

NOTE: ALL PROPOSED MATERIALS TO MATCH EXISTING

Issue:

PLANNING APPLICATION

Not for construction

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Notes.

Contractors must verify all dimensions on the site before commencing any work. Do not scale off the drawings, if in doubt ask. Any discrepancies to be reported to us.

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CDM REGULATIONS 2015

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PARTY WALL ACT

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We confirm that we do not accept any responsibilities regarding the party wall matters or any issues raised by neighbours unless otherwise is agreed with us in writing.

Revision.	Description
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YOUArchitecture Ltd

A 67 Howcroft Cres. N3 1PA
M +44 (0) 77 46 60 40 23
T +44 (0) 20 87 56 04 39
E youarchitecture@gmail.com

Project:

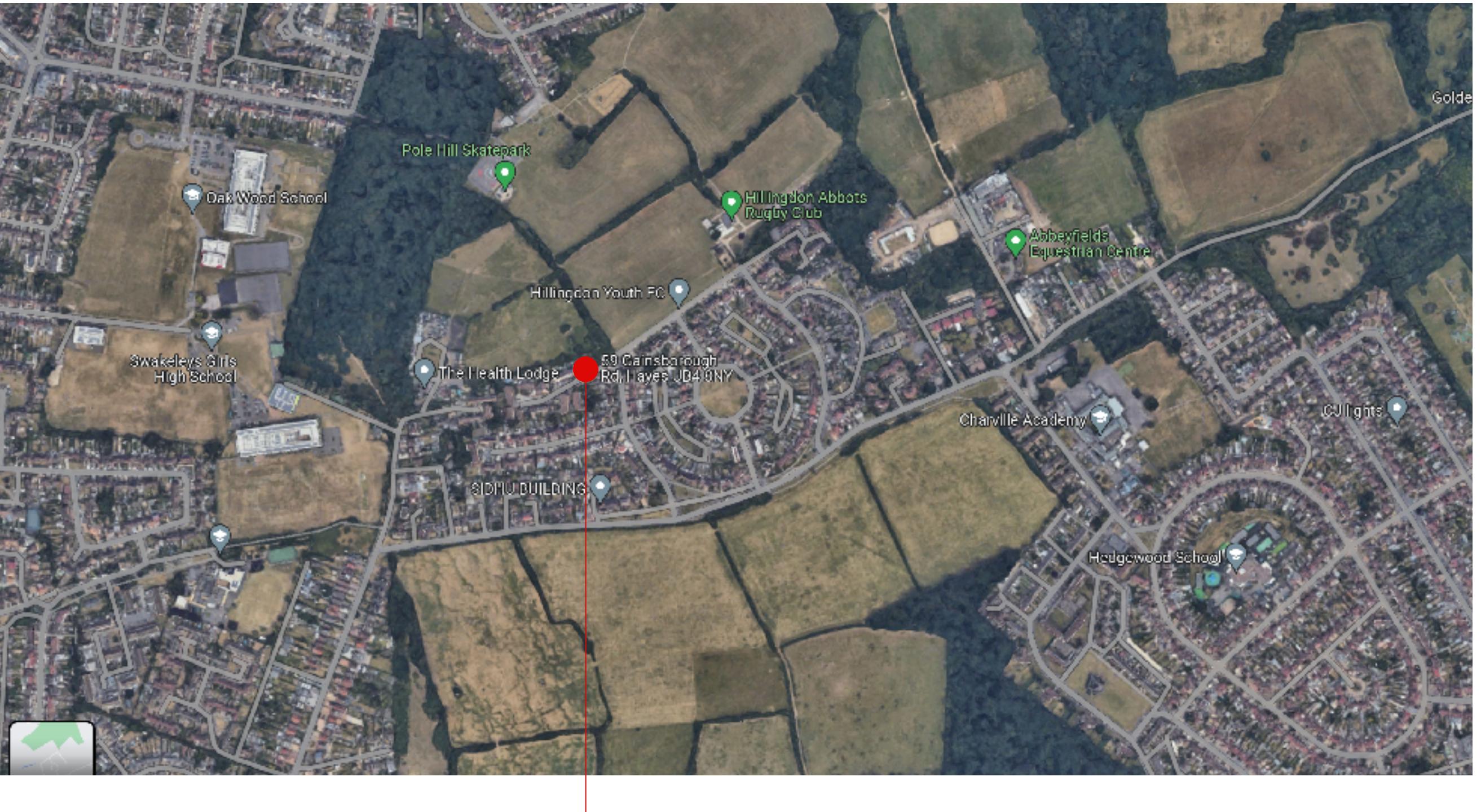
59 Gainsborough Rd

Drawing Title:

Proposed Site Plan

Dwg no:	Revision:	Date:
0059-PR-00	N3	12.11.2023
Scale:	Drawn by:	Checked by:
		R.S.H.

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The application site is within close proximity with local parks, children playgrounds, public amenity spaces and open outdoor lands that can be used for outdoor activities

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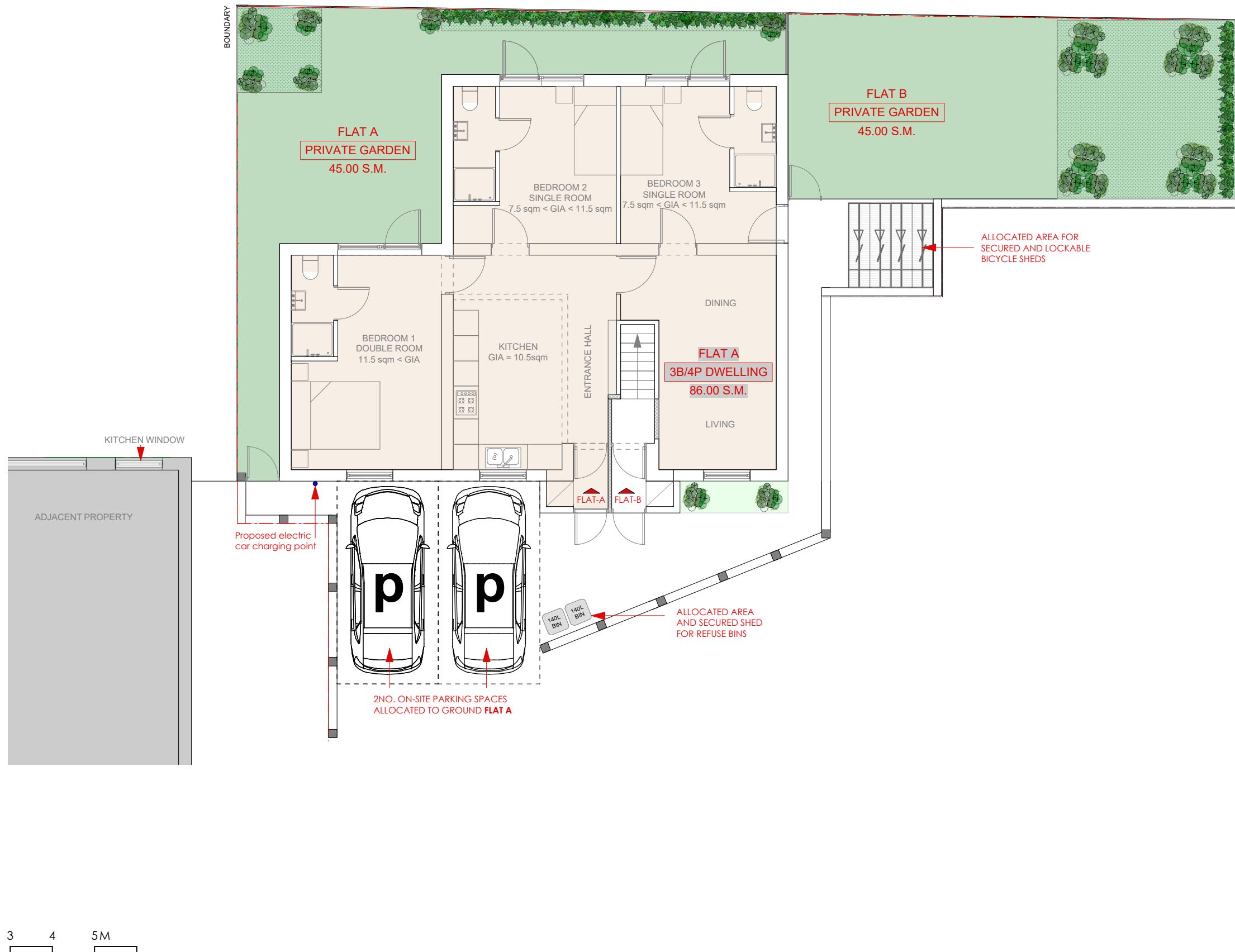
59 Gainsborough Rd

