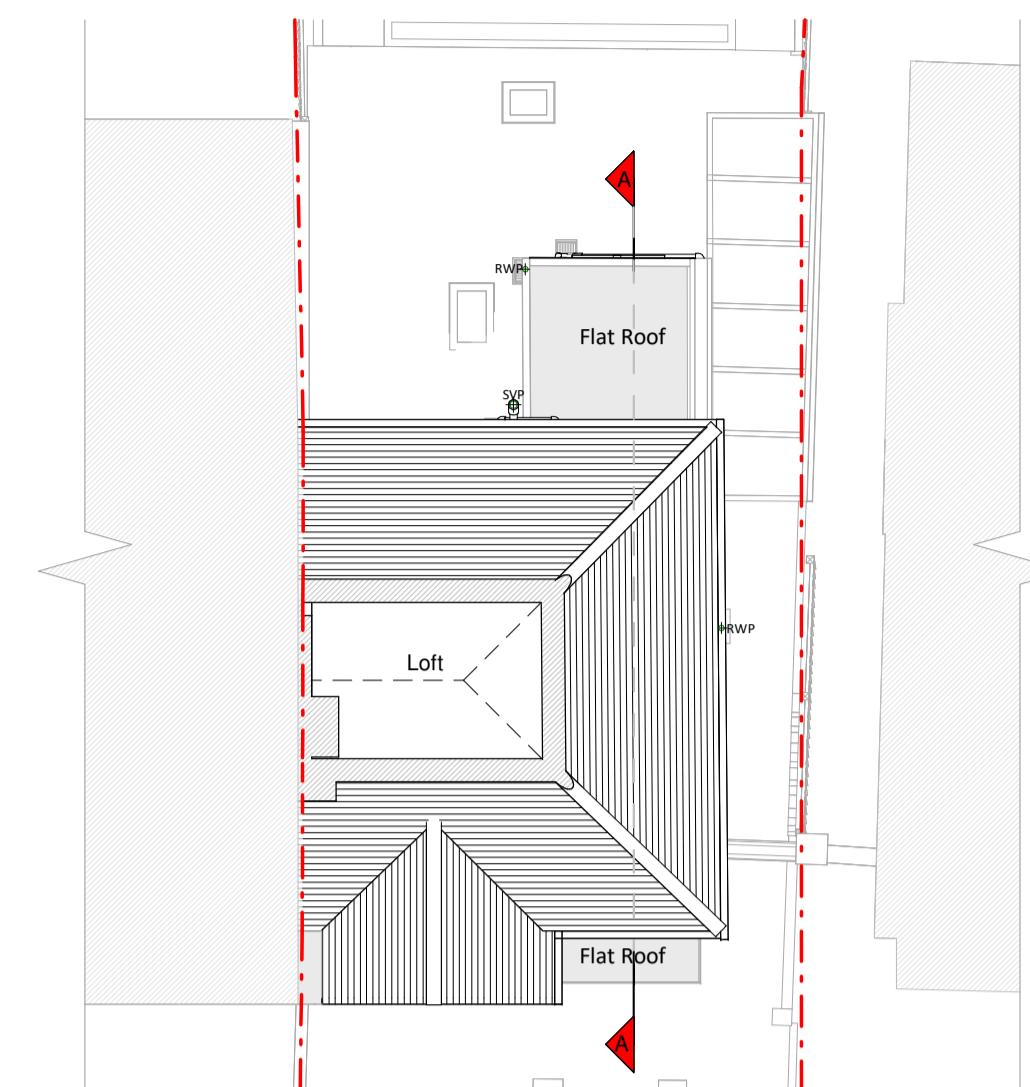
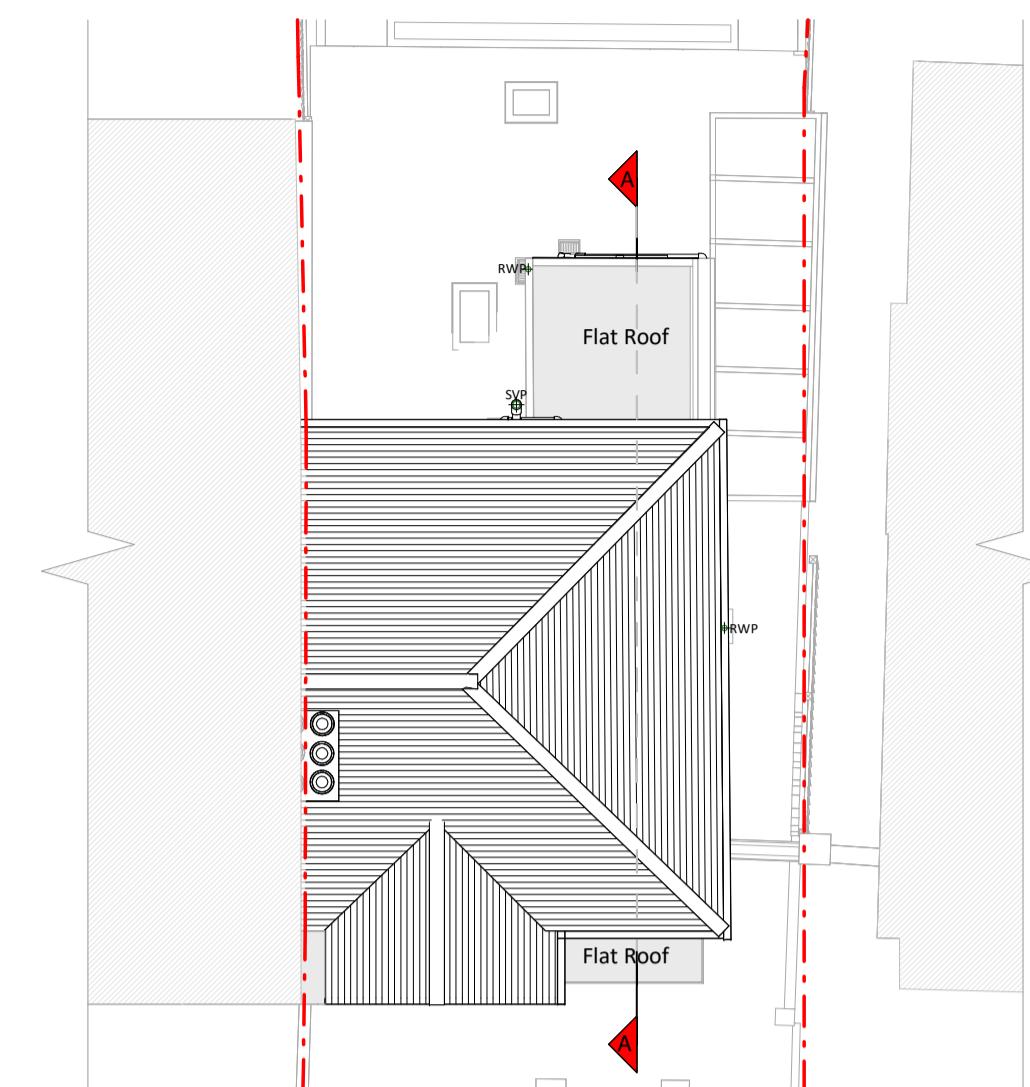


