural timber to be SC3 grade and tantalised.
12. New windows and doors to be double glazed and achieve a U-Value of 1.6w/m²k i.e. 16mm spacer with low E glass to inner pane. Glazing to doors and side lights to be toughened.
13. Drainage: 100mm diameter PVC piping (flexible) totally encased in 100mm peashingle (10mm). Provide pre-cast concrete lintels where drains pass through walls. New manholes to be constructed in 215mm thick class B semi engineering brickwork on 150mm thick concrete slab and medium duty cover.
14. Waste pipe sizes: Sink - 38mm diameter. Bath - 38mm diameter. Shower - 38mm diameter. Wash hand basin - 32mm diameter. All with 75mm deep seal traps. All plumbing to be to BS 5572:1978.
15. 75% of light fittings to be capable of taking a lamp having a luminous efficiency greater than 40 lumens/circuit watt.
16. All electrical works to be designed and installed, inspected and tested in accordance with the requirements of BS 7671, the IEE 17th edition wiring guidance and Building Regulation Part P (Electrical Safety) by a competent person with a self certification scheme authorised by the Secretary of State (BRE, BSIE, ECSA, NAPIT or NICEIC)
17. If the proposed works involves the installation of a new boiler, then it is to be a condensing type with a SEDBUK rating not less than 90%. Boiler to be installed by an approved contractor and certificated radiators to have thermostatic valves.

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| A | Date | Revisions |

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Client
Mr Shah & Mrs Mishra

Job Title

101 Shenley Avenue
Ruislip Manor
Middlesex

Drawing Title

Proposed Single Storey Rear
Extension.

Scale
1:50, 100, 200

| | |
|-------------------|-----------------|
| Date June 2020 | Drawn by MDP |
|-------------------|-----------------|

Drg No.
4399/01