

NOTE: ALL PROPOSED MATERIALS TO MATCH EXISTING

Notes.
Contractors must verify all dimensions on the site before commencing any work. Do not scale off the drawings, if in doubt ask. Any discrepancies to be reported to us.

No construction work before Local Authority consent, Planning Permission, Building Control approval and structural engineer confirmation.

You Architecture Ltd is not liable for any work undertaken without Planning Consent or Building Regulations Approval before or after our involvement.

All structural elements inc. joists, beams and columns to be confirmed by structural engineer. All drawings are to be read in conjunction with all relevant drawings and specifications.

All work is to be carried out to the latest British standards Codes of Practice and recognised working practices. All work and materials should comply with Health and Safety legislation.

You Architecture Ltd reserves all legal rights and copyrights in the drawing.

CDM REGULATIONS 2015
The client must abide by the CDM Regulations 2015 and you may have a requirement under the CDM Regulations 2015 to notify the Health & Safety Executive. The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:
(a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project. **(b)** Exceeds 500 person days.

If the contract exceeds the above then it is the client's duty to appoint a Principal Designer & Principal Contractor. In accordance with the guidelines of CDM2015 we confirm we are not the principal designer and this role will be carried out by others, unless otherwise is agreed with us in writing. You should be aware of the responsibilities of the client and principal designer in accordance with CDM2015. If you are not please let us know and we can provide you guidelines.

PARTY WALL ACT
The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Wall Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:
(a) Various work that is going to be carried out directly to an existing party wall or party structure **(b)** New building at or astride the boundary line between properties **(c)** Excavation within 3 or 6 metres of a neighboring building(s) or structure(s), depending on the depth of the hole or proposed foundations.

We confirm that we do not accept any responsibilities regarding the party wall matters or any issues raised by neighbours unless otherwise is agreed with us in writing.

Revision.	Description
-----------	-------------

YOUArchitecture Ltd

A 67 Howcroft Cres. N3 1PA
M +44 (0) 77 46 60 40 23
T +44 (0) 20 87 56 04 39
E youarchitecture@gmail.com

Project:
59 Gainsborough Rd

Drawing Title:
Proposed Site Plan

Dwg no: 0059-PR-00	Revision. N3	Date: 12.11.2023
Scale:	Drawn by:	Checked by: R.SH.



The application site is within close proximity with local parks, children playgrounds, public amenity spaces and open outdoor lands that can be used for outdoor activities

NOTE: ALL PROPOSED MATERIALS TO MATCH EXISTING

Issue:
PLANNING APPLICATION
Not for construction
© You Architecture Ltd 2020

Notes.
Contractors must verify all dimensions on the site before comencing any work. Do not scale off the drawings, if in doubt ask. Any discrepancies to be reported to us.

No construction work before Local Authority consent, Planning Permission, Building Control approval and structural engineer confirmation.

You Architecture Ltd is not liable for any work undertaken without Planning Consent or Building Regulations Approval before or after our involvement.

All structural elements inc. joists, beams and columns to be confirmed by structural engineer. All drawings are to be read in conjunction with all relevant drawings and specifications.

All work is to be carried out to the latest British standards Codes of Practice and recognised working practices. All work and materials should comply with Health and Safety legislation.

You Architecture Ltd reserves all legal rights and copyrights in the drawing.

CDM REGULATIONS 2015
The client must abide by the CDM Regulations 2015 and you may have a requirement under the CDM Regulations 2015 to notify the Health & Safety Executive. The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:
(a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project. **(b)** Exceeds 500 person days.

If the contract exceeds the above then it is the client's duty to appoint a Principal Designer & Principal Contractor. In accordance with the guidelines of CDM2015 we confirm we are not the principal designer and this role will be carried out by others, unless otherwise is agreed with us in writing. You should be aware of the responsibilities of the client and principal designer in accordance with CDM2015. If you are not please let us know and we can provide you guidelines.

PARTY WALL ACT
The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Wall Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:
(a) Various work that is going to be carried out directly to an existing party wall or party structure **(b)** New building at or astride the boundary line between properties **(c)** Excavation within 3 or 6 metres of a neighboring building(s) or structure(s), depending on the depth of the hole or proposed foundations.

We confirm that we do not accept any responsibilities regarding the party wall matters or any issues raised by neighbours unless otherwise is agreed with us in writing.

