

NOTE: ALL PROPOSED MATERIALS TO MATCH EXISTING

Notes.

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CDM REGULATIONS 2015

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PARTY WALL ACT

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We confirm that we do not accept any responsibilities regarding the party wall matters or any issues raised by neighbours unless otherwise is agreed with us in writing.

Revision.	Description
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YOUArchitecture Ltd

A 67 Howcroft Cres. N3 1PA
M +44 (0) 77 46 60 40 23
T +44 (0) 20 87 56 04 39
E youarchitecture@gmail.com

Project:

59 Gainsborough Rd

Drawing Title:

Proposed Site Plan

Dwg no: 0059-PR-00	Revision. M	Date: 12.11.2023
Scale:	Drawn by:	Checked by: R.SH.



The application site is within close proximity with local parks, children playgrounds, public amenity spaces and open outdoor lands that can be used for outdoor activities

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Issue:
PLANNING APPLICATION
Not for construction
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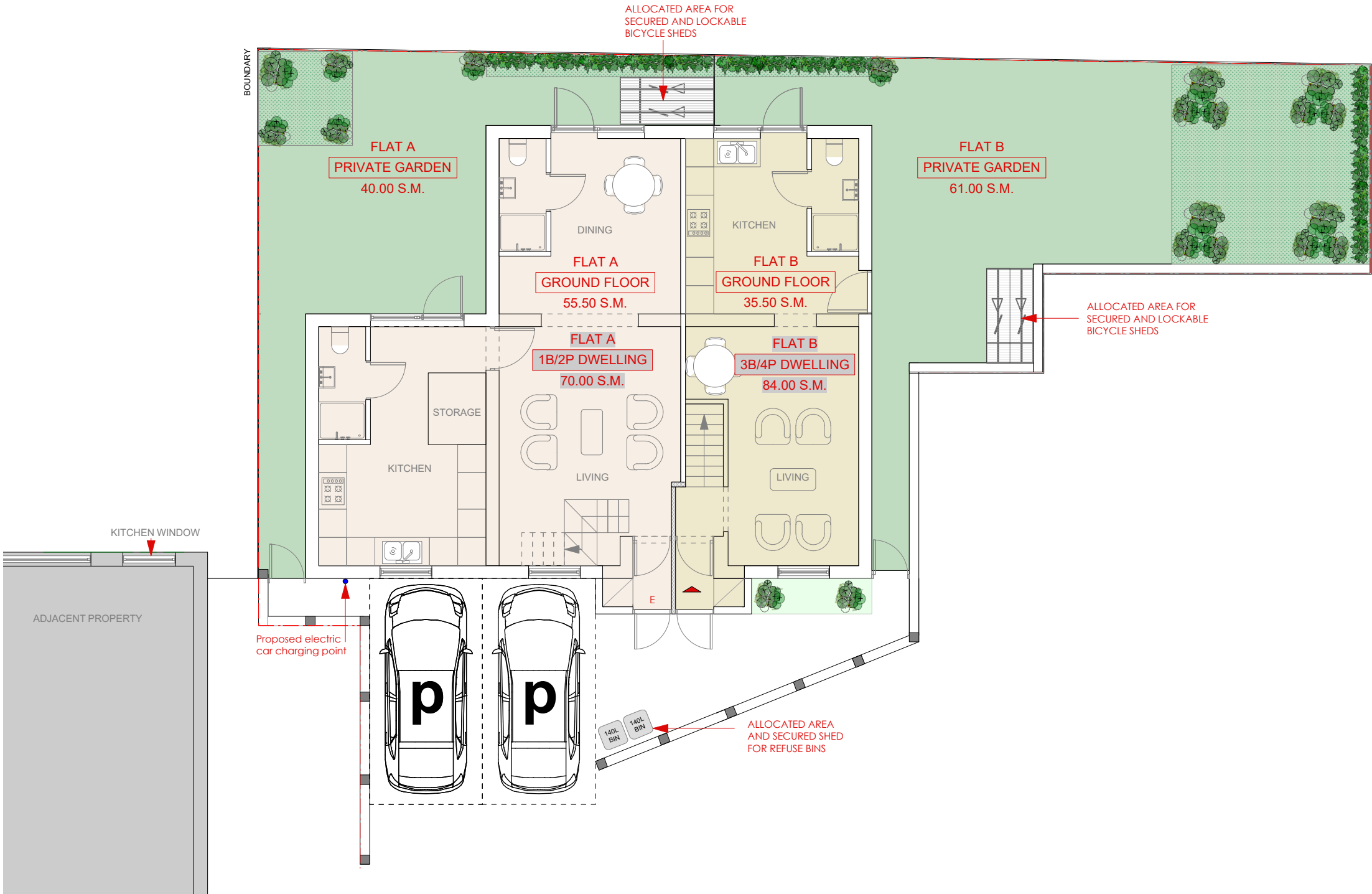
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E youarchitecture@gmail.com