Drawing Title:

Proposed Ground Floor

Dwg no:	Revision:	Date:
0059-PR-10	N3	23.01.2024
1:100@a3p		

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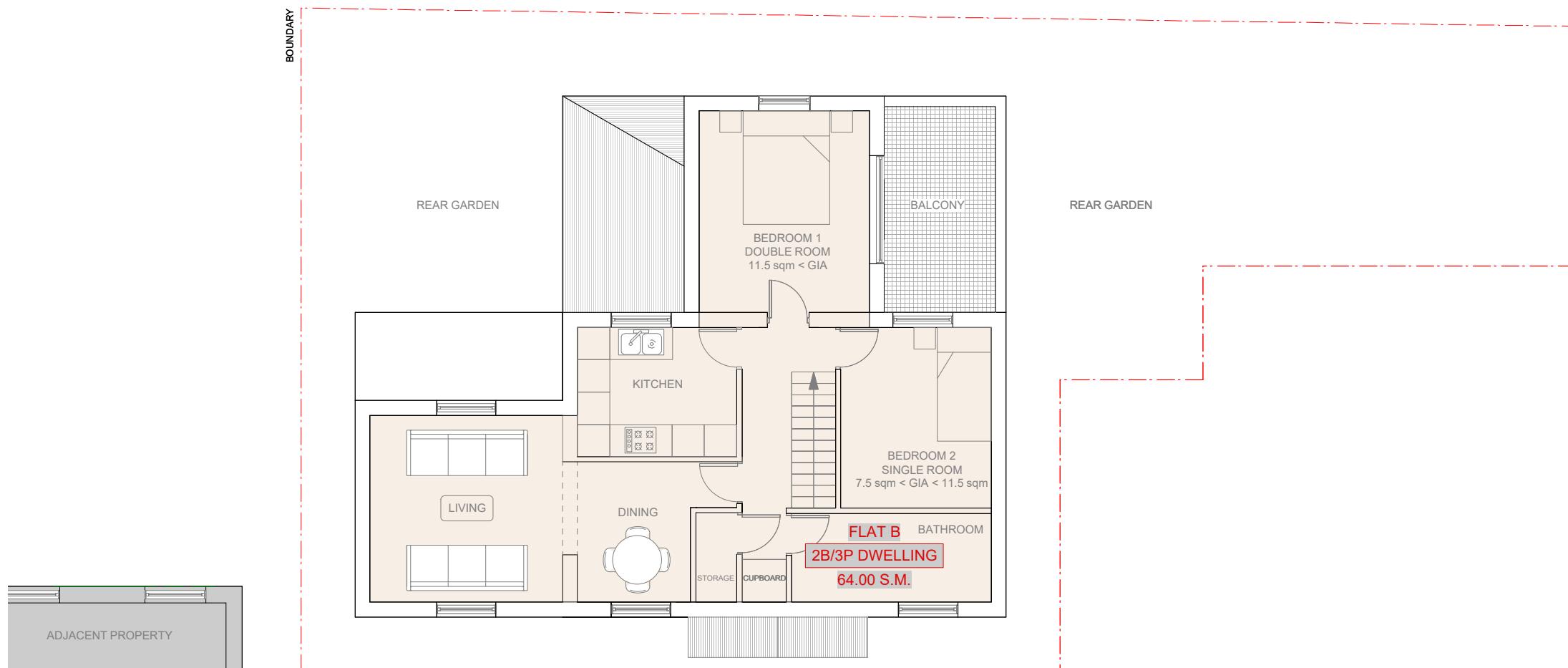
59 Gainsborough Rd