Revision.	Description
-----------	-------------

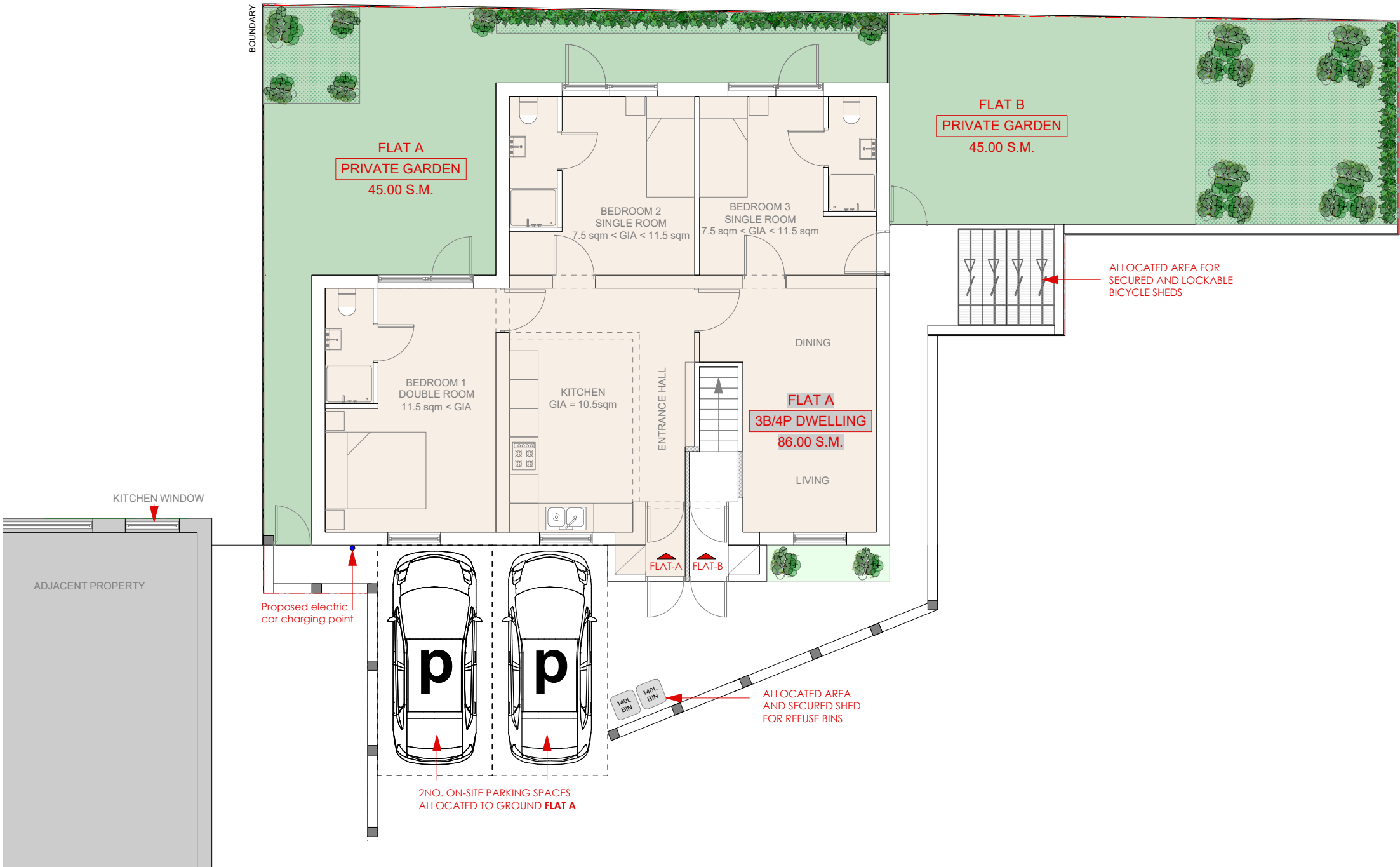
YOUArchitecture Ltd

A 60 Pinkwell Lane. UB3 1PH
M +44 (0) 77 46 60 40 23
T +44 (0) 20 87 56 04 39
E youarchitecture@gmail.com

Project:
59 Gainsborough Rd

Drawing Title:
Proposed Ground Floor

Dwg no: 0059-PR-10	Revision. N3	Date: 23.01.2024
Scale: 1:100@a3p	Drawn by:	Checked by: R.S.H.



NOTE: ALL PROPOSED MATERIALS TO MATCH EXISTING

Notes.

Contractors must verify all dimensions on the site before comencing any work. Do not scale off the drawings, if in doubt ask. Any discrepancies to be reported to us.

No construction work before Local Authority consent, Planning Permission, Building Control approval and structural engineer confirmation.

You Architecture Ltd is not liable for any work undertaken without Planning Consent or Building Regulations Approval before or after our involvement.

All structural elements inc. joists, beams and columns to be confirmed by structural engineer. All drawings are to be read in conjunction with all relevant drawings and specifications.

All work is to be carried out to the latest British standards Codes of Practice and recognised working practices. All work and materials should comply with Health and Safety legislation.

You Architecture Ltd reserves all legal rights and copyrights in the drawing.

CDM REGULATIONS 2015

The client must abide by the CDM Regulations 2015 and you may have a requirement under the CDM Regulations 2015 to notify the Health & Safety Executive. The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works: **(a)** Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project. **(b)** Exceeds 500 person days.

If the contract exceeds the above then it is the client's duty to appoint a Principal Designer & Principal Contractor. In accordance with the guidelines of CDM2015 we confirm we are not the principal designer and this role will be carried out by others, unless otherwise is agreed with us in writing. You should be aware of the responsibilities of the client and principal designer in accordance with CDM2015. If you are not please let us know and we can provide you guidelines.