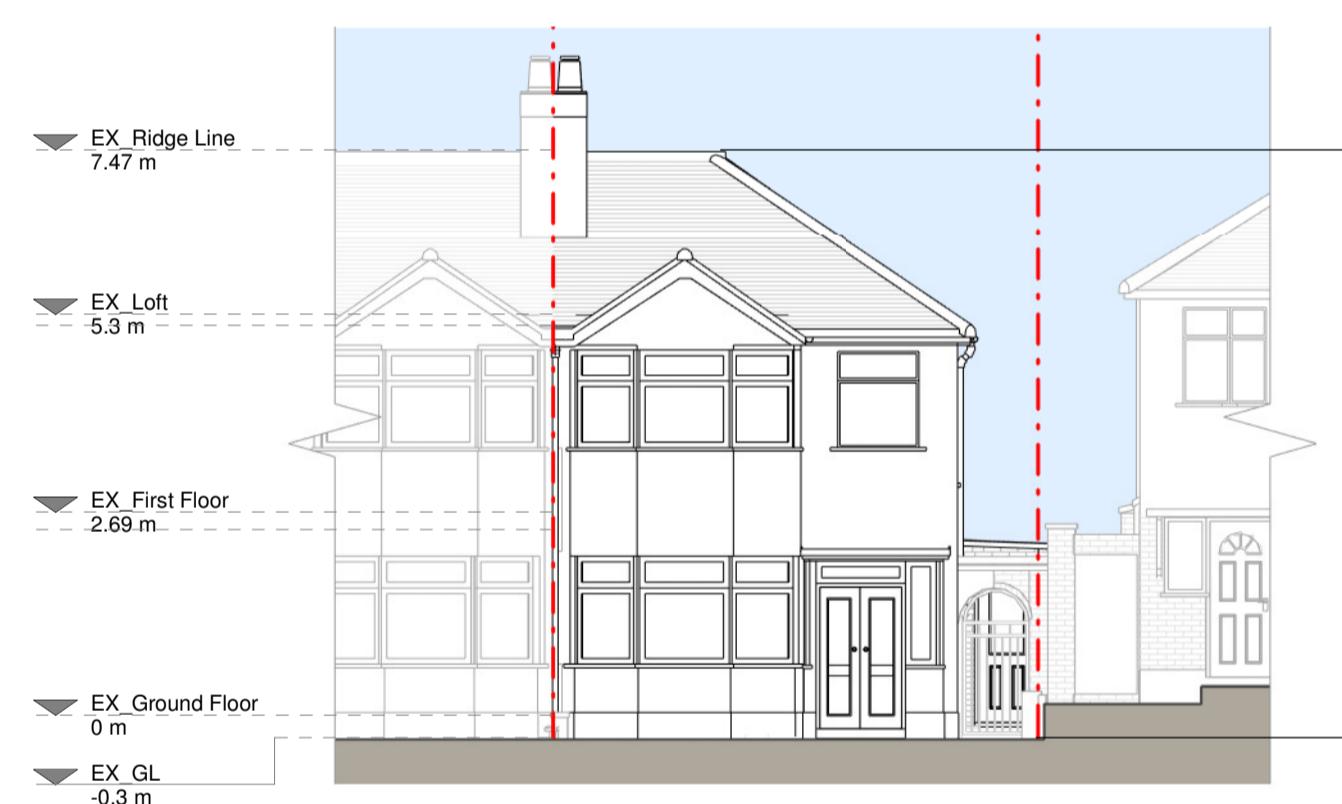
First Floor Plan



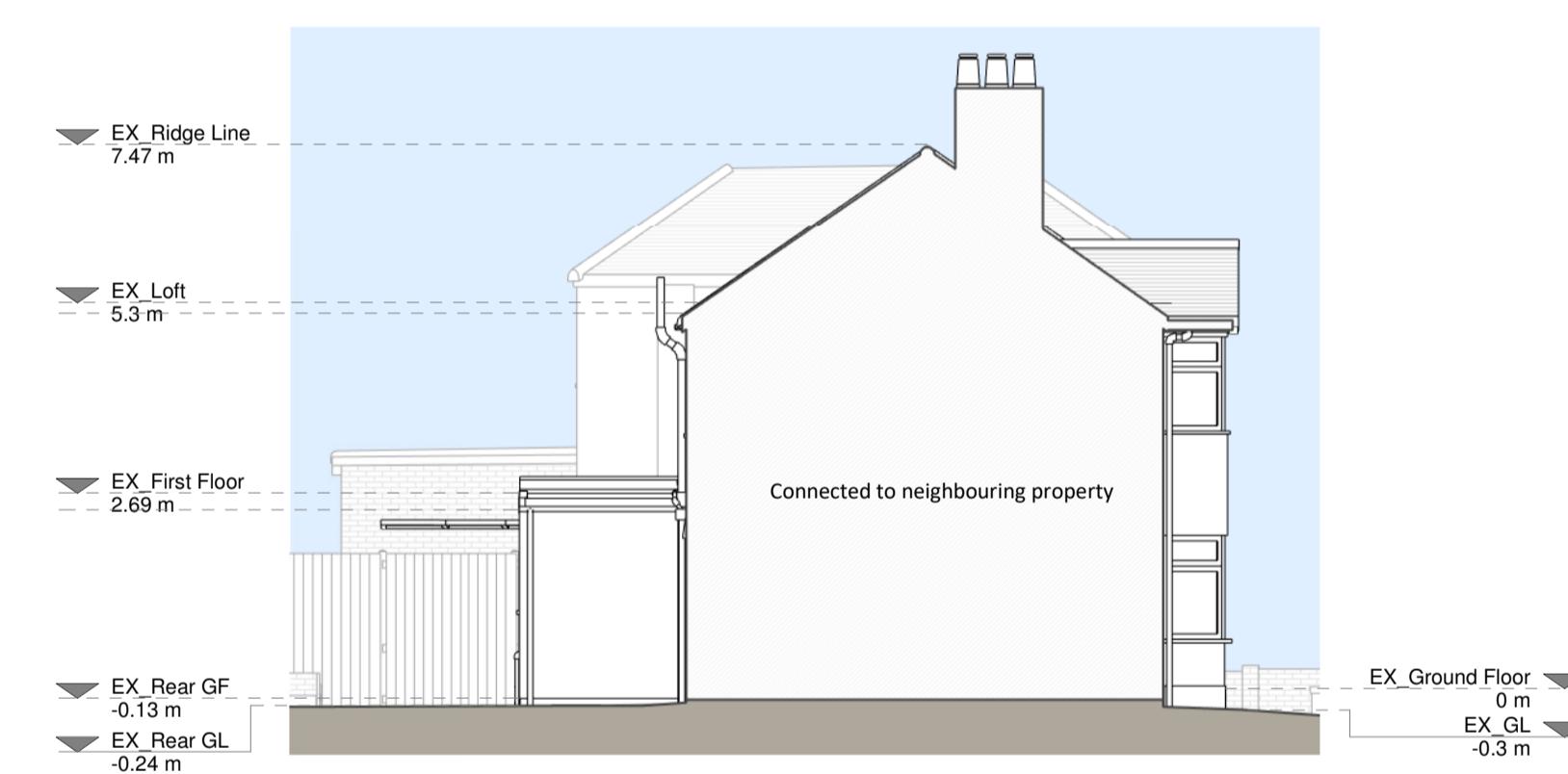
Loft Plan



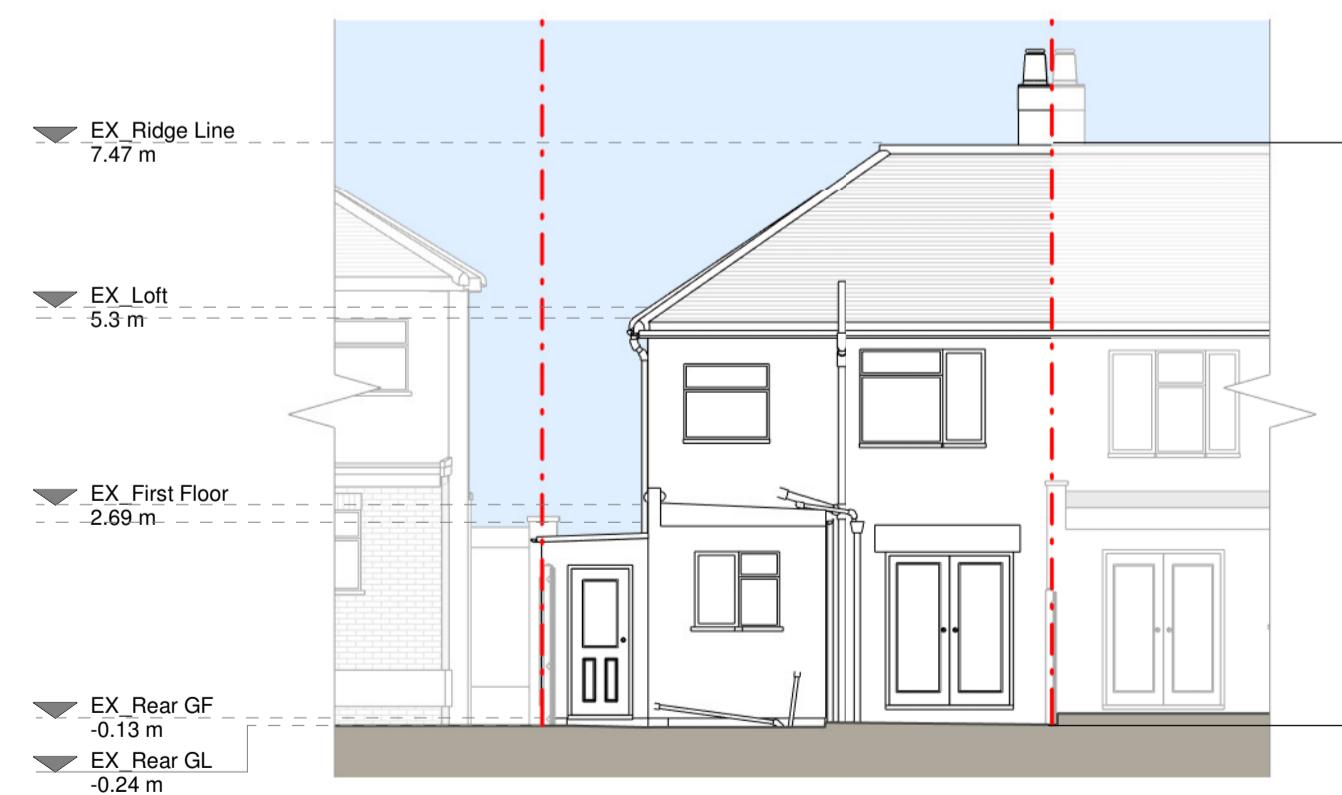
Roof Plan



Front Elevation



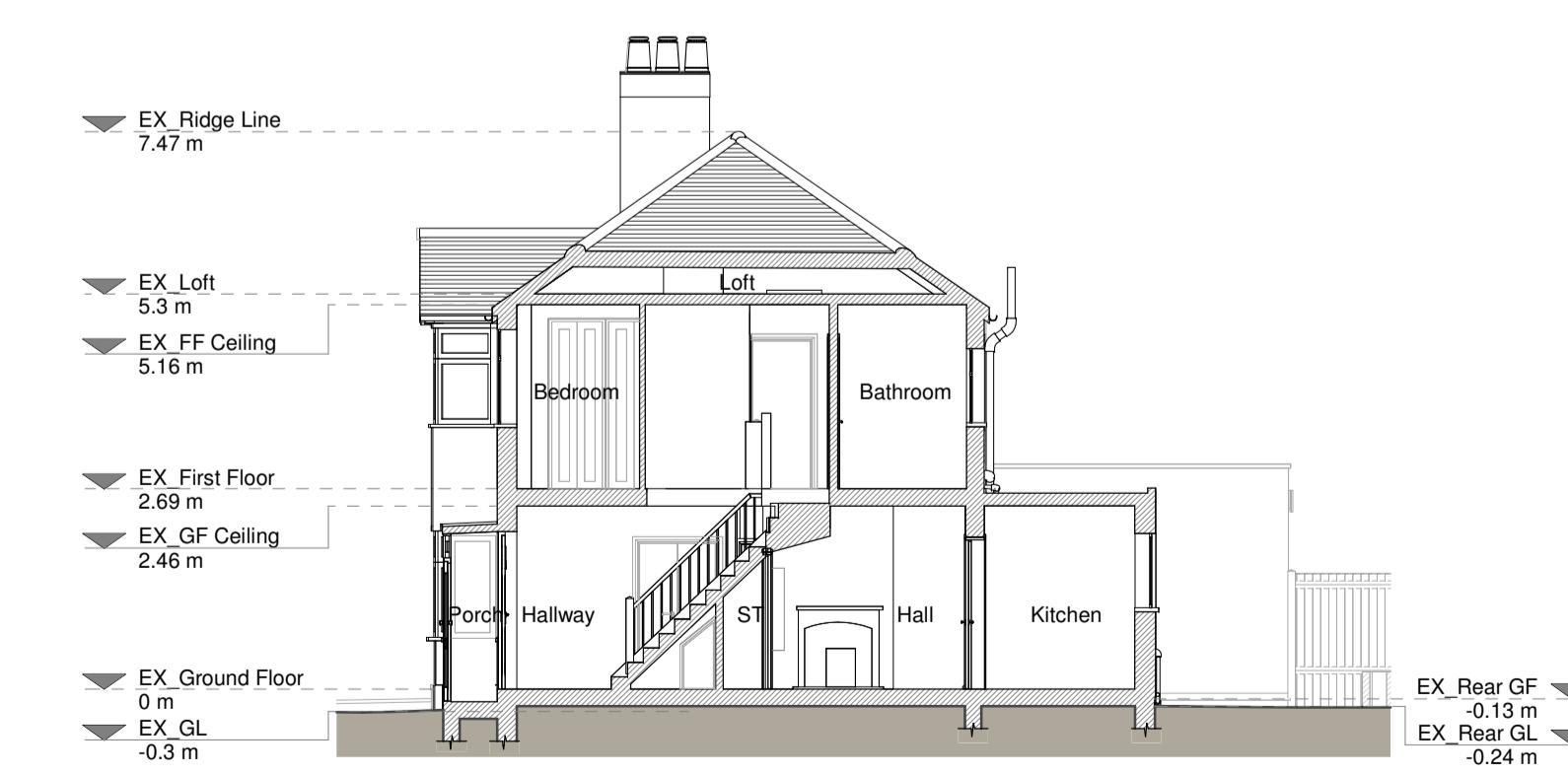
Left Side Elevation



Rear Elevation



Right Side Elevation

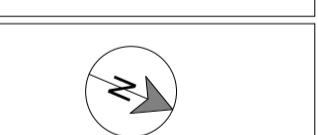


Section A - A

Existing Materials:
Brickwork & Walls - Pebbledash rendered walls, white-painted timber panels, cream painted rendered walls
Pitched roof - Concrete tiles
Flat roof - Felt
Windows - White upVC framed windows
Doors - Brown-painted timber framed glazed door, white upVC framed glazed door
RWP / Gutters & Fascias - Black cast iron and upVC gutters, downspouts, black painted timber fascia boards

KEY

■ Existing walls
■ Existing furniture
- - - Level line
- - - 1.5m head height
- - - 1.8m head height



Revision	Notes	Date
A	Planning Issue	23/10/2024



Job Title: Proposed hip-to-gable loft conversion with rear main dormer, solar panels, and all associated works at 18 Mount Park Road, Pinner, HA5 4JR
Drawing Status: Planning Drawings
Client: Thirusha Lane
Drawing Title: Existing Drawings

Cubic Volume Calculations:

Hip to Gable

$(D \times 2 / 2) \times C / 3$

$(0.53 \times 2.97 / 2) \times 3.23 / 3 = 9.104m^3$

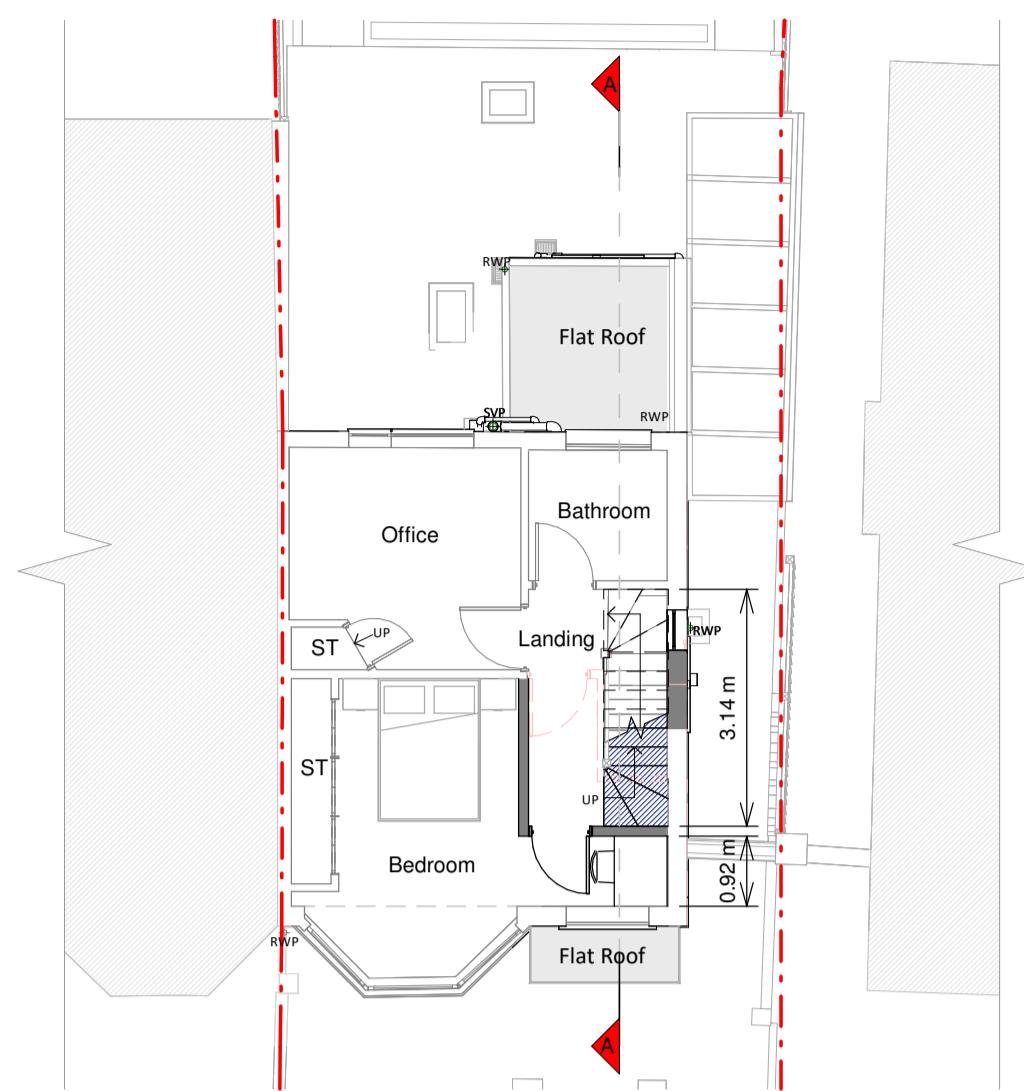
Main Dormer

$(D \times 2 / 2) \times F$

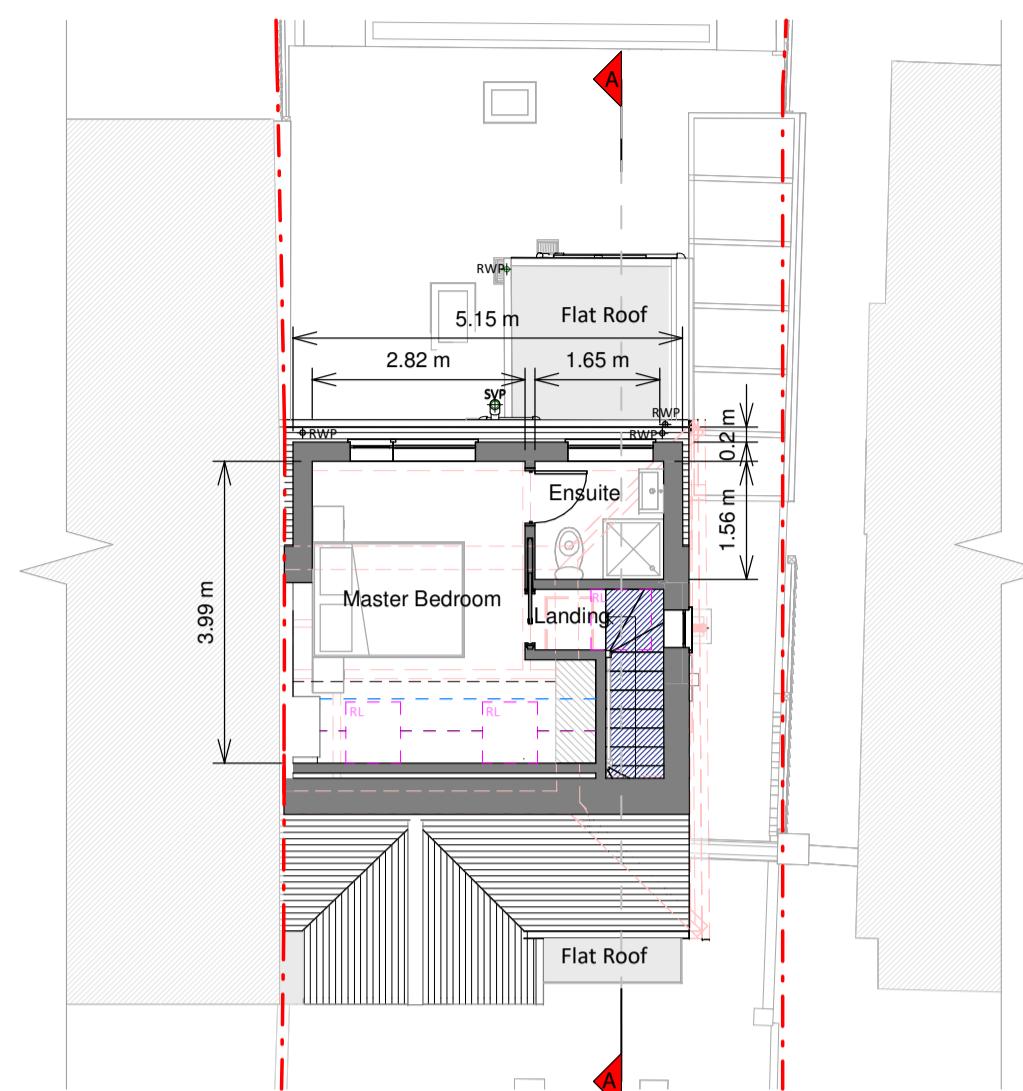
$(0.16 \times 2.27 / 2) \times 5.15 = 18.145m^3$