Drawing Title:

Proposed First Floor

Dwg no:	Revision:	Date:
0059-PR-11	N3	08.11.2023
1:100@A3p	R.S.H.	

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0 1 2 3 4 5M

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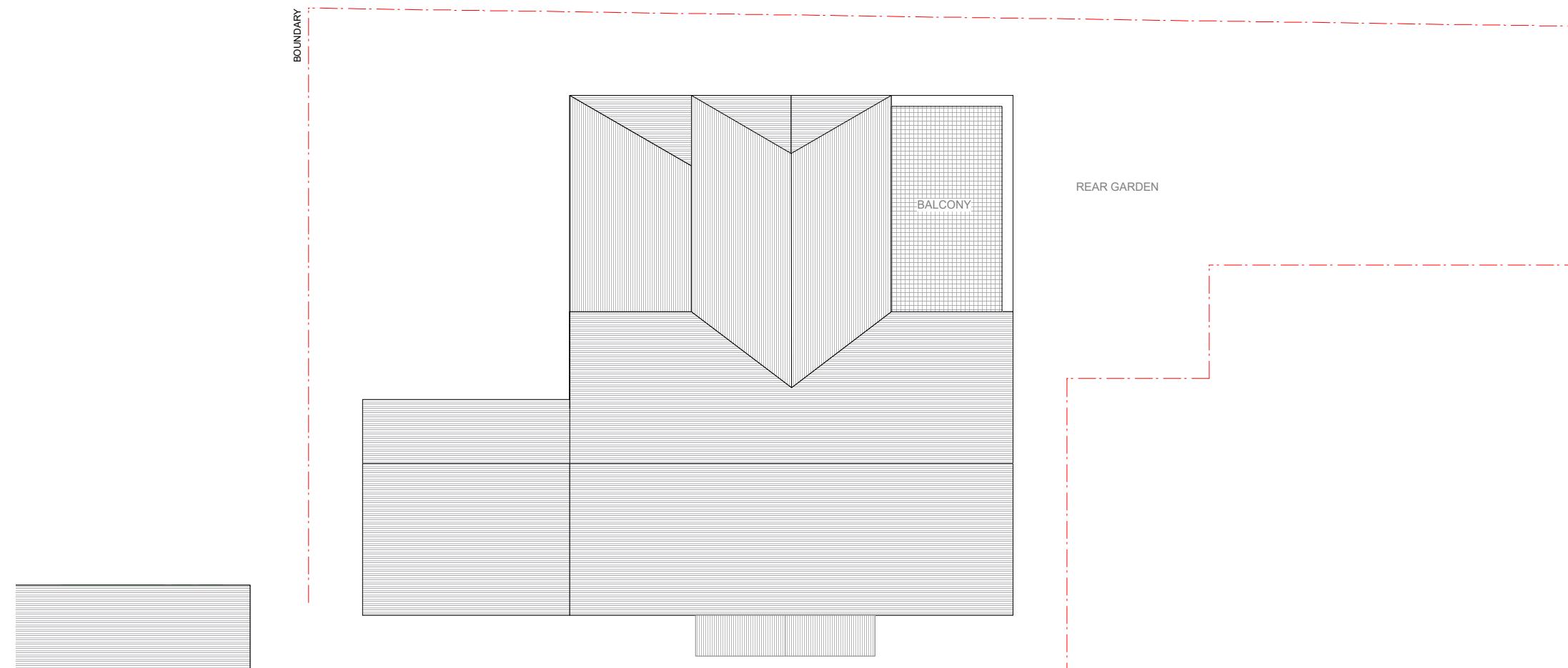
59 Gainsborough Rd