Project:
59 Gainsborough Rd

Drawing Title:
Proposed Ground Floor

Dwg no: 0059-PR-10	Revision. M2	Date: 08.11.2023
Scale: 1:100@a3p	Drawn by:	Checked by: R.S.H.



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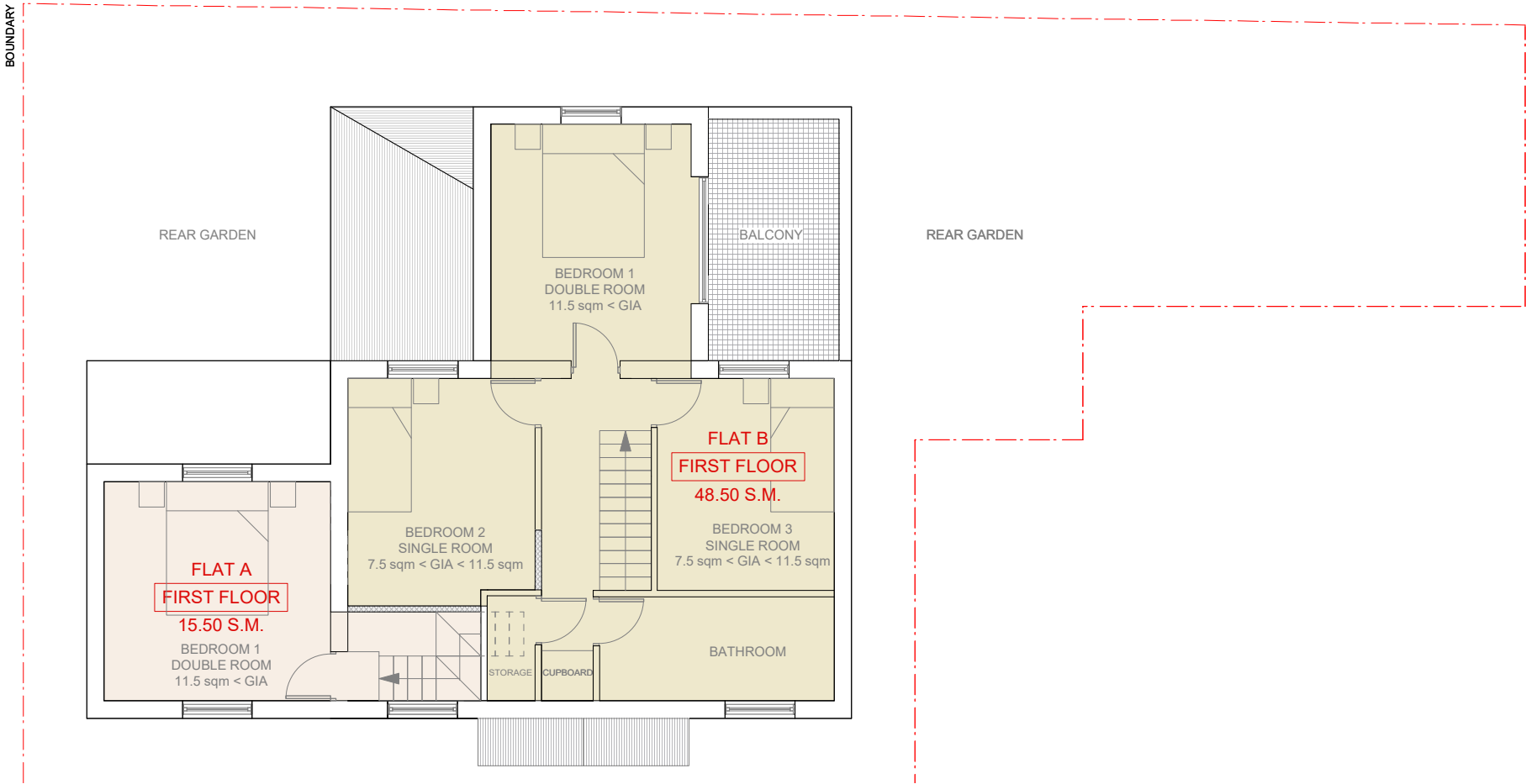
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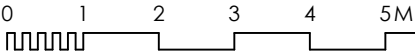
Project:
59 Gainsborough Rd

Drawing Title:
Proposed First Floor

Dwg no: 0059-PR-11	Revision. M2	Date: 08.11.2023
Scale: 1:100@A3p	Drawn by:	Checked by: R.S.H.



