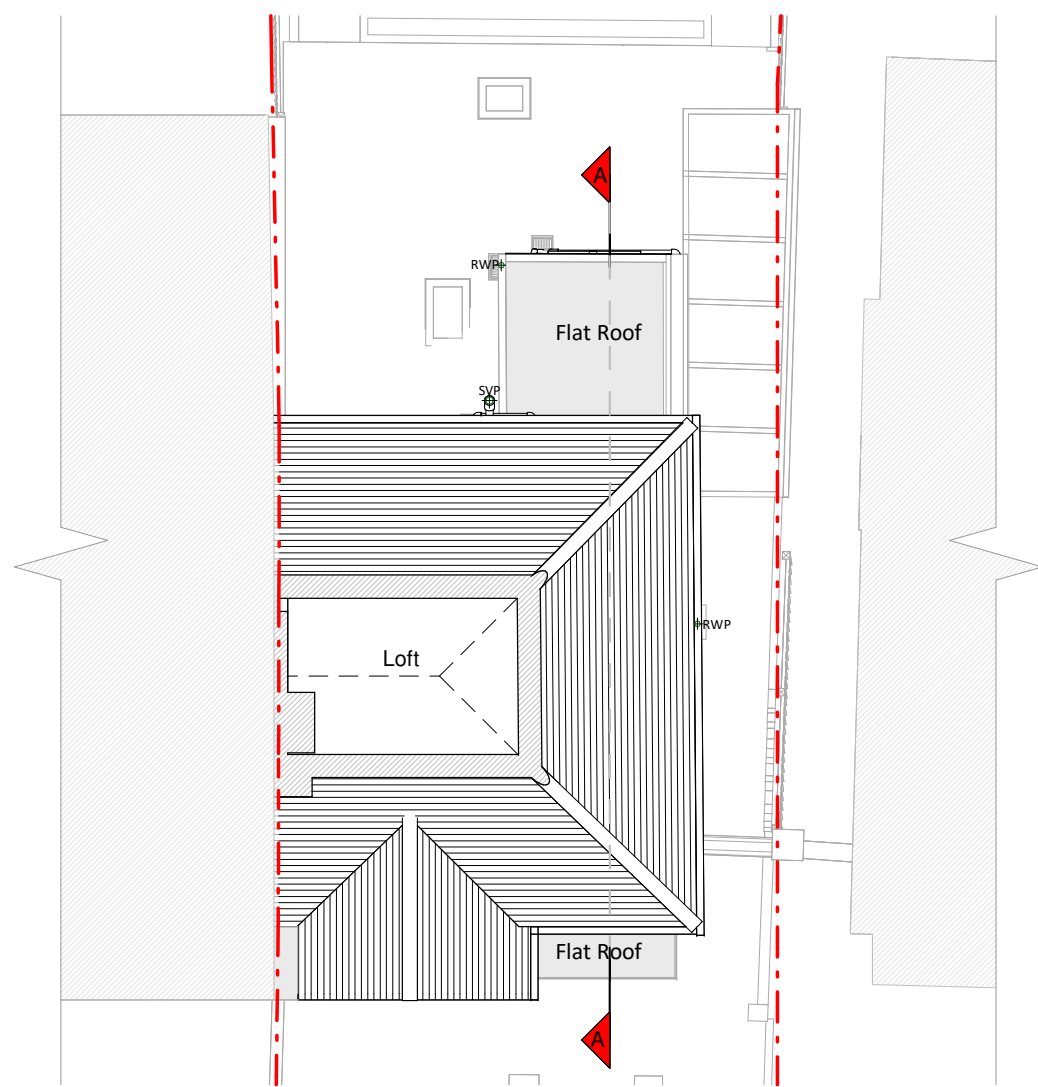
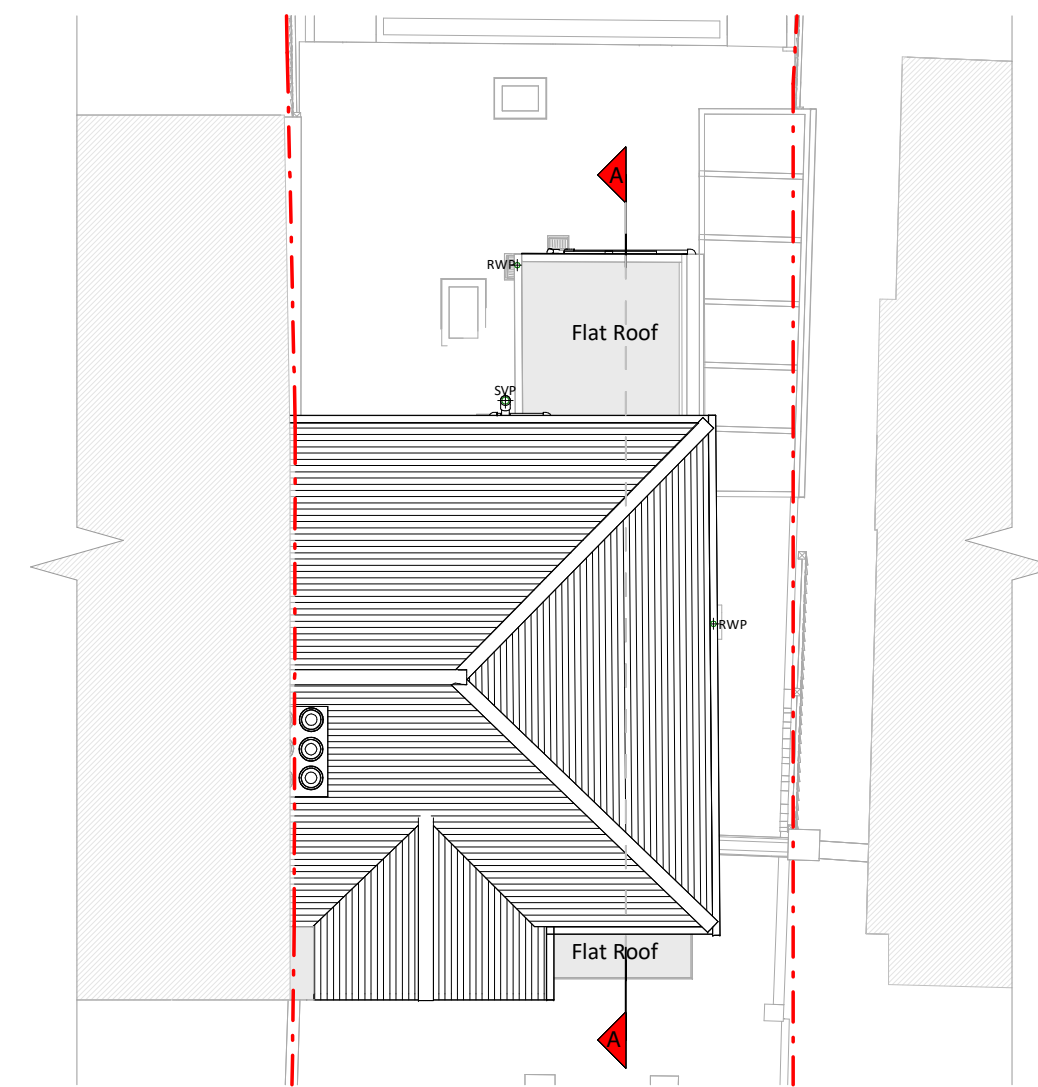