Drawing Title:

Proposed Roof Plan

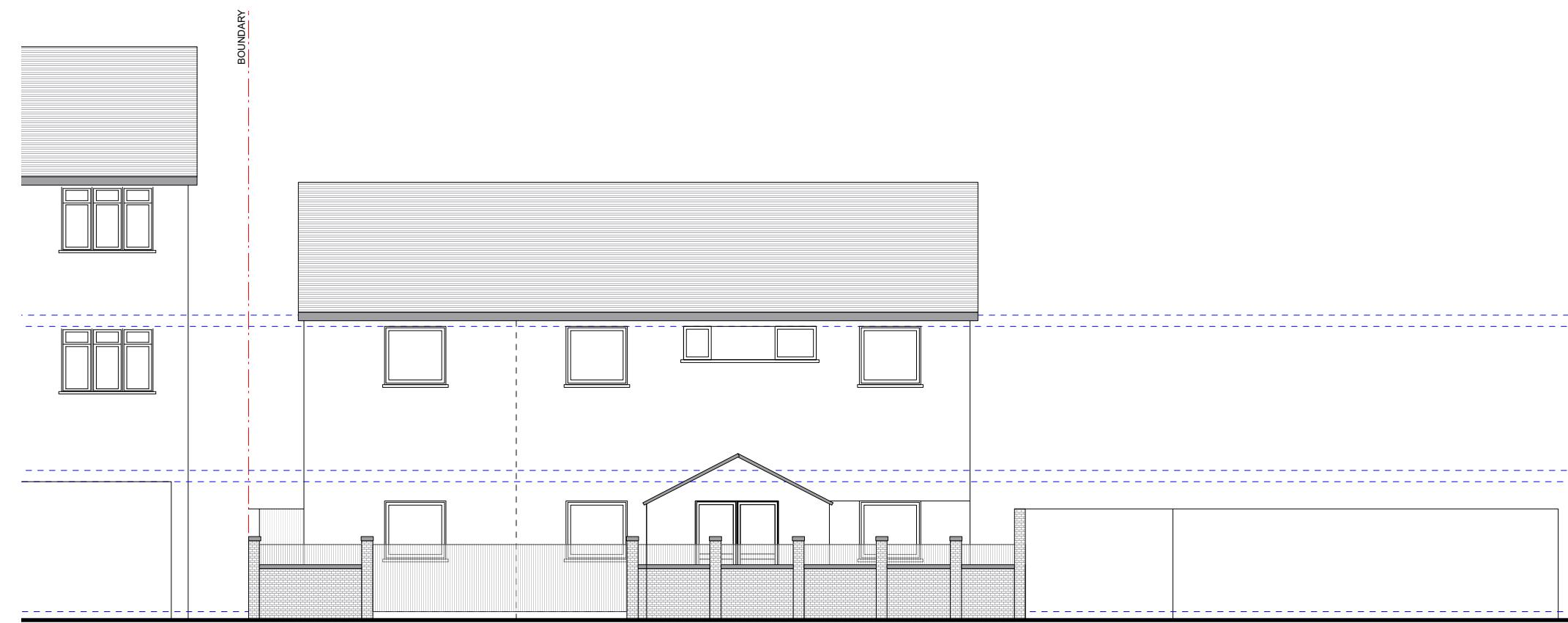
Dwg no:	Revision:	Date:
0059-PR-12	N3	08.11.2023
Scale:	Drawn by:	Checked by:
1:100@A3p		R.S.H.