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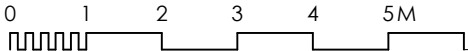
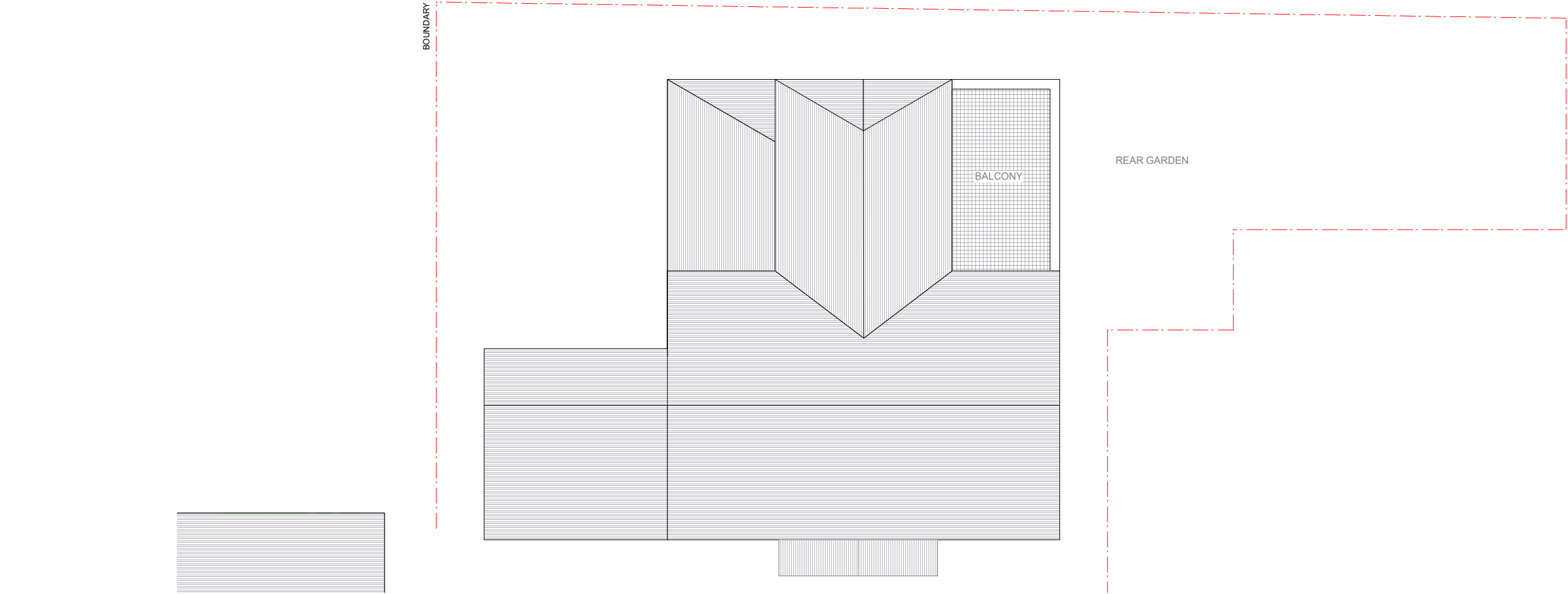
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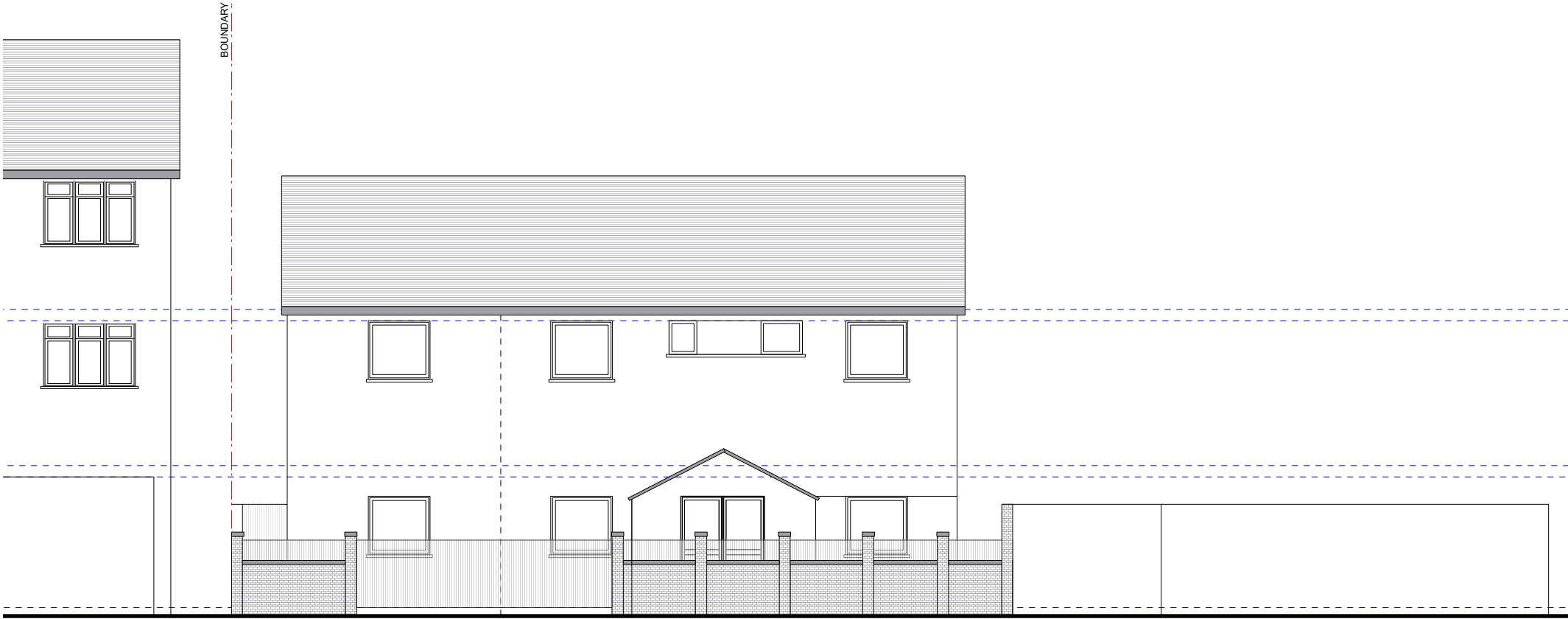
Project:
59 Gainsborough Rd