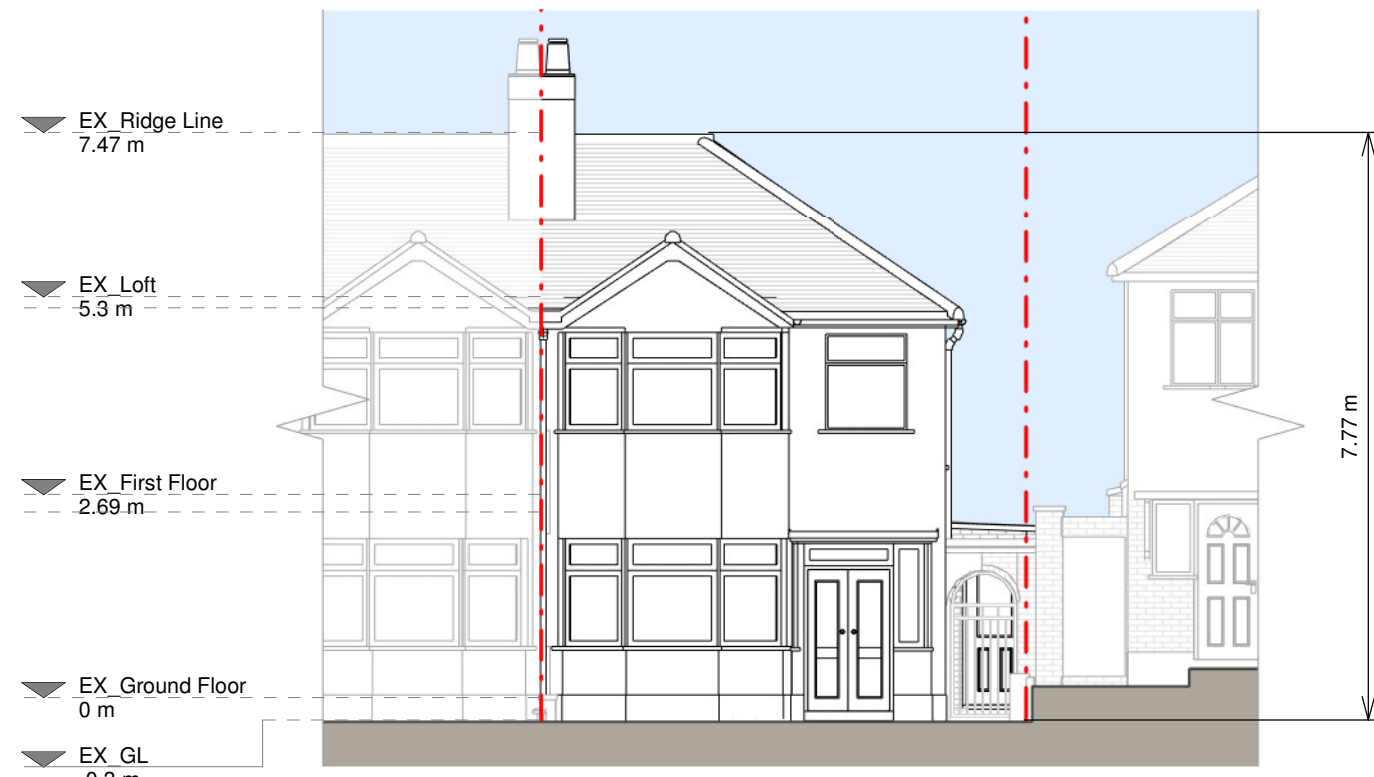
First Floor Plan



Loft Plan



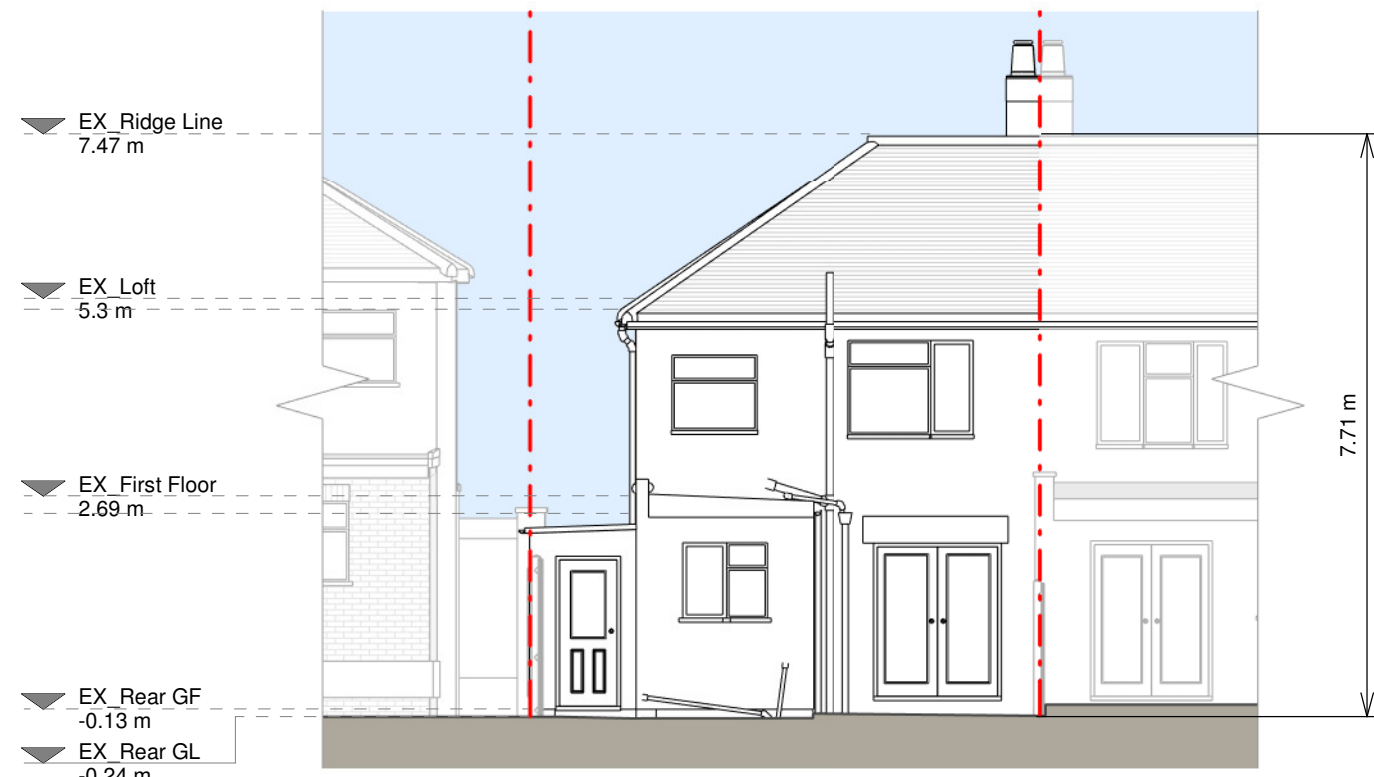
Roof Plan



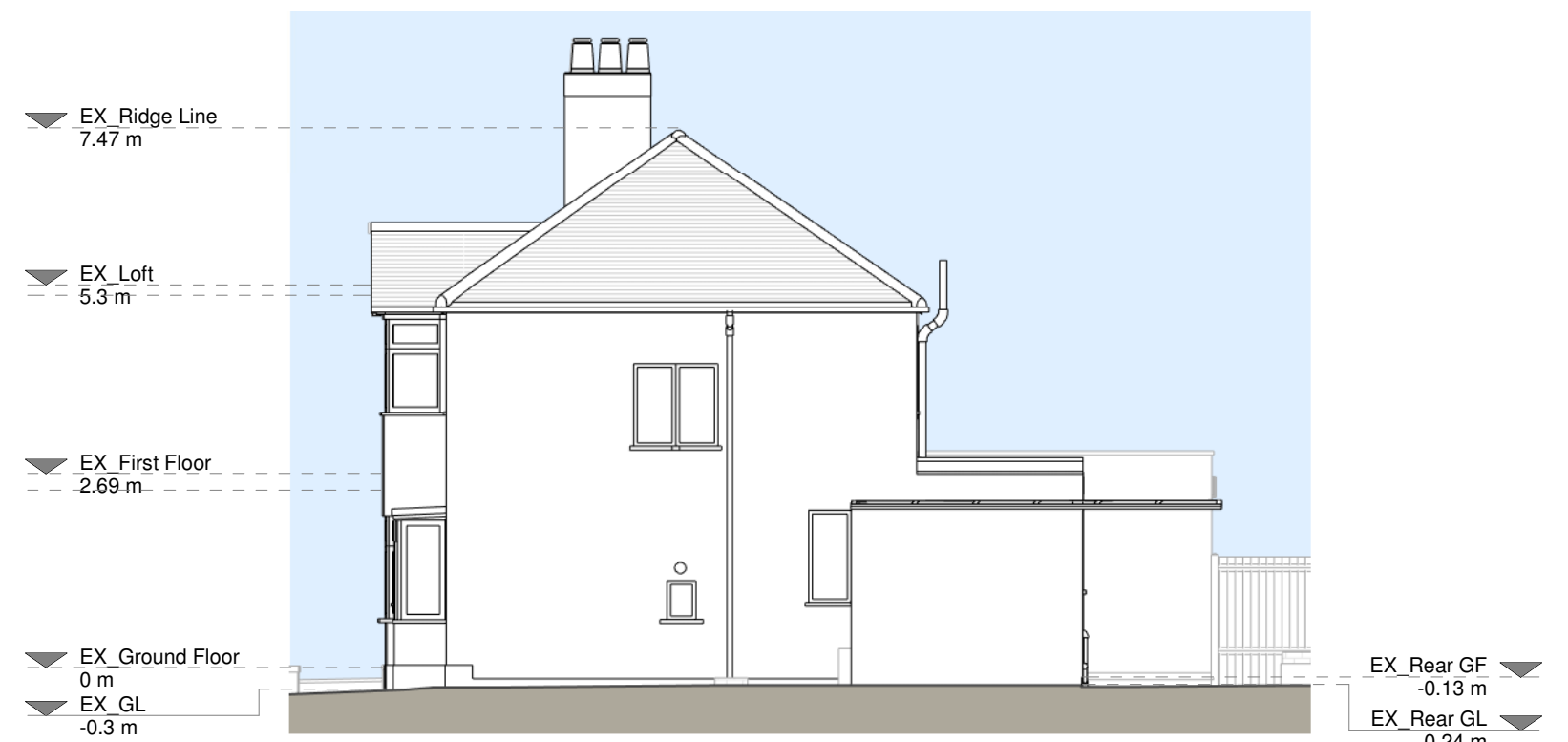
Front Elevation



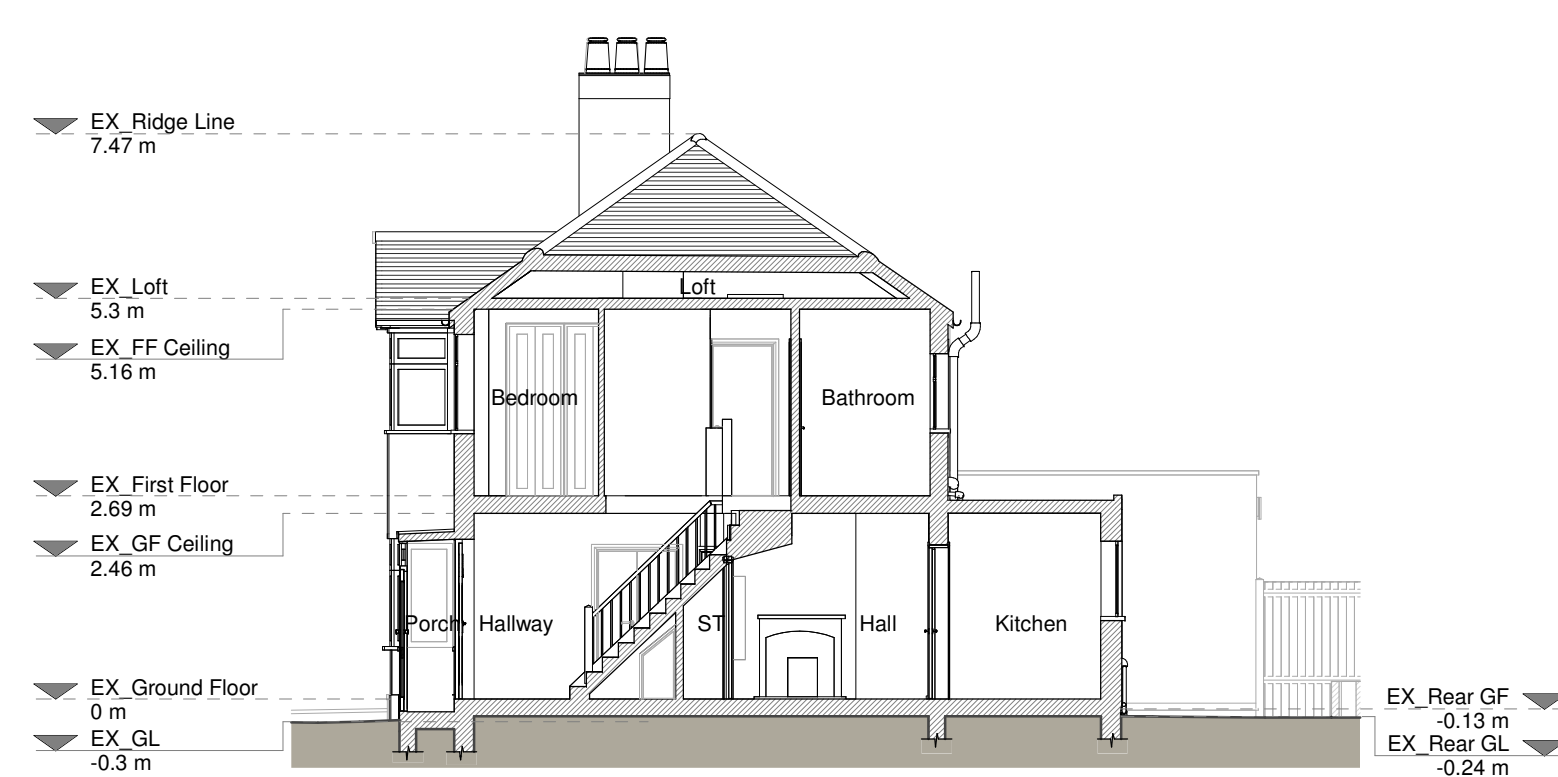
Left Side Elevation



Rear Elevation



Right Side Elevatio



Section A - A

Copyright in the design and this drawing is the property of RESI. Reproduction in whole or in part is prohibited without the written consent of RESI. This drawing must be used in conjunction with all other relevant documentation and drawings.

RESI accepts no liability for any expense, loss or damage of whatsoever nature and however arising from any variations which have not been referred to them and their approval is obtained.

Print out to actual scale. Do not scale, except unless for Planning purposes. All dimensions to be cross checked on site prior to construction and completion. Any discrepancies to be reported to RESI immediately.

Existing Materials:

Brickwork / Walls - Pebbledash rendered walls, white painted timber panels, cream painted rendered walls.

Pitched roof - Concrete tiles.

Flat roof - Felt.

Windows - White uPVC framed windows.

Doors - Brown painted timber framed glass door, white uPVC framed glass door.

WWP / Gutters / Fascias - Black cast iron and uPVC gutters, downpipes, black painted timber fascia boards.

KEY

Existing walls (dashed line), Existing furniture (dotted line), Level line (solid line), 1.5m head height (solid line), 1.8m head height (solid line).

Revision	Rev	Notes	Date
A	Planning Issue	23/10/2024	

RESI
Grow your home

Job Title: Proposed hip-to-gable loft conversion with rear main dormer, solar panels, internal alterations and all associated works at 18 Mount Park Road, Pinner, HA5 4JR