PARTY WALL ACT

The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Wall Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:

- (a)** Various work that is going to be carried out directly to an existing party wall or party structure **(b)** New building at or astride the boundary line between properties **(c)** Excavation within 3 or 6 metres of a neighboring building(s) or structure(s), depending on the depth of the hole or proposed foundations.

We confirm that we do not accept any responsibilities regarding the party wall matters or any issues raised by neighbours unless otherwise is agreed with us in writing.

Revision.	Description
-----------	-------------

YOUArchitecture Ltd

A

60 Pinkwell Lane. UB3 1PH

M

+44 (0) 77 46 60 40 23

T

+44 (0) 20 87 56 04 39

E

youarchitecture@gmail.com

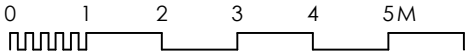
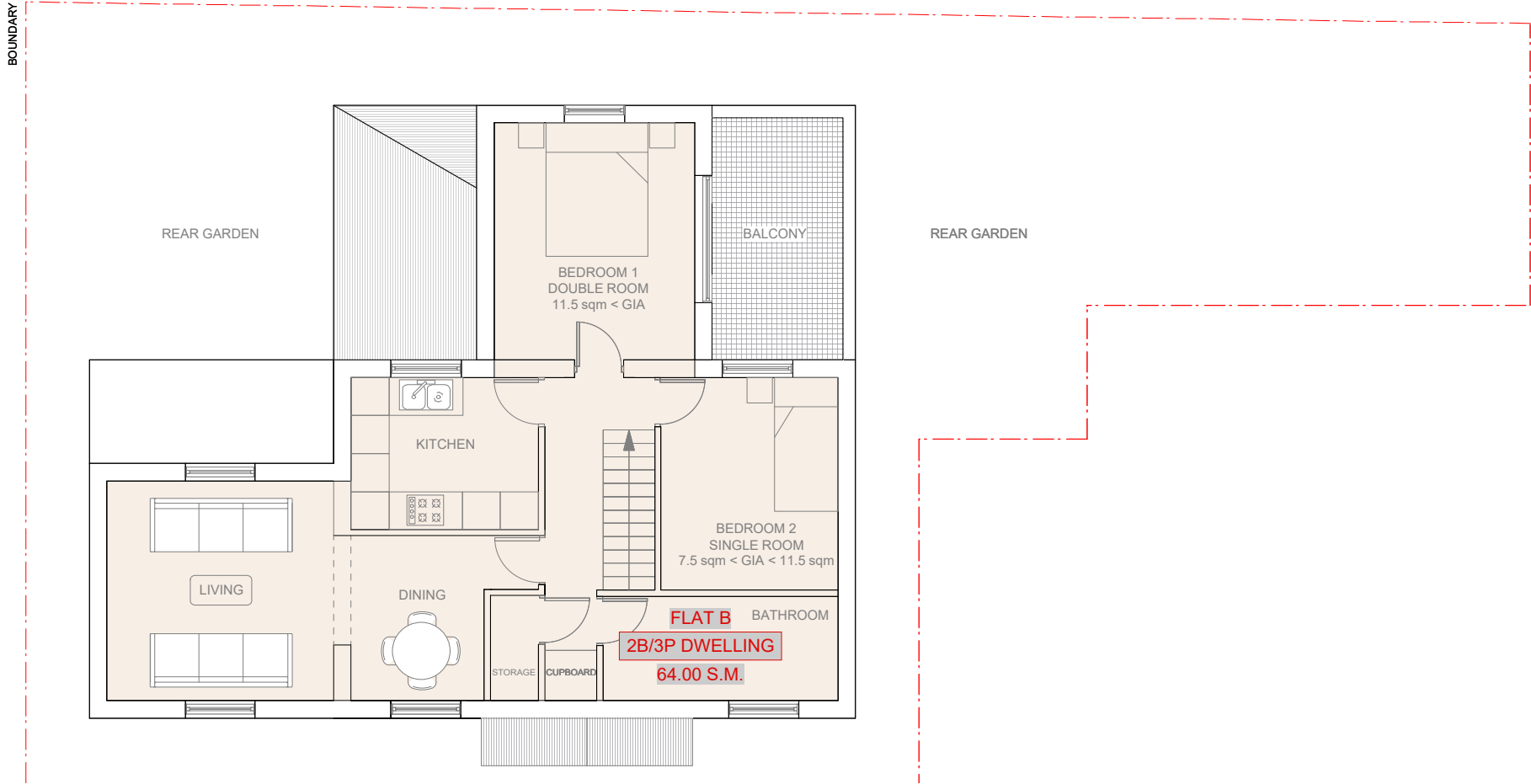
Project:

59 Gainsborough Rd

Drawing Title:

Proposed First Floor

Dwg no: 0059-PR-11	Revision. N3	Date: 08.11.2023
Scale: 1:100@A3p	Drawn by:	Checked by: R.S.H.



NOTE: ALL PROPOSED
MATERIALS TO MATCH
EXISTING

Notes.