Drawing Title:
Proposed Roof Plan

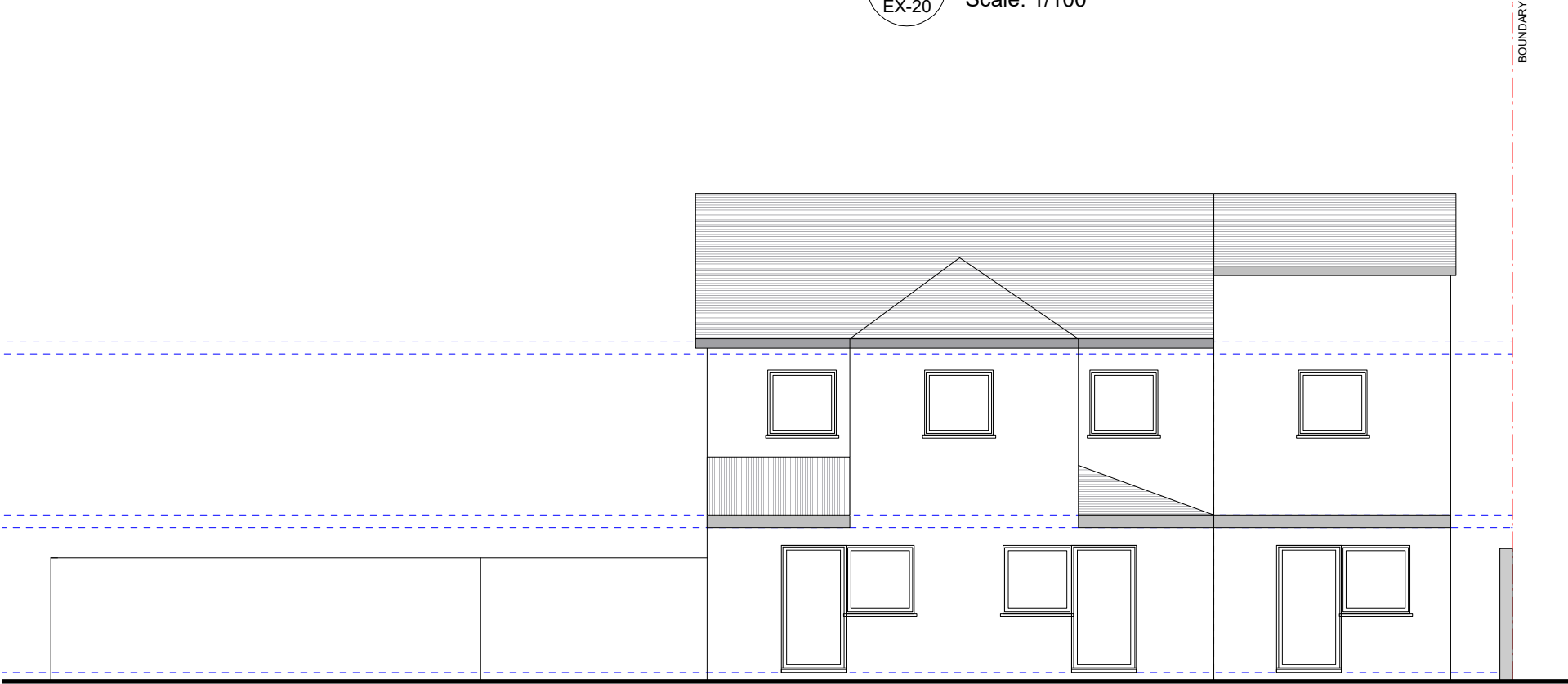
Dwg no: 0059-PR-12	Revision. M	Date: 08.11.2023
Scale: 1:100@a3p	Drawn by:	Checked by: R.S.H.