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0 1 2 3 4 5M

NOTE: ALL PROPOSED MATERIALS TO MATCH EXISTING



1
EX-20
FRONT ELEVATION PLAN
Scale: 1/100

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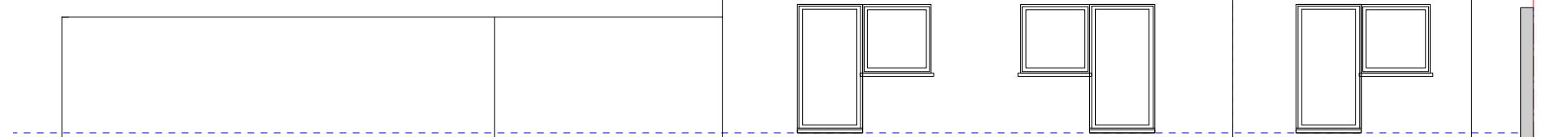
Drawing Title:

Proposed Elevations

Dwg no: 0059-PR-20 Revision: N3 Date: 08.11.2023

Scale: 1:100@A3p Drawn by: R.S.H. Checked by:

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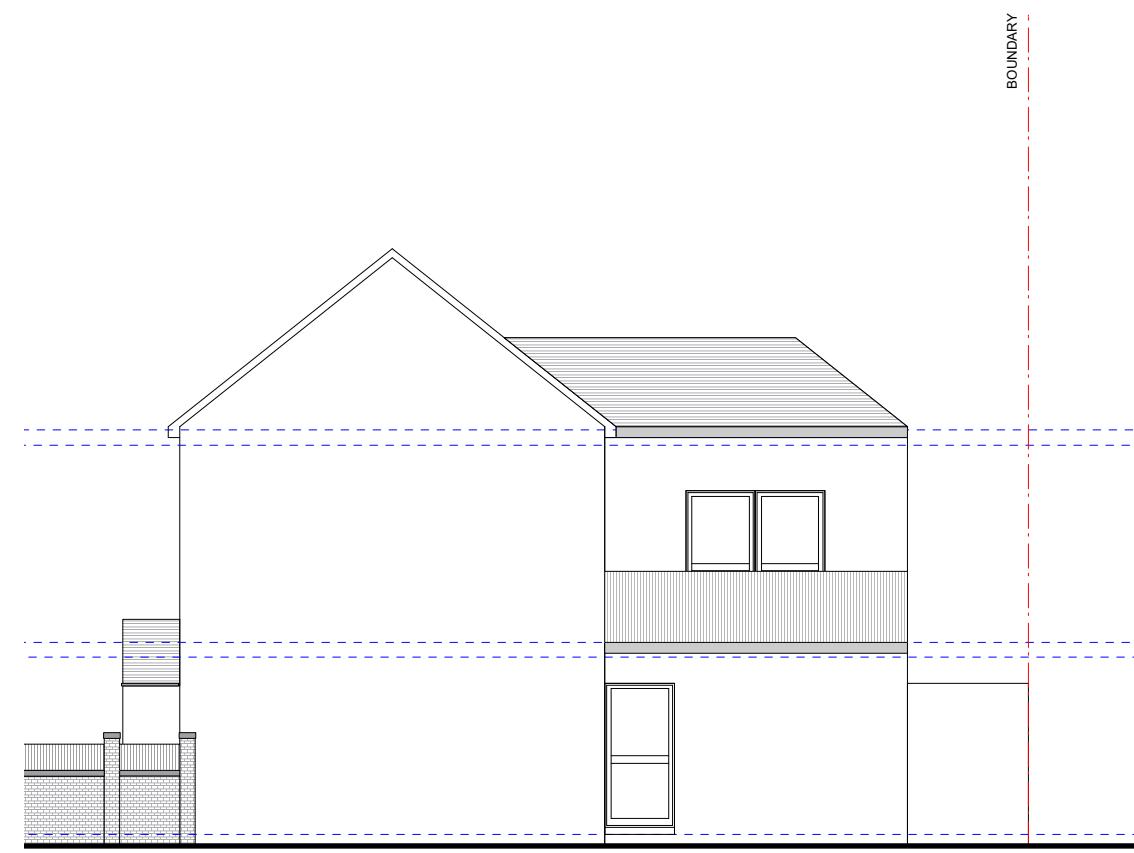