Cubic volume allowance for Terraced properties - 40%

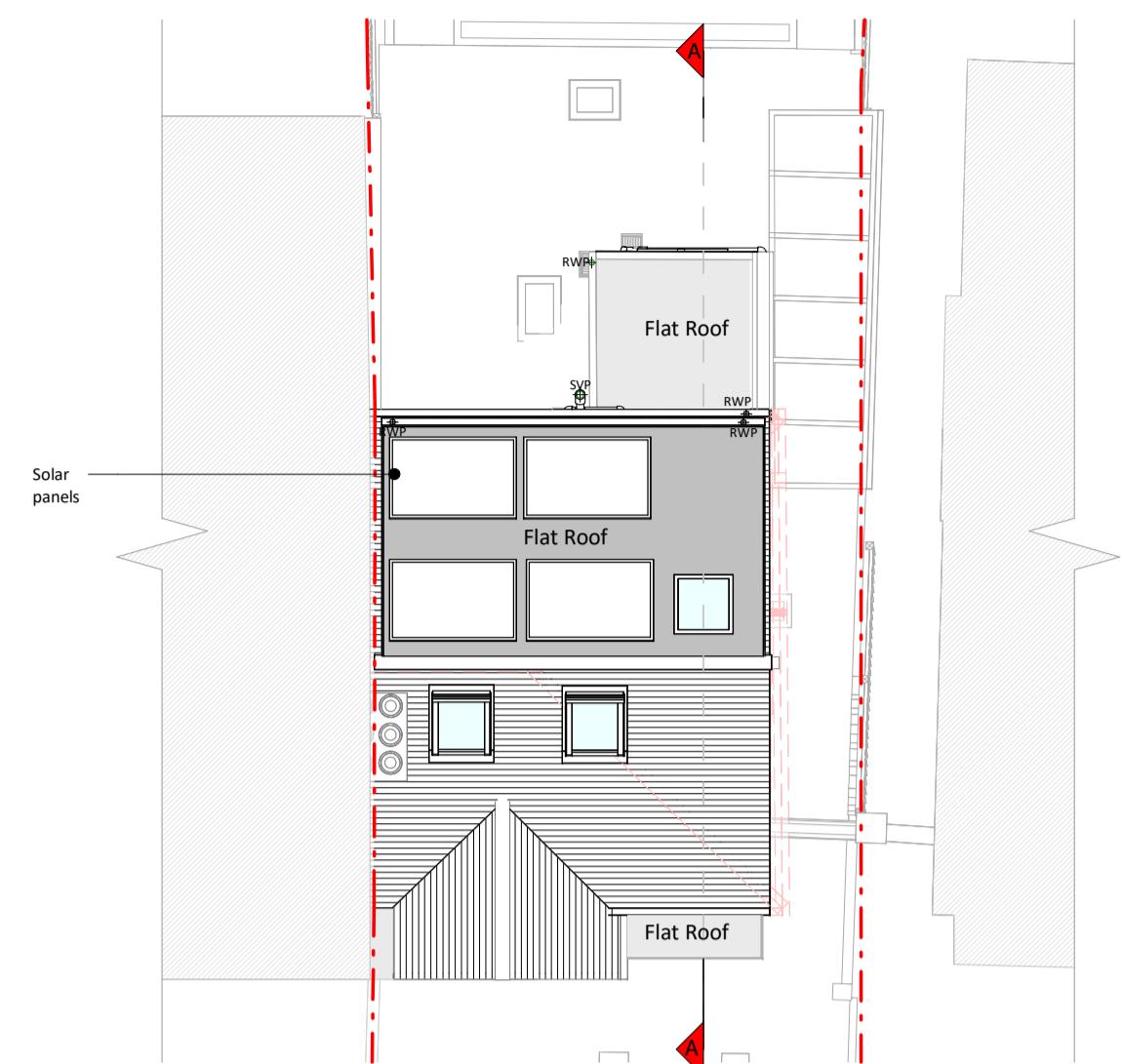
Total volume - 27.249m³



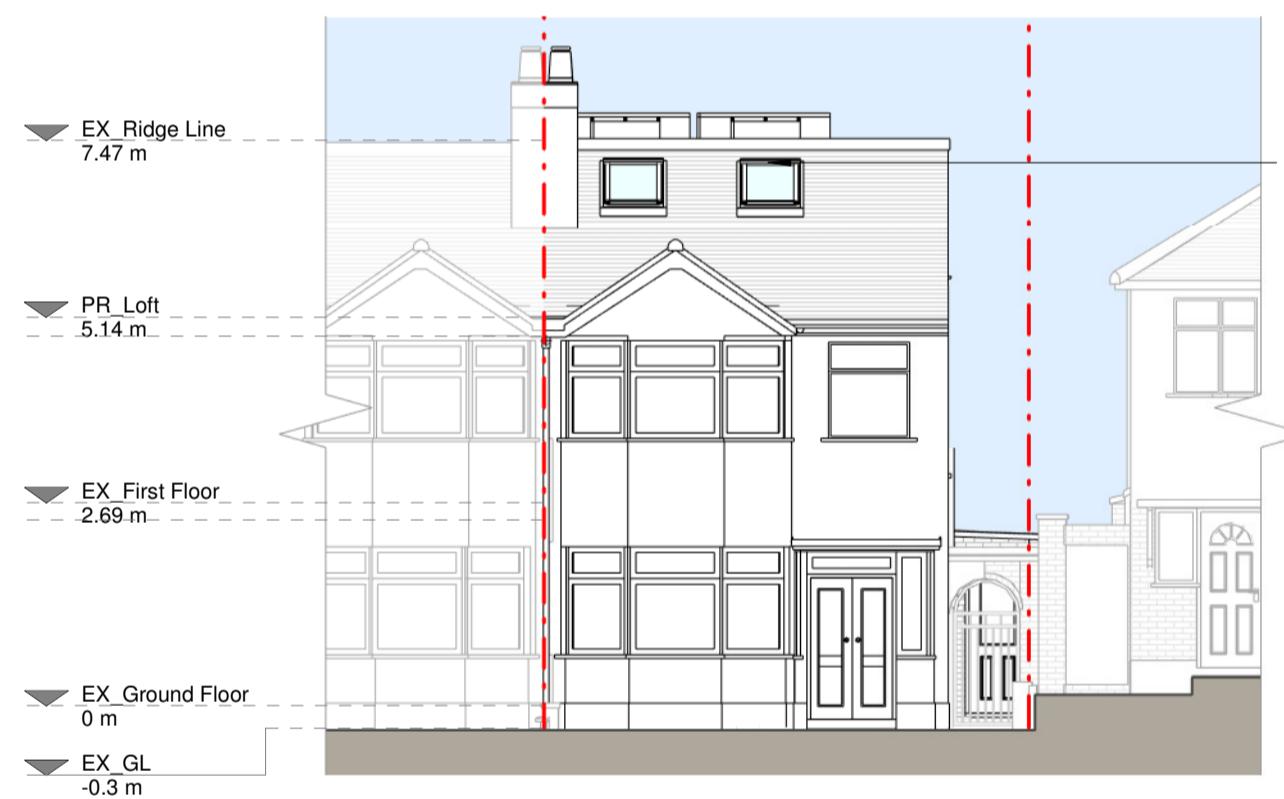
First Floor Plan



Loft Plan



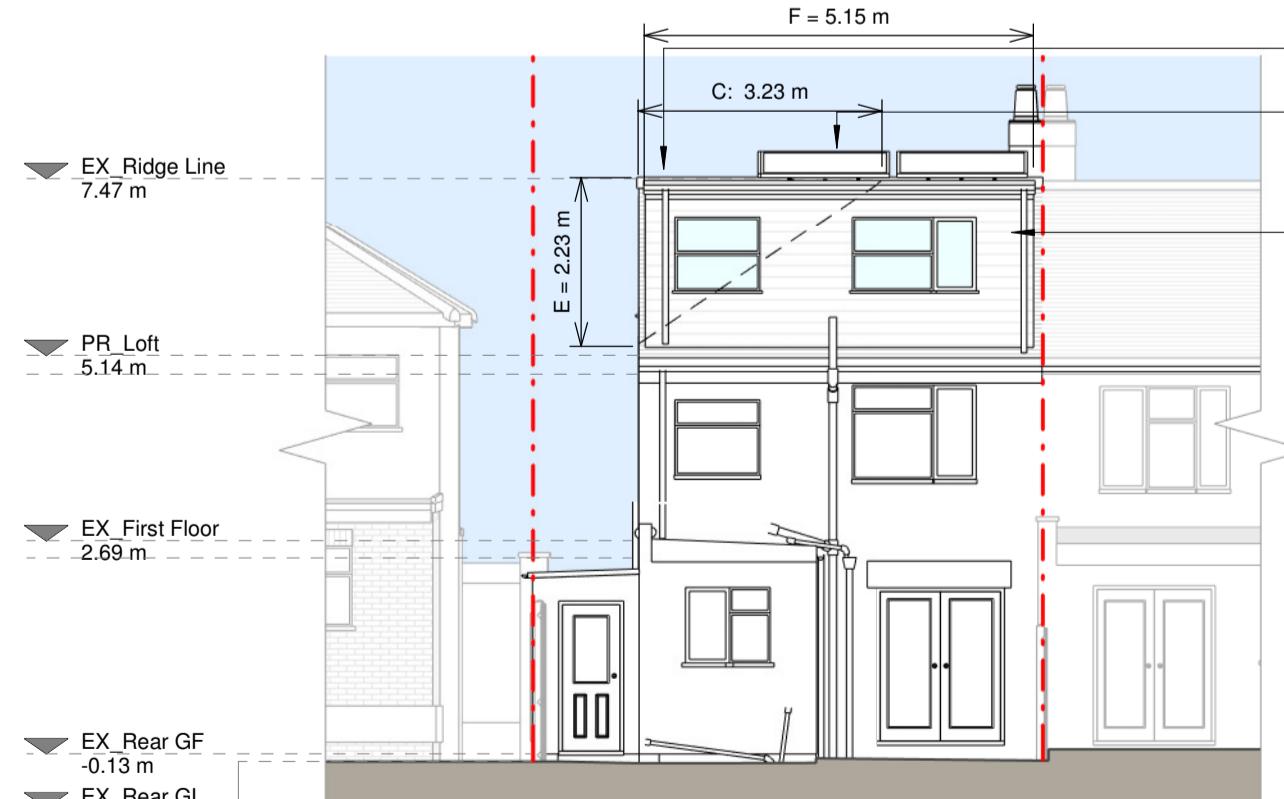
Roof Plan



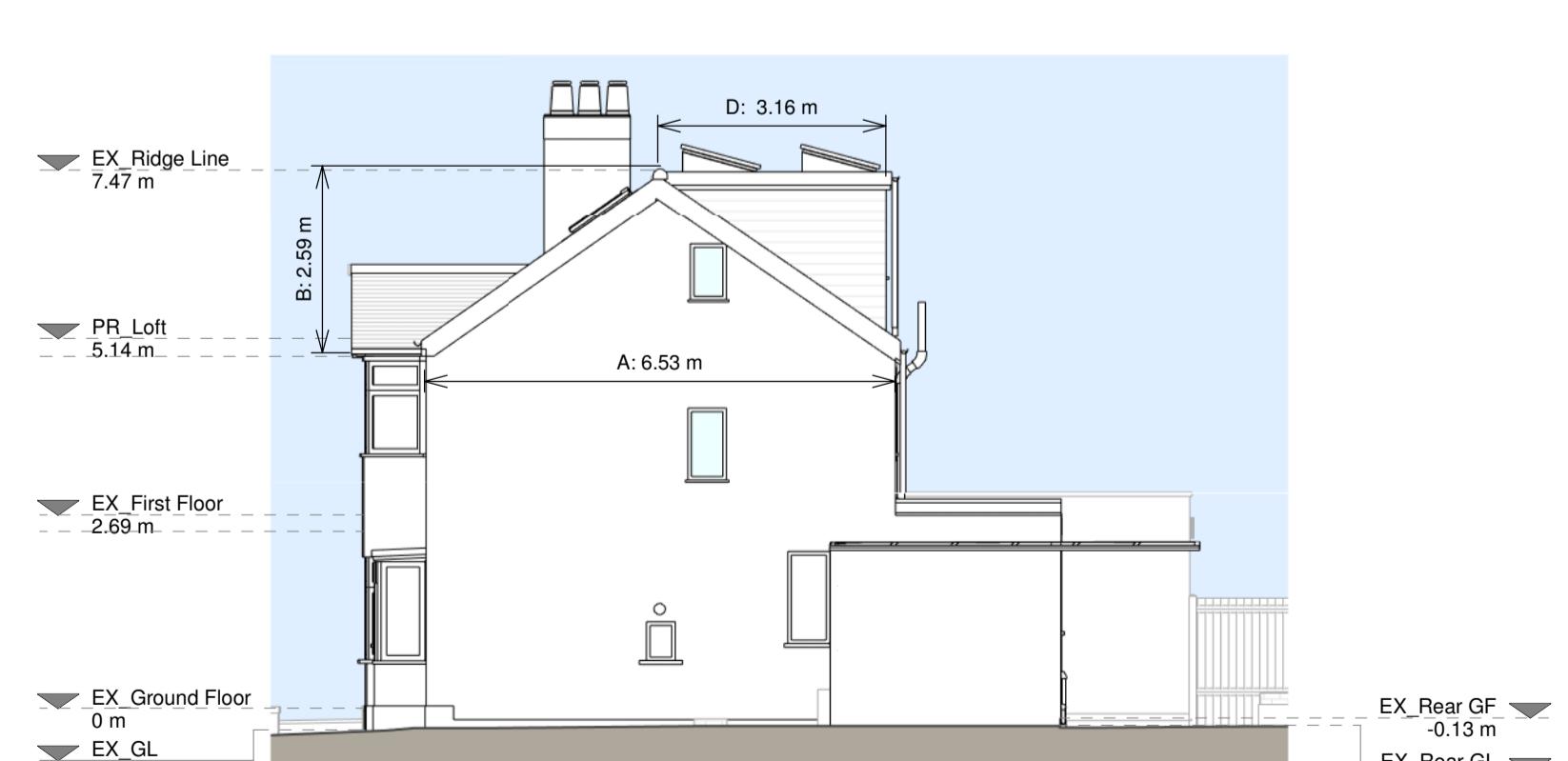
Front Elevation



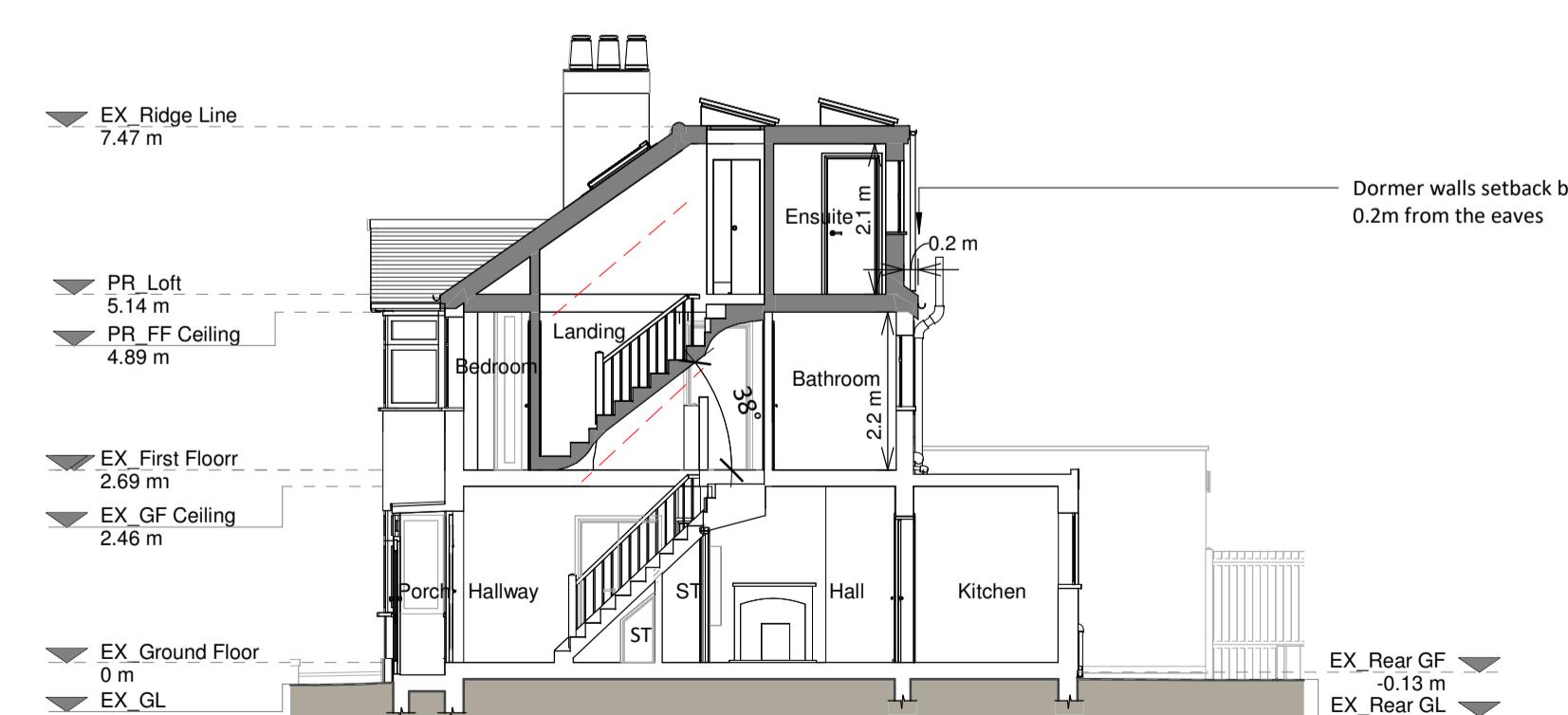
Left Side Elevation



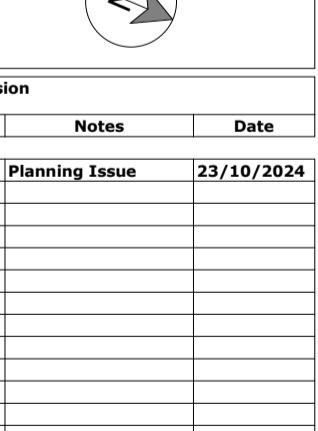
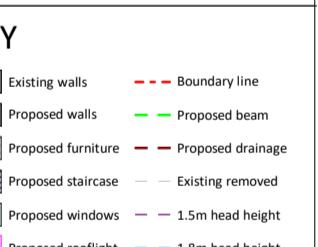
Rear Elevation



Right Side Elevation



Section A - A



Drawing Status

Planning Drawings

Client

Thrush Lane

Drawing Title

Proposed Drawings

