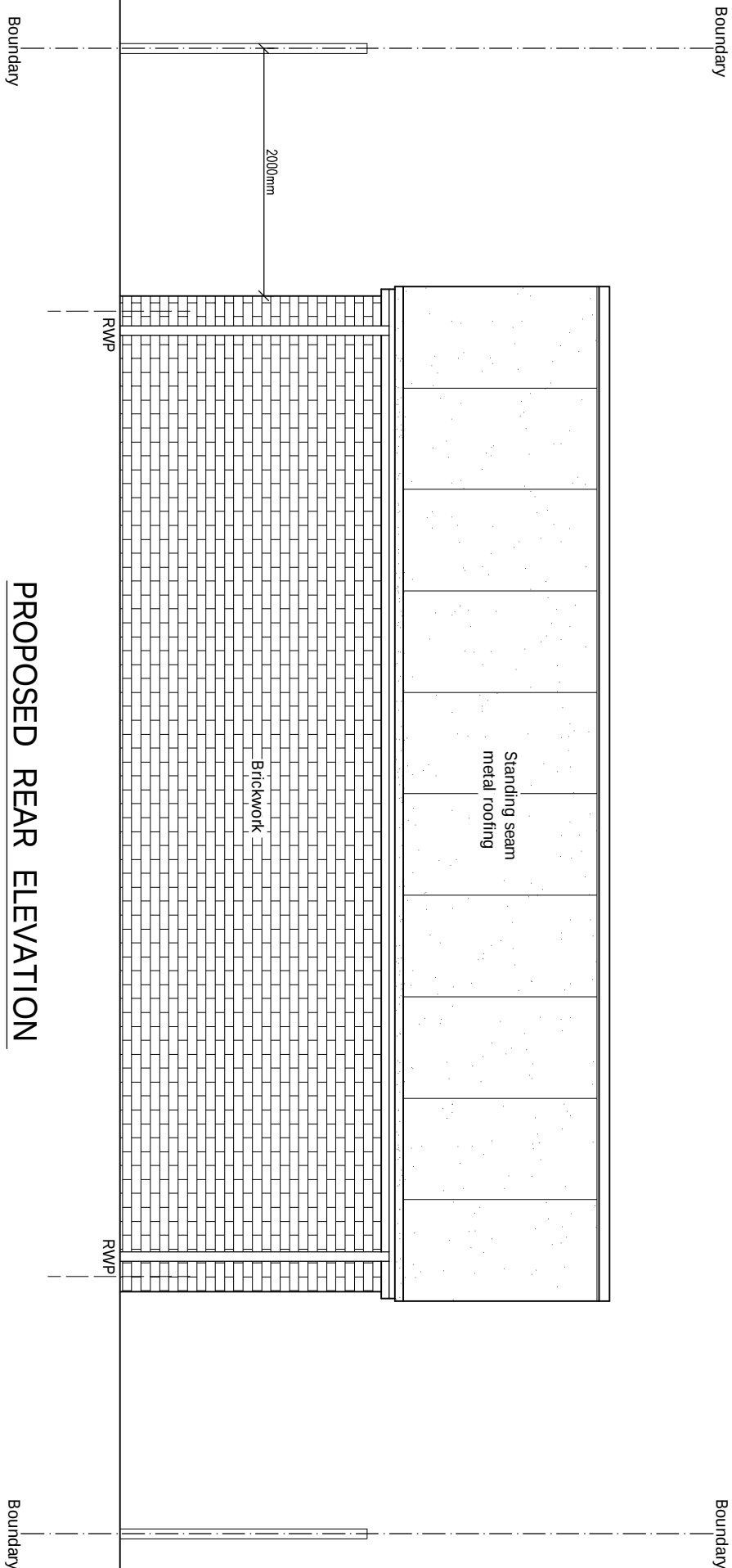




PROPOSED REAR ELEVATION

scale 1:50

DRAWING STATUS		CONSTRUCTION	
REV.	DATE	NAME	DESCRIPTION

GENERAL NOTES:
Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on the ground. The contractor to ensure that the drawings are in accordance with the Engineer's drawings. Structural Engineers' calculations and any specialist supplier's drawings, including details, shall be submitted to the Engineer for approval prior to commencement of building works. The contractor or homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any work starts on site. Liaison: The Building control department that the works are about to commence on site after receiving

7. Where work involves demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary support are in place, 'do not scale off this drawing as the scaling may be off' is written on the underside of the drawing, and the drawing is sealed with a red wax seal.
8. Where work involves the use of any lifting devices or plant for approval of drawing one of the following is written on the underside of the drawing: 'do not scale off this drawing (commence) Builders building without plant being approved by Planning & Building control departments are fully responsible for the likelihood of condemned works.'
9. Any discrepancies, either between writers and site dimensions or between the drawing and other consultants or suppliers drawings, should be brought to the immediate attention of the writer.

OTHER NOTES:

All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed skylights shown on this drawing will be designed not protrude more than 150mm from the existing roof profile. All new proposed windows shown on this drawing which overtake other property's are designed to be non opening and secure glazing. For a permitted development plan design the downer designations on this drawing is set back from the boundary line by 1.0m. All new proposed windows and doors are designed to be in accordance with the latest appropriate codes of practice and to comply with current building regulations.

An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on this and notify building control of results. ALL DRAINAGE SHOWN IS

SITE ADDRESS	79 DEANE CROFT ROAD, PINNER, MIDDLESEX, HA5 1ST
DRAWING TITLE	

Architectural Design Studio

 DPL

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EUSTON, LONDON NW1 1LG

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3. Use appropriate pollution 'best practice' – during construction, prevent the release of all gas, dust, noise, vibration, odour, smoke, steam, fumes, effluent, leachate, sludge, debris, waste, oil, acid, alkaline, water & other service discharge etc., within the time prior to the commencement of excavation.
4. Owner is responsible for establishing one boundary line as per planning or existing control documents. The remaining one or more boundary lines should be established by the client, depending on the circumstances of the site.
5. DPL can not be responsible for clients changing design methods from proposed works. The client is responsible for works being carried out on a building notice. No project should start without a notice.
6. Owner is responsible for purchasing additional materials and covering extra engineering design costs if the client changes the design of the excavation.
7. DPL is responsible for providing the client with the necessary building control approval by building control or any other third party, if excavation during building works is requested.
8. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 metres of adjoining buildings or building over a public sewer. (clients responsibility)

10. All of DPL structural designs are subject to footings being 1m deep, if however the existing foundation is different a trial-bore will need to be dug to establish the depth of construction, or expressed by building control as a cut or piled foundation. This will need to be designed by an engineer with an additional note being implemented.

11. All walls which have been designed to be removed on plans are to be checked on site purchases of steel/a. If non-load bearing then steel/a should not be ordered. No refund or claim can be given against DPL on the design/materials charged for these steel/a.

[illegible]

PROPOSED DRAWINGS	
DRAWN AT HEAD OFFICE	DRAWN BY
SCALE as SHOWN @ A3	01. DECEMBER, 2022
DRAWING NO.	REVISION -
DPL. 04.	www.discountplantsld.com