1
EX-20
REAR ELEVATION PLAN
Scale: 1/100

0 1 2 3 4 5M

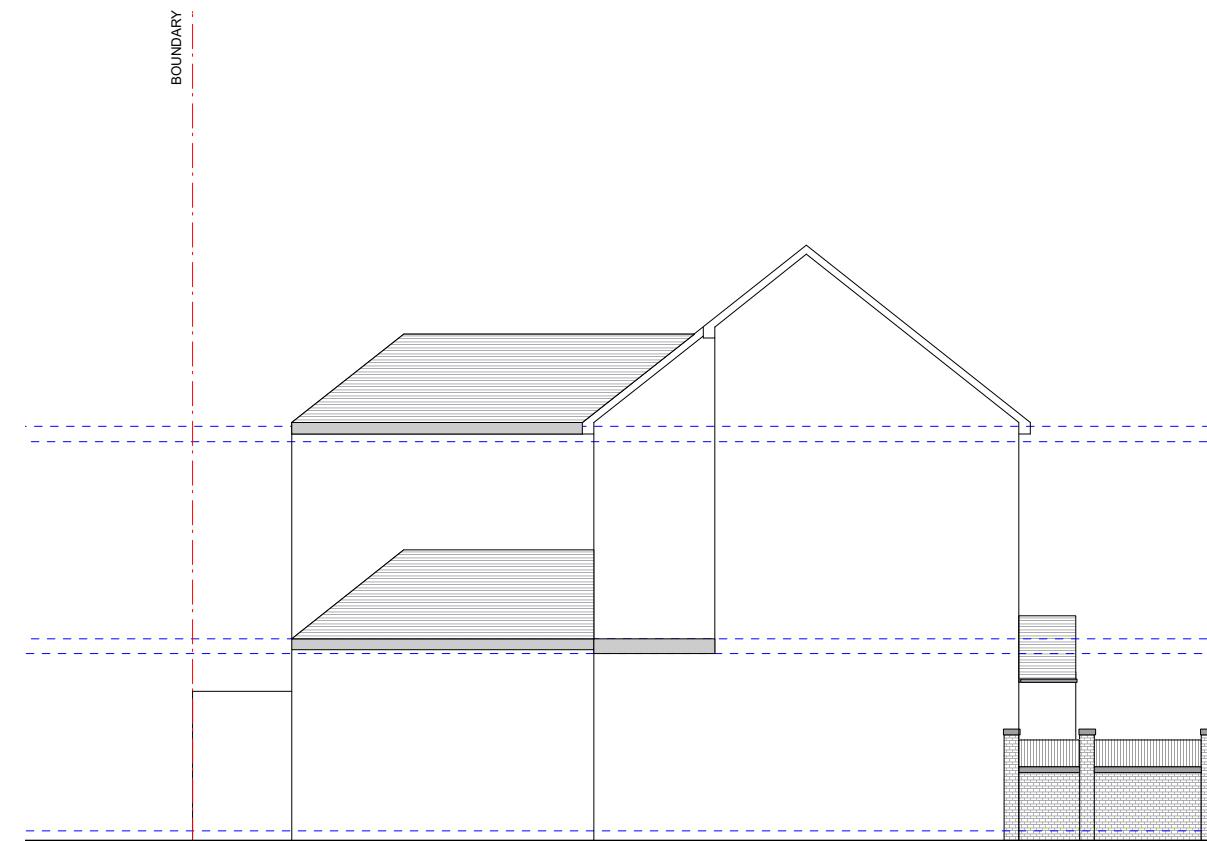
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SIDE ELEVATION PLAN
Scale: 1/100

1
EX-20



SIDE ELEVATION PLAN
Scale: 1/100

1
EX-20

0 1 2 3 4 5M

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Project:
59 Gainsborough Rd

Drawing Title:
Proposed Elevations

Dwg no:	Revision:	Date:
0059-PR-21	N3	12.11.2023
1:100@A3p	R.S.H.	

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