Drawing Status: Planning Drawings

Client: Thirusa Lane

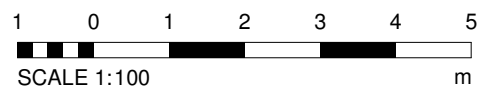
Drawing Title: Existing Drawings

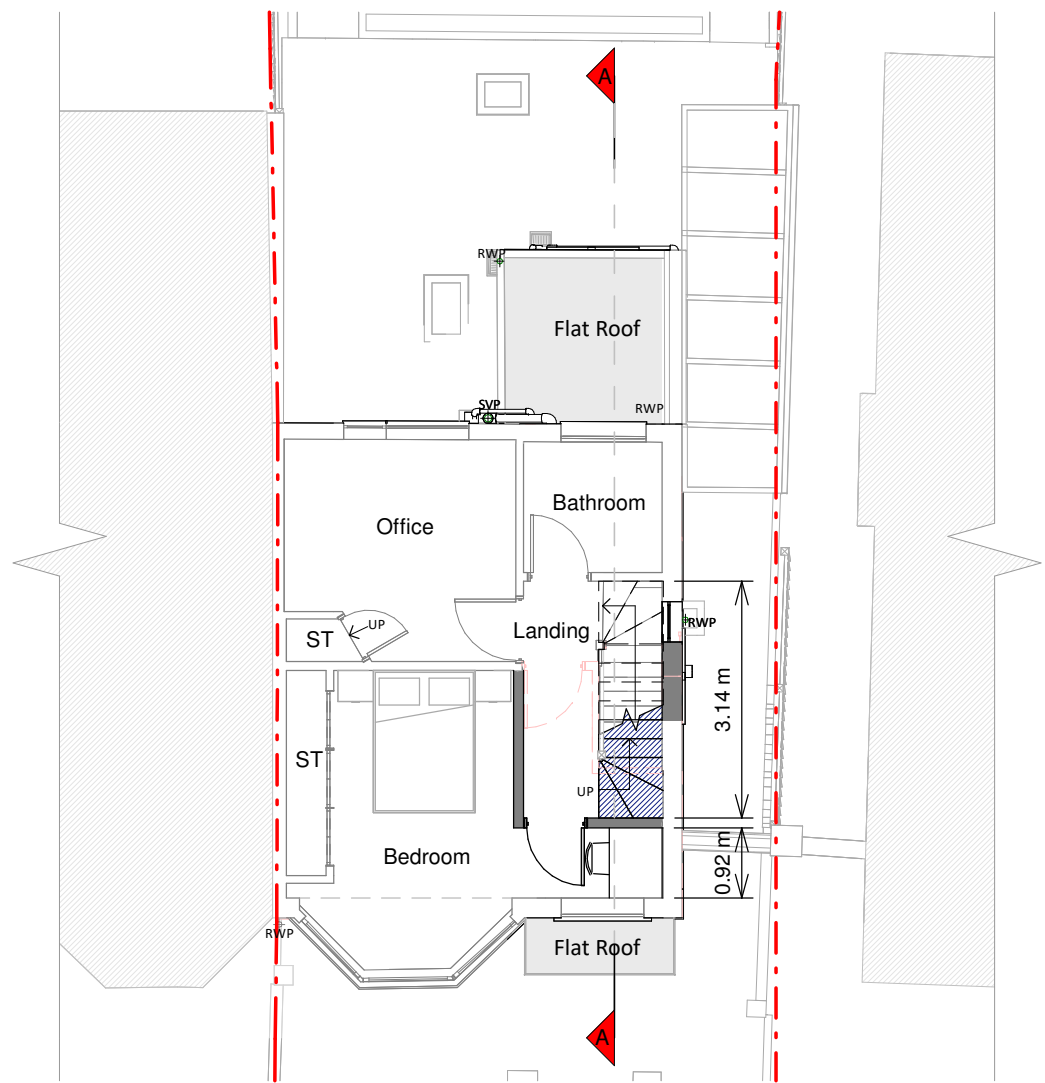
Scale: 1:100 @ A1

Date: Oct 2024

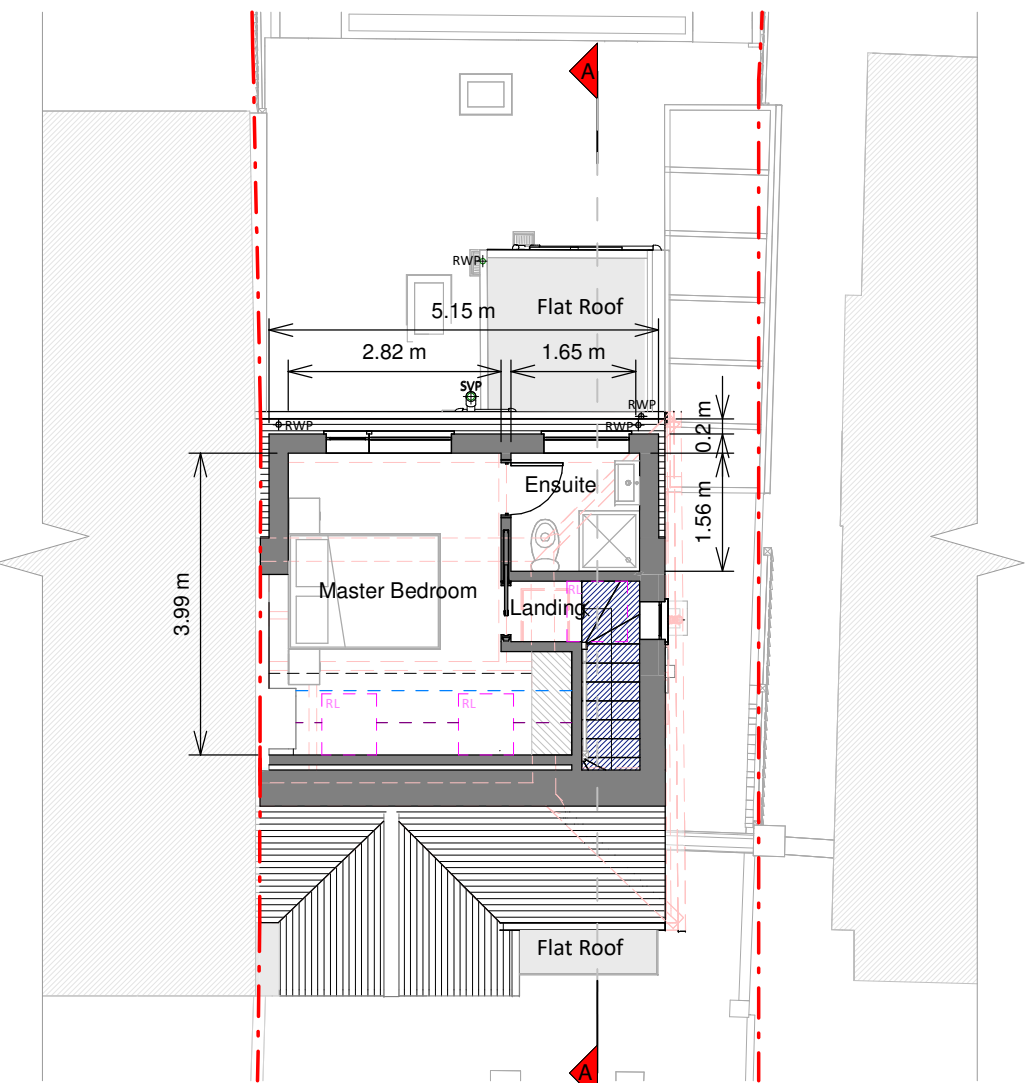
Drawing No: B260488-02-1100

Drawn: AR, Checked: JC, Rev: A

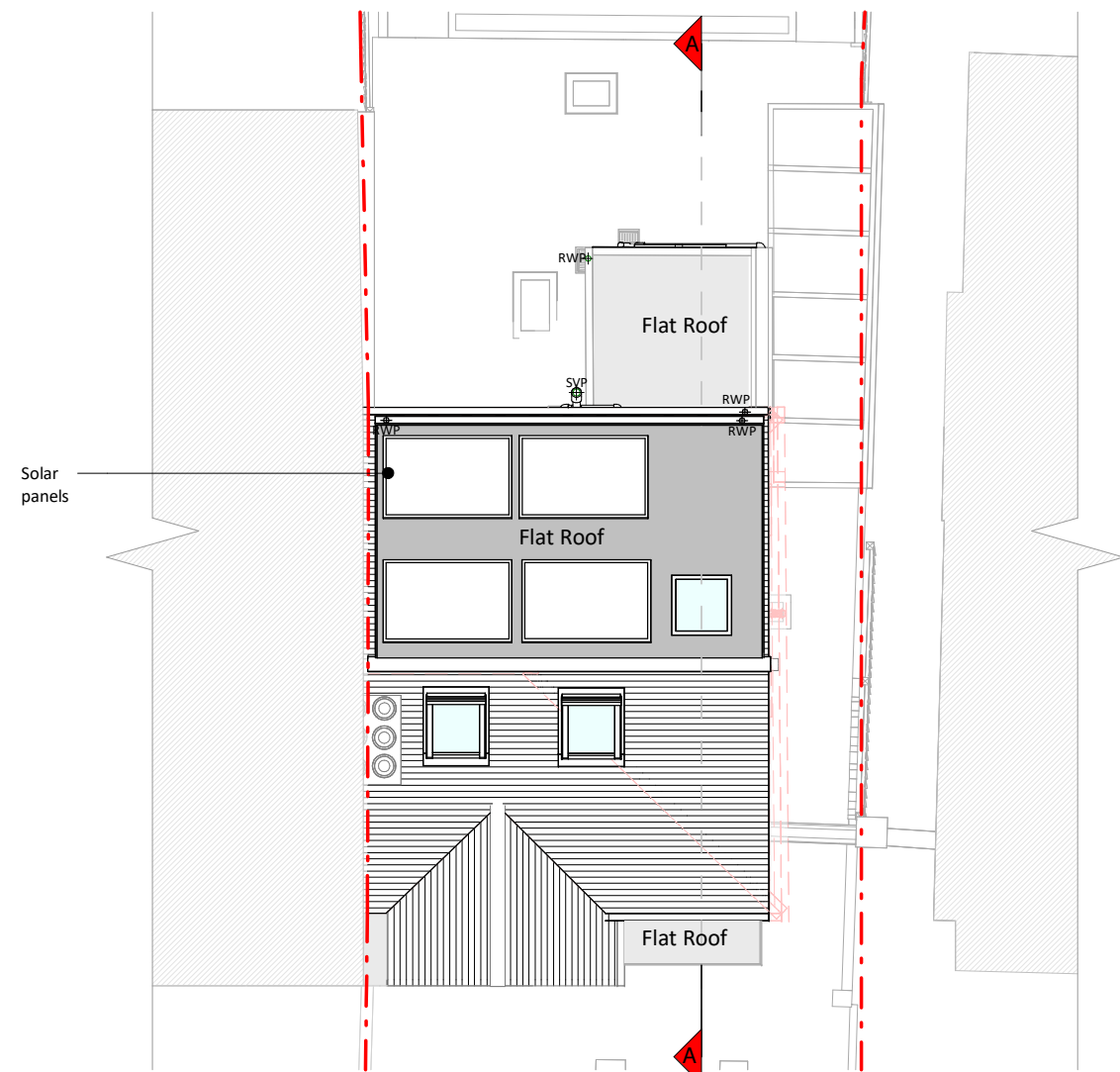




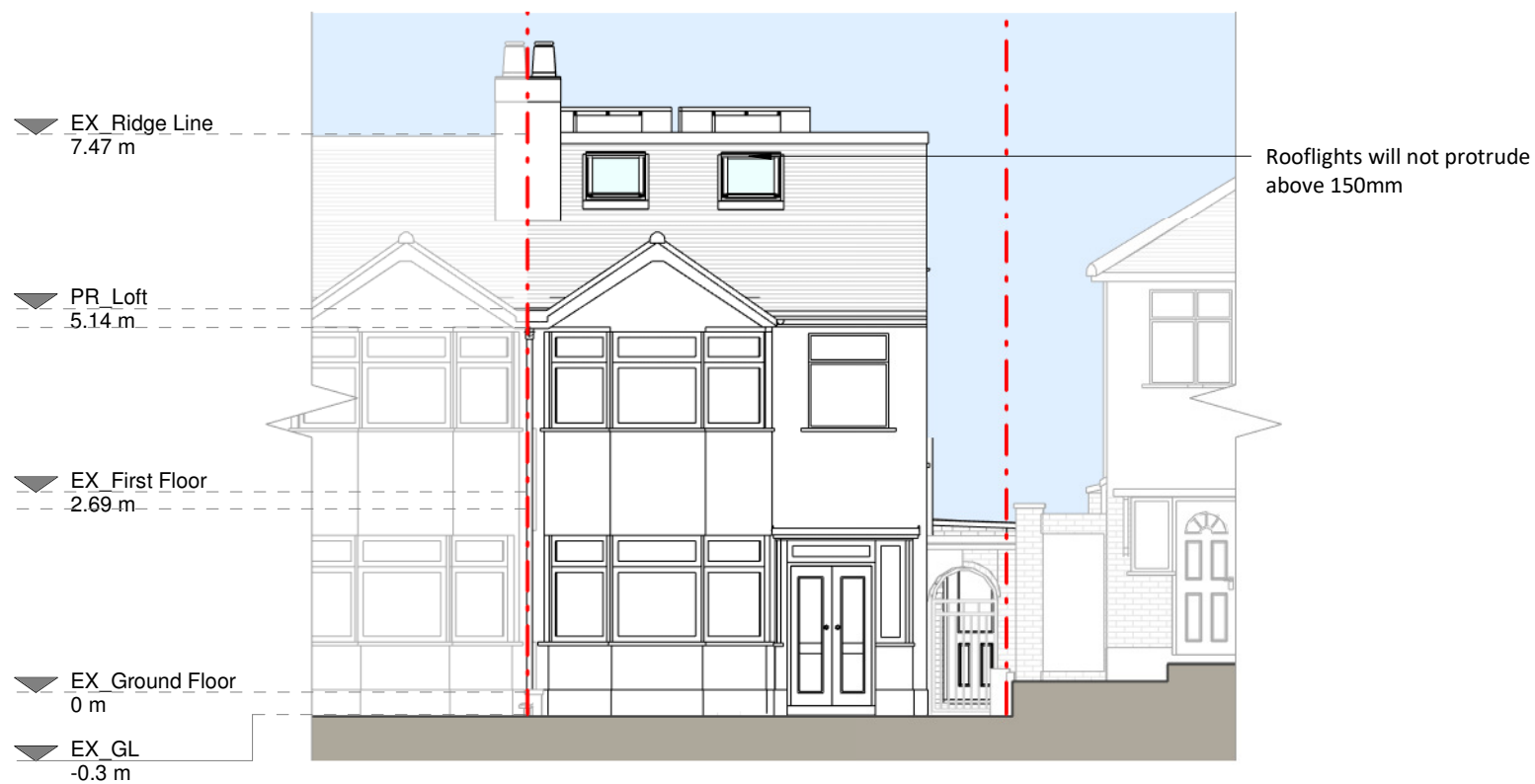
First Floor Plan



Loft Plan



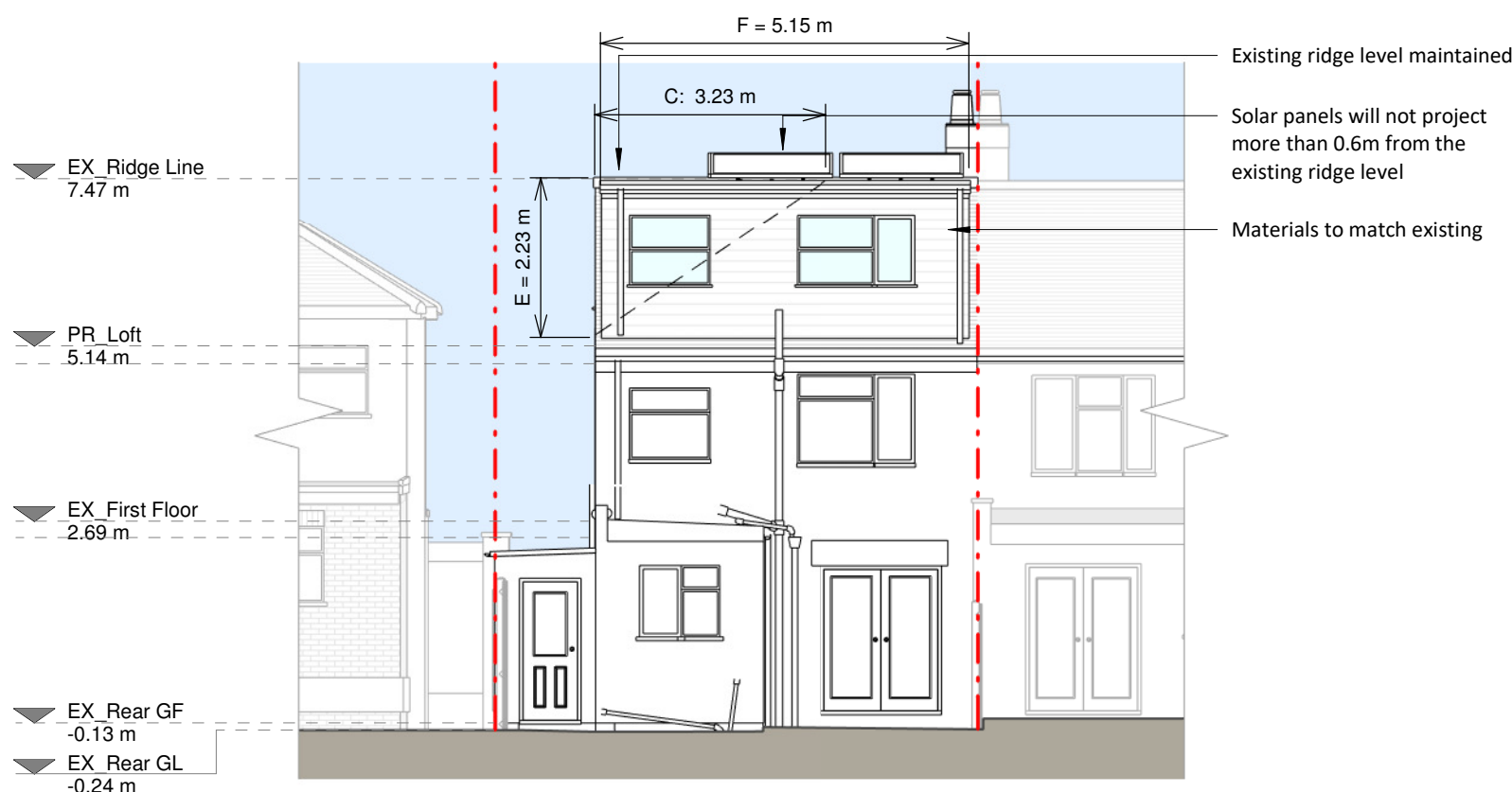
Roof Plan



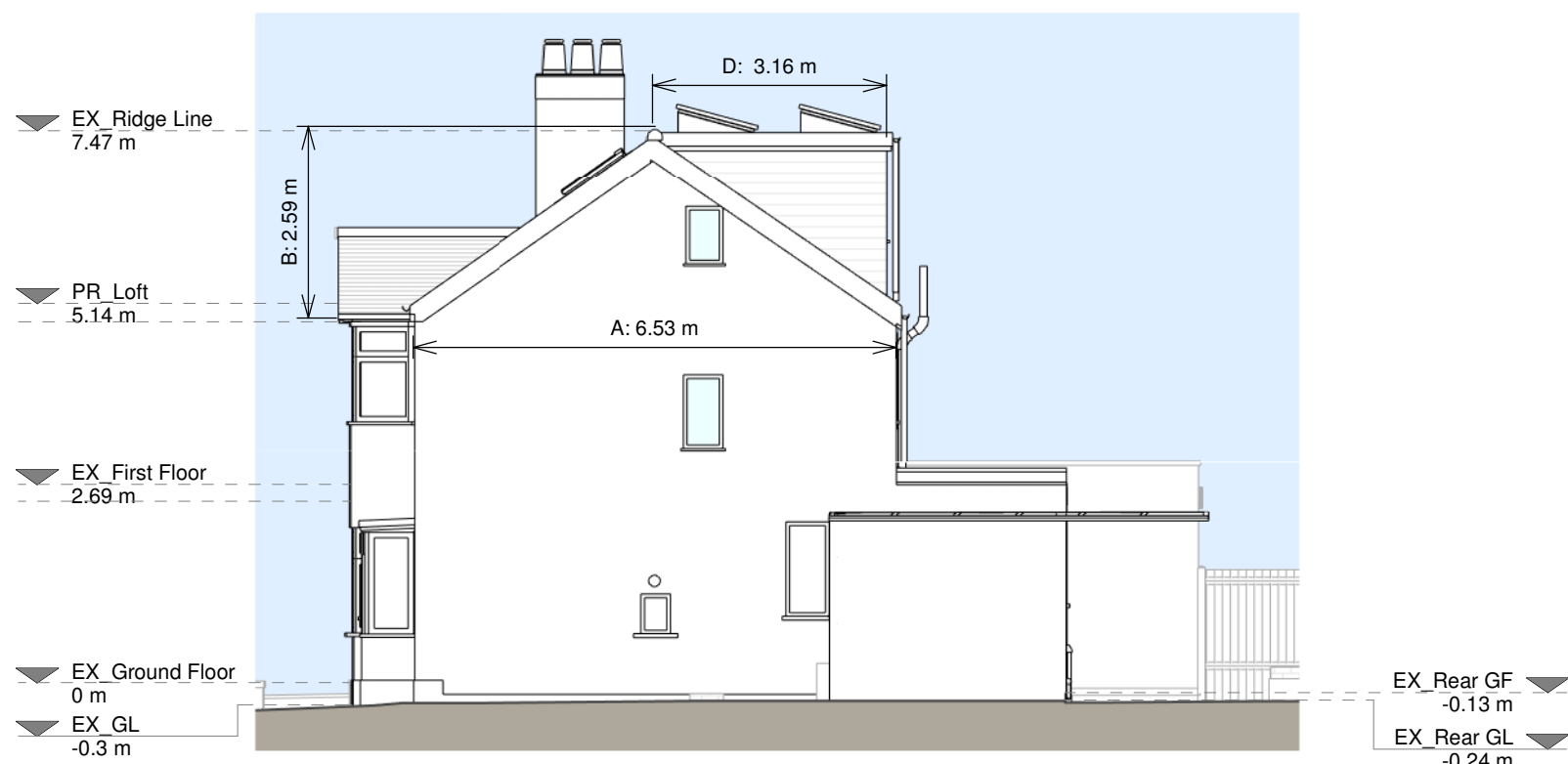
Front Elevation



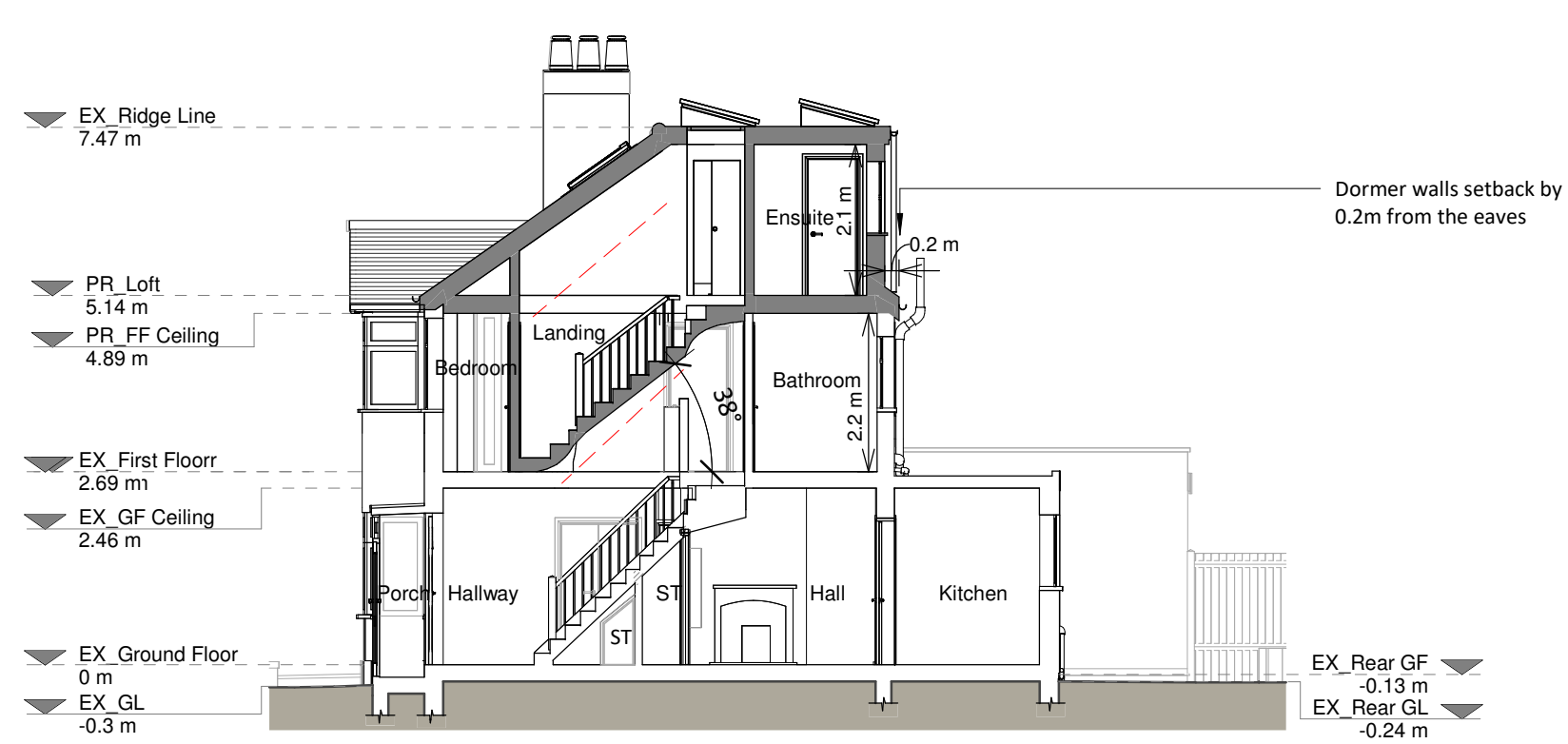
Left Side Elevation



Rear Elevation



Right Side Elevation



Section A - A