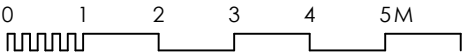
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1 FRONT ELEVATION PLAN
EX-20 Scale: 1/100



1 REAR ELEVATION PLAN
EX-20 Scale: 1/100



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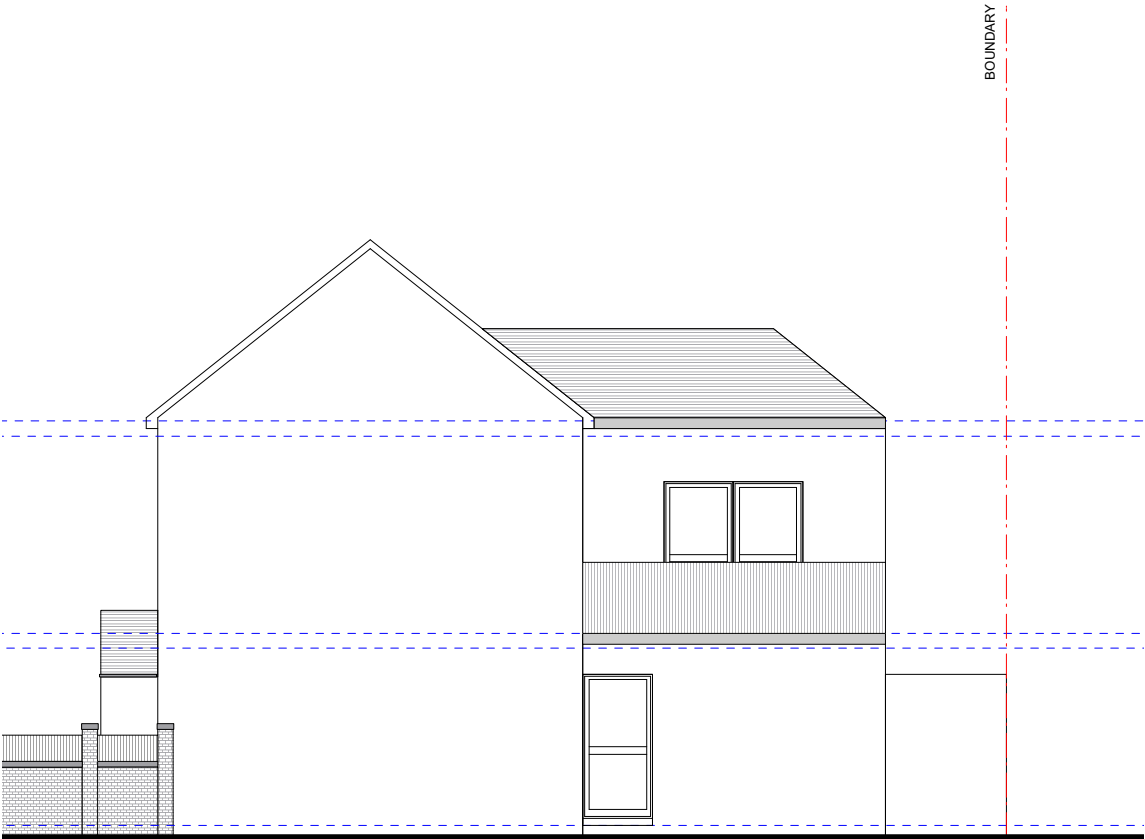
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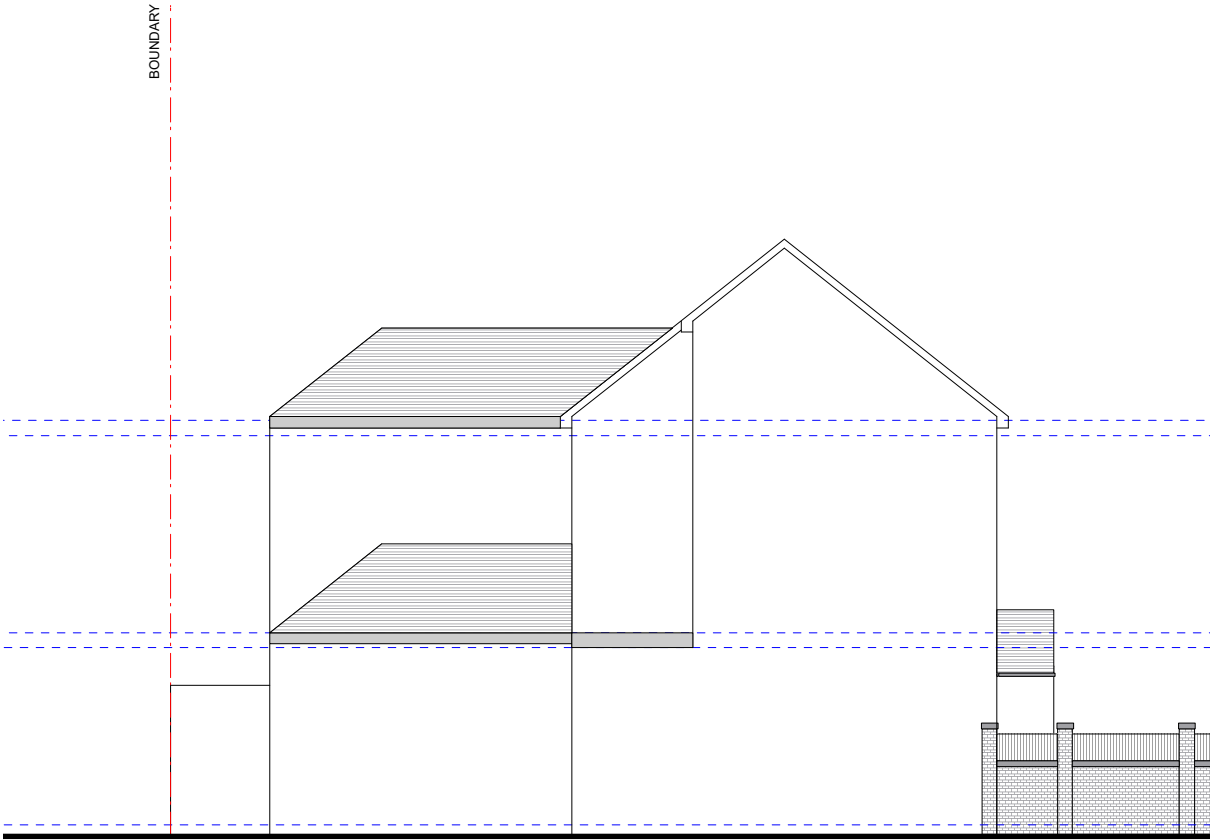
Drawing Title:
Proposed Elevations

Dwg no: 0059-PR-20	Revision. M	Date: 08.11.2023
Scale: 1:100@A3p	Drawn by:	Checked by: R.S.H.

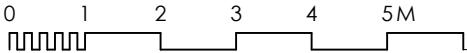
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1 SIDE ELEVATION PLAN
EX-20 Scale: 1/100



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EX-20 Scale: 1/100



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Project:
59 Gainsborough Rd

Drawing Title:
Proposed Elevations

Dwg no: 0059-PR-21	Revision. M	Date: 12.11.2023
Scale: 1:100@A3p	Drawn by:	Checked by: R.S.H.