Contractors must verify all dimensions on the site before comencing any work. Do not scale off the drawings, if in doubt ask. Any discrepancies to be reported to us.

No construction work before Local Authority consent, Planning Permission, Building Control approval and structural engineer confirmation.

You Architecture Ltd is not liable for any work undertaken without Planning Consent or Building Regulations Approval before or after our involvement.

All structural elements inc. joists, beams and columns to be confirmed by structural engineer. All drawings are to be read in conjunction with all relevant drawings and specifications.

All work is to be carried out to the latest British standards Codes of Practice and recognised working practices. All work and materials should comply with Health and Safety legislation.

You Architecture Ltd reserves all legal rights and copyrights in the drawing.

CDM REGULATIONS 2015

The client must abide by the CDM Regulations 2015 and you may have a requirement under the CDM Regulations 2015 to notify the Health & Safety Executive. The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works: **(a)** Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project. **(b)** Exceeds 500 person days.

If the contract exceeds the above then it is the client's duty to appoint a Principal Designer & Principal Contractor. In accordance with the guidelines of CDM2015 we confirm we are not the principal designer and this role will be carried out by others, unless otherwise is agreed with us in writing. You should be aware of the responsibilities of the client and principal designer in accordance with CDM2015. If you are not please let us know and we can provide you guidelines.

PARTY WALL ACT

The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Wall Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:

(a) Various work that is going to be carried out directly to an existing party wall or party structure **(b)** New building at or astride the boundary line between properties **(C)** Excavation within 3 or 6 metres of a neighboring building(s) or structure(s), depending on the depth of the hole or proposed foundations.

We confirm that we do not accept any responsibilities regarding the party wall matters or any issues raised by neighbours unless otherwise is agreed with us in writing.

Revision.	Description
-----------	-------------

YOUArchitecture Ltd

A 60 Pinkwell Lane. UB3 1PH
M +44 (0) 77 46 60 40 23
T +44 (0) 20 87 56 04 39
E youarchitecture@gmail.com

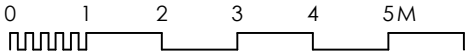
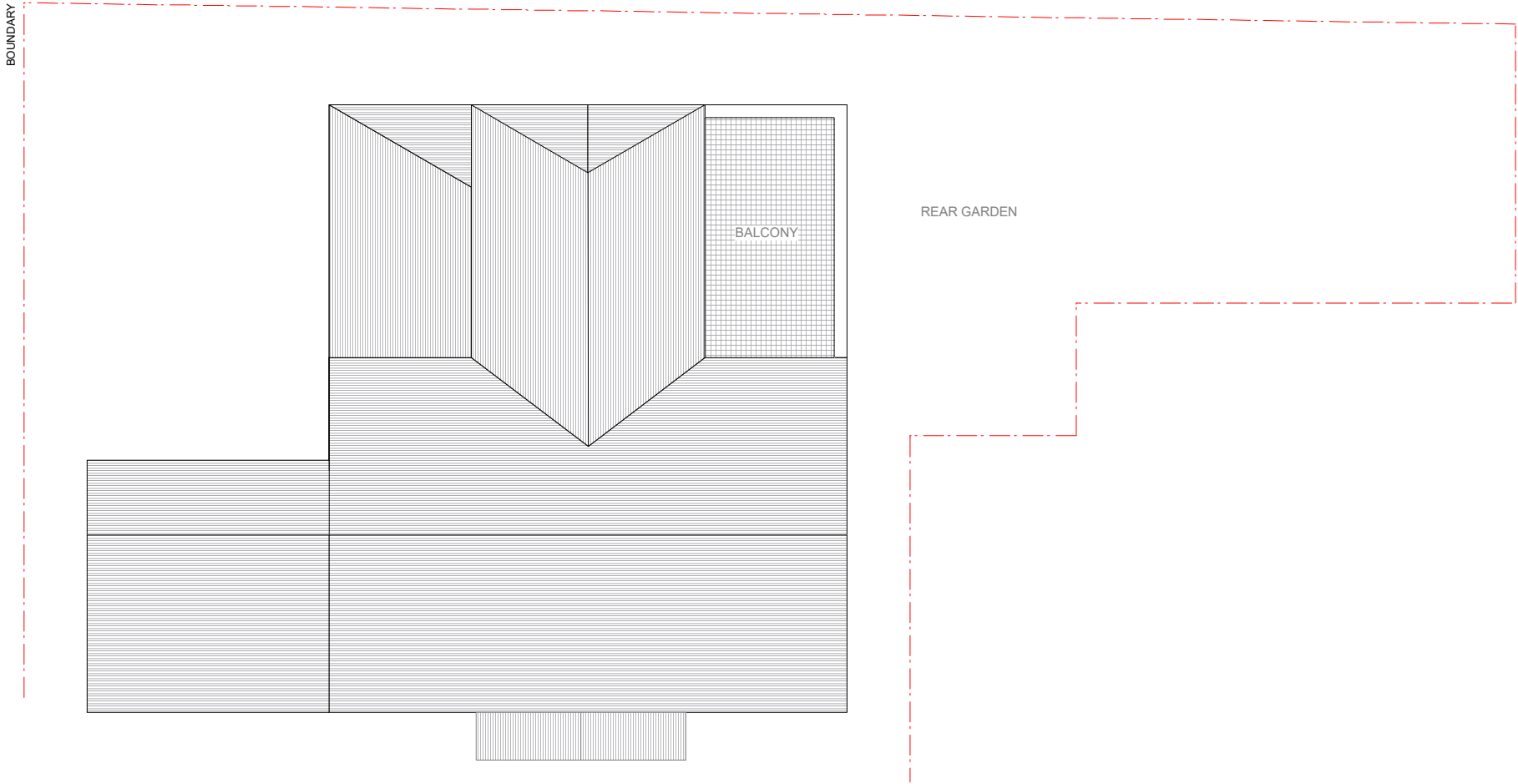
Project:

59 Gainsborough Rd

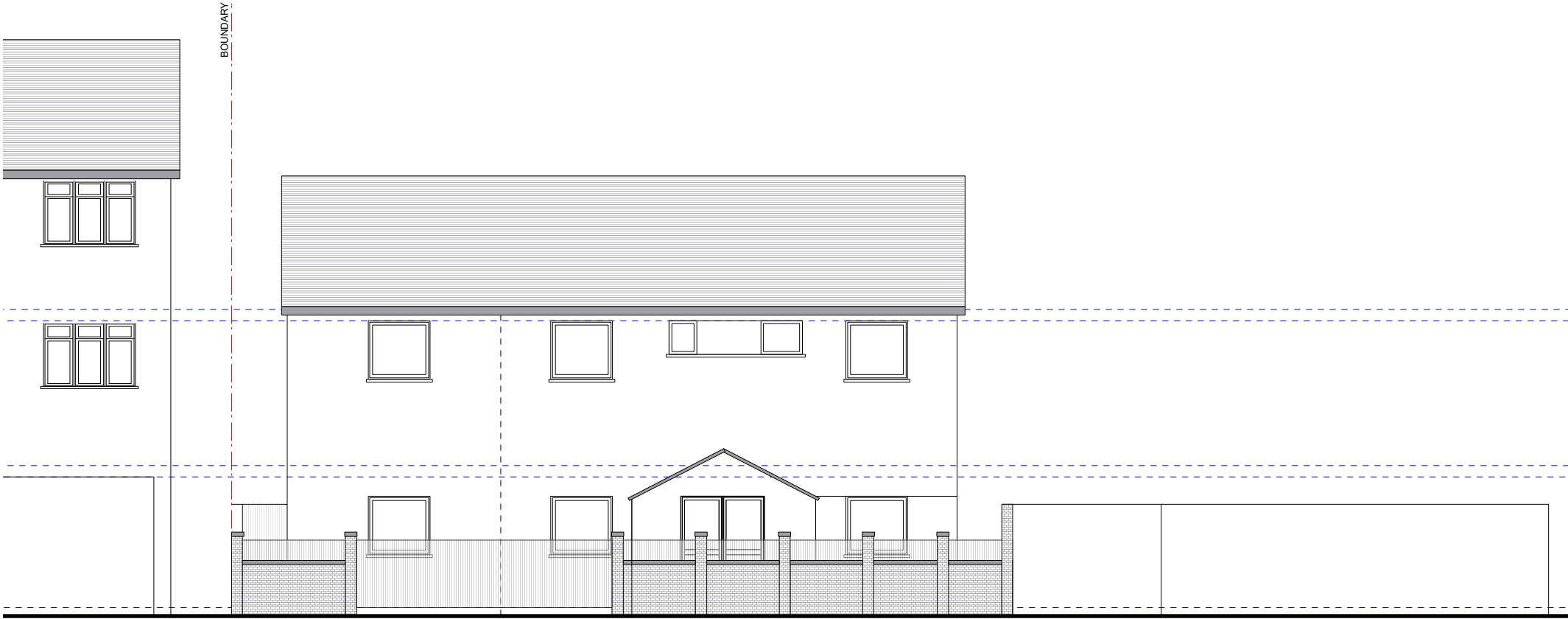
Drawing Title:

Proposed Roof Plan

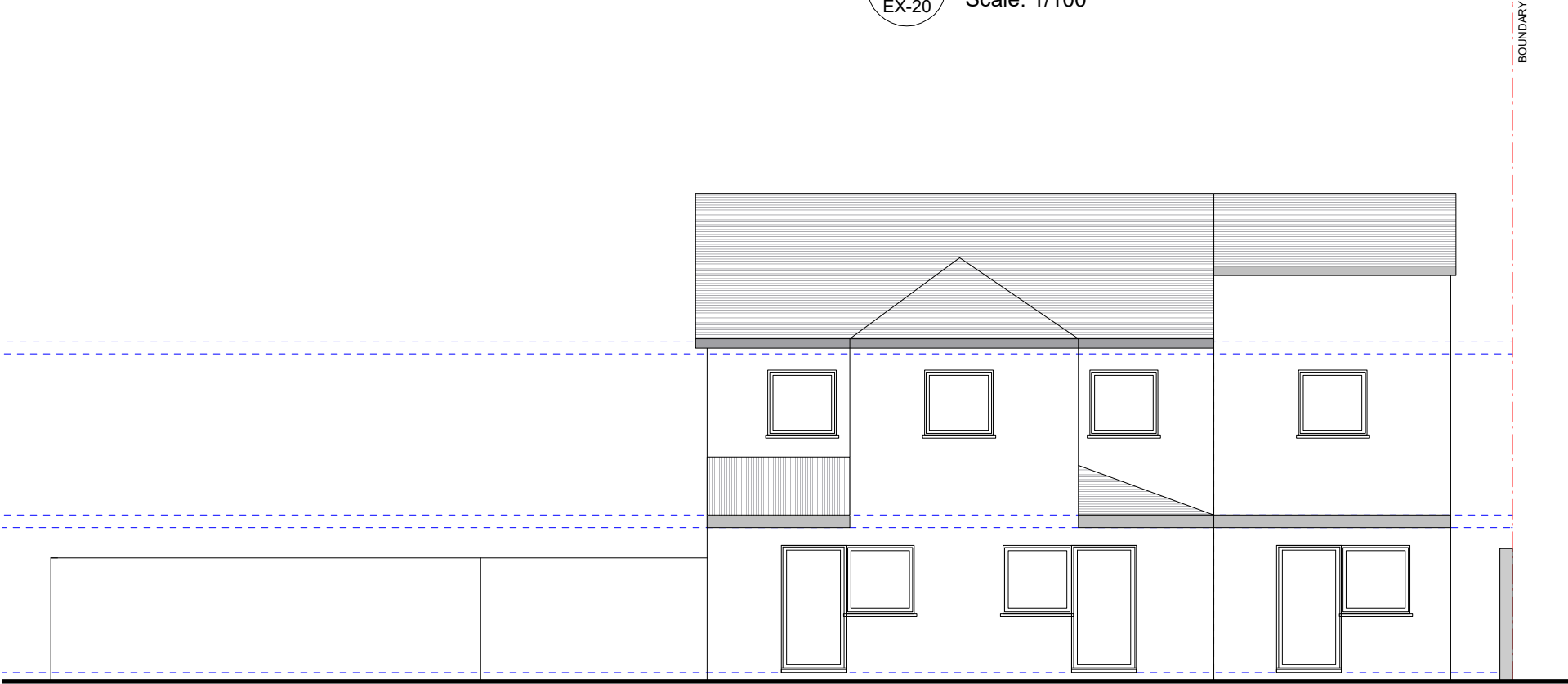
Dwg no: 0059-PR-12	Revision. N3	Date: 08.11.2023
Scale: 1:100@a3p	Drawn by:	Checked by: R.S.H.



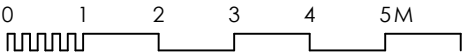
NOTE: ALL PROPOSED MATERIALS TO MATCH EXISTING



1 FRONT ELEVATION PLAN
EX-20 Scale: 1/100



1 REAR ELEVATION PLAN
EX-20 Scale: 1/100



Notes.
Contractors must verify all dimensions on the site before comencing any work. Do not scale off the drawings, if in doubt ask. Any discrepancies to be reported to us.

No construction work before Local Authority consent, Planning Permission, Building Control approval and structural engineer confirmation.

You Architecture Ltd is not liable for any work undertaken without Planning Consent or Building Regulations Approval before or after our involvement.

All structural elements inc. joists, beams and columns to be confirmed by structural engineer. All drawings are to be read in conjunction with all relevant drawings and specifications.

All work is to be carried out to the latest British standards Codes of Practice and recognised working practices. All work and materials should comply with Health and Safety legislation.

You Architecture Ltd reserves all legal rights and copyrights in the drawing.

CDM REGULATIONS 2015
The client must abide by the CDM Regulations 2015 and you may have a requirement under the CDM Regulations 2015 to notify the Health & Safety Executive. The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:
(a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project. (b) Exceeds 500 person days.

If the contract exceeds the above then it is the client's duty to appoint a Principal Designer & Principal Contractor. In accordance with the guidelines of CDM2015 we confirm we are not the principal designer and this role will be carried out by others, unless otherwise is agreed with us in writing. You should be aware of the responsibilities of the client and principal designer in accordance with CDM2015. If you are not please let us know and we can provide you guidelines.

PARTY WALL ACT
The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Wall Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:
(a) Various work that is going to be carried out directly to an existing party wall or party structure (b) New building at or astride the boundary line between properties (c) Excavation within 3 or 6 metres of a neighboring building(s) or structure(s), depending on the depth of the hole or proposed foundations.

We confirm that we do not accept any responsibilities regarding the party wall matters or any issues raised by neighbours unless otherwise is agreed with us in writing.

Revision.	Description
-----------	-------------

YOUArchitecture Ltd

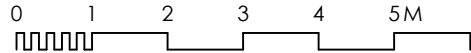
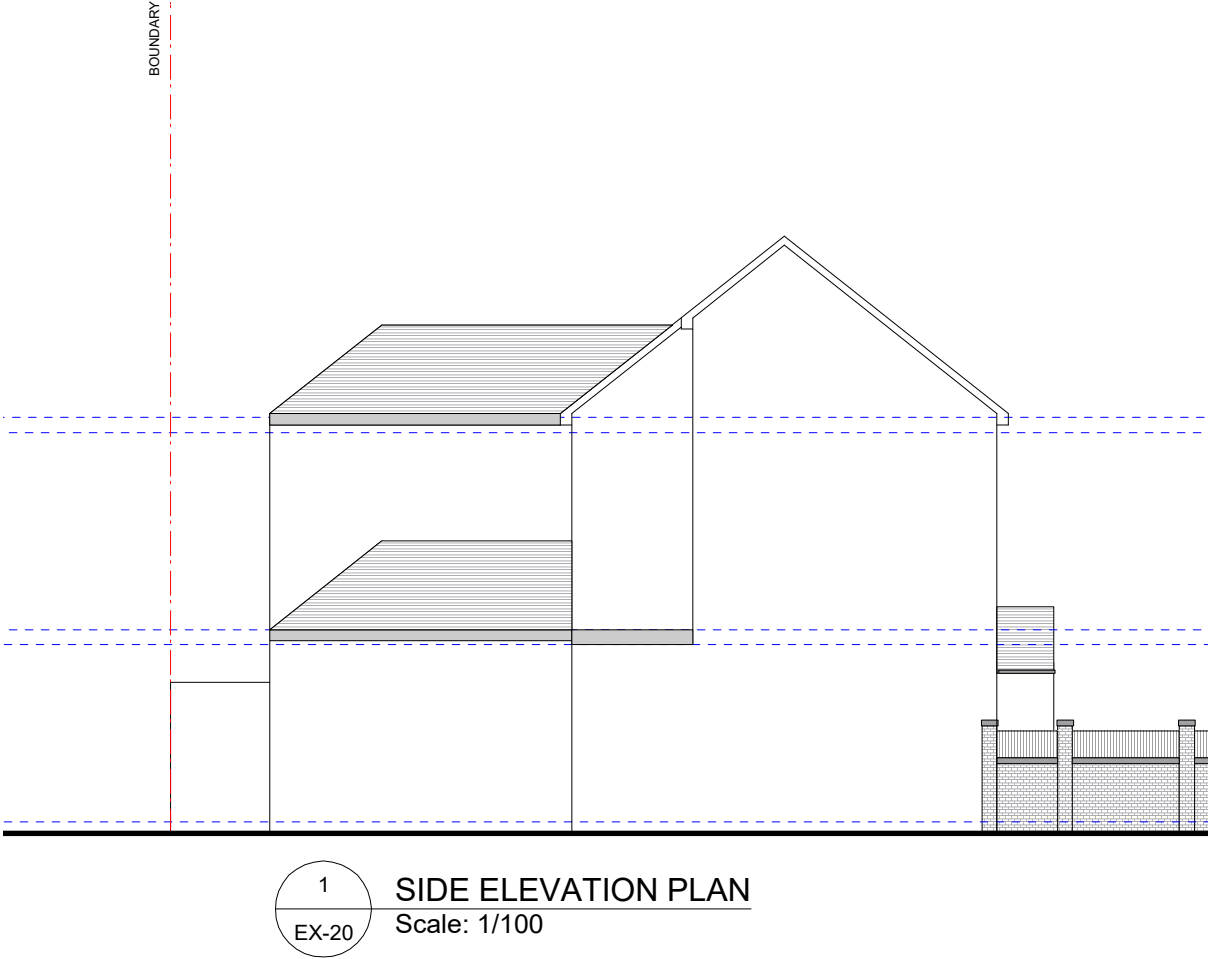
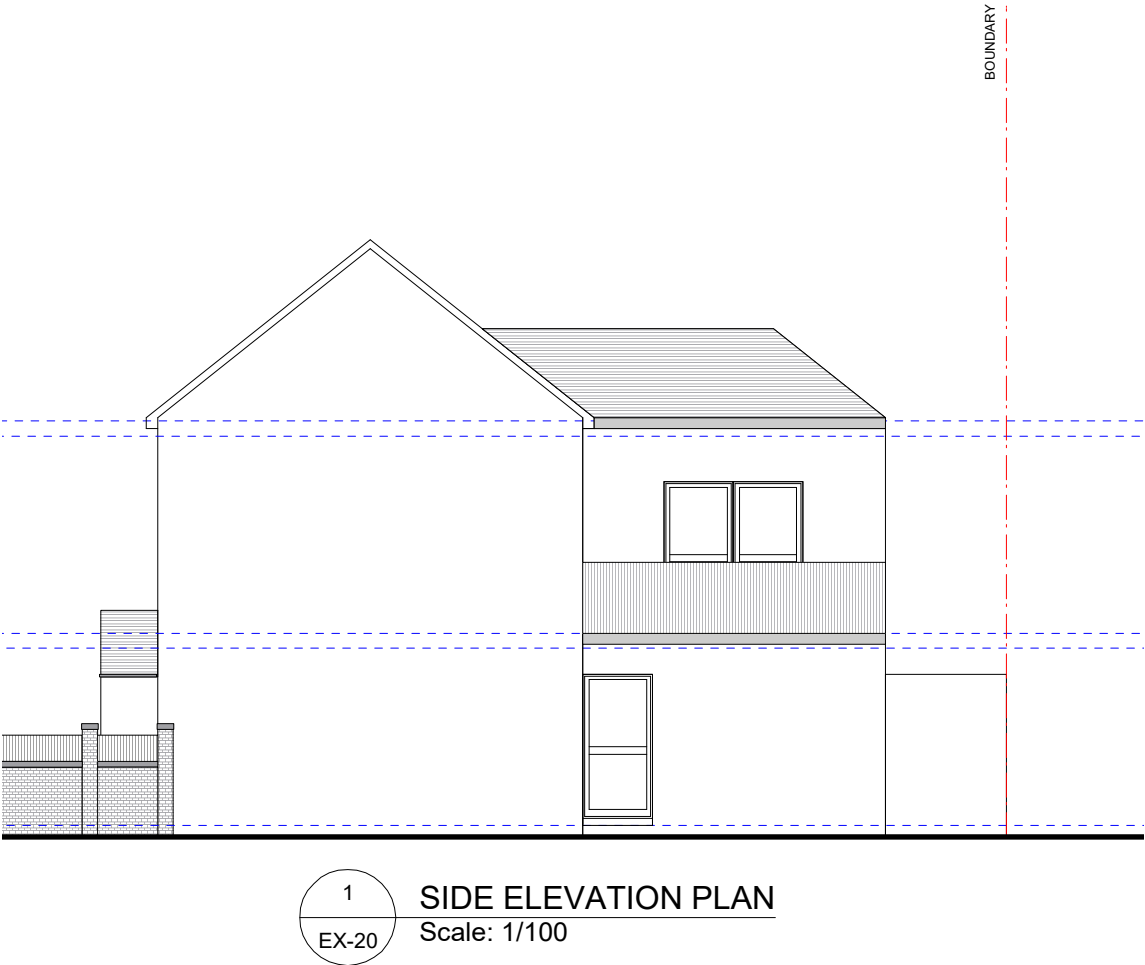
A 60 Pinkwell Lane. UB3 1PH
M +44 (0) 77 46 60 40 23
T +44 (0) 20 87 56 04 39
E youarchitecture@gmail.com

Project:
59 Gainsborough Rd

Drawing Title:
Proposed Elevations

Dwg no: 0059-PR-20	Revision. N3	Date: 08.11.2023
Scale: 1:100@A3p	Drawn by:	Checked by: R.S.H.

NOTE: ALL PROPOSED MATERIALS TO MATCH EXISTING



Notes.
Contractors must verify all dimensions on the site before comencing any work. Do not scale off the drawings, if in doubt ask. Any discrepancies to be reported to us.

No construction work before Local Authority consent, Planning Permission, Building Control approval and structural engineer confirmation.

You Architecture Ltd is not liable for any work undertaken without Planning Consent or Building Regulations Approval before or after our involvement.

All structural elements inc. joists, beams and columns to be confirmed by structural engineer. All drawings are to be read in conjunction with all relevant drawings and specifications.

All work is to be carried out to the latest British standards Codes of Practice and recognised working practices. All work and materials should comply with Health and Safety legislation.

You Architecture Ltd reserves all legal rights and copyrights in the drawing.

CDM REGULATIONS 2015
The client must abide by the CDM Regulations 2015 and you may have a requirement under the CDM Regulations 2015 to notify the Health & Safety Executive. The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:
(a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project. **(b)** Exceeds 500 person days.

If the contract exceeds the above then it is the client's duty to appoint a Principal Designer & Principal Contractor. In accordance with the guidelines of CDM2015 we confirm we are not the principal designer and this role will be carried out by others, unless otherwise is agreed with us in writing. You should be aware of the responsibilities of the client and principal designer in accordance with CDM2015. If you are not please let us know and we can provide you guidelines.

PARTY WALL ACT
The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Wall Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:
(a) Various work that is going to be carried out directly to an existing party wall or party structure **(b)** New building at or astride the boundary line between properties **(c)** Excavation within 3 or 6 metres of a neighboring building(s) or structure(s), depending on the depth of the hole or proposed foundations.

We confirm that we do not accept any responsibilities regarding the party wall matters or any issues raised by neighbours unless otherwise is agreed with us in writing.

Revision.	Description
-----------	-------------

YOUArchitecture Ltd

A 60 Pinkwell Lane. UB3 1PH
M +44 (0) 77 46 60 40 23
T +44 (0) 20 87 56 04 39
E youarchitecture@gmail.com

Project:

59 Gainsborough Rd

Drawing Title:

Proposed Elevations

Dwg no: 0059-PR-21	Revision. N3