Copyright in the design and this drawing is the property of RESI. Reproduction in whole or in part is prohibited without the written consent of RESI. This drawing must be used in conjunction with all other relevant documentation and drawings.

RESI accepts no liability for any expense, loss or damage of whatsoever nature and however arising from any variation which has not been referred to them and their approval is obtained.

Print out to actual scale. Do not scale, except unless for planning purposes. All dimensions to be cross checked on site prior to construction and completion. Any discrepancies to be reported to RESI immediately.

Cubic Volume Calculations:

Hip to Gable
 $(A \times B / 2) \times C / 3$
 $(0.53 \times 2.09 / 2) \times 3.23 / 3 = 9.10 \text{m}^3$

Main Dormer
 $(D \times E / 2) \times F$
 $(3.16 \times 2.23 / 2) \times 5.15 = 18.345 \text{m}^3$

Cubic volume allowance for Terozed properties - 40m³

Total volume - 27.249 m³

Proposed Materials:

Brickwork / Walls - Wall hung concrete tiles to match existing

Pitched roof - Concrete tiles to match existing

Flat roof - Fibreglass

Windows - White uPVC framed windows to match existing and aluminium framed rooflights

Roofs / Gutters / Fascia - Black uPVC downpipes, guttering and uPVC fascia to match existing

KEY

- Existing walls
- Proposed walls
- Proposed furniture
- Proposed staircase
- Proposed windows
- Proposed rooflight
- Boundary line
- Proposed beam
- Proposed drainage
- Existing removed
- 1.5m head height
- 1.8m head height

Revision		
Rev	Notes	Date
A	Planning Issue	23/10/2024

RESI
Grow your home

Job Title
Proposed hip-to-gable loft conversion with rear main dormer, solar panels, internal alterations and all associated works at 18 Mount Park Road, Pinner, HA5 4JR

Drawing Status
Planning Drawings

Client
Thirusa Lane

Drawing Title
Proposed Drawings

Scale 1:100 @ A1	Drawn AR
Date Oct 2024	Checked JC
Drawing No. B260488-02-3100	Rev A

1 0 1 2 3 4 5
SCALE 1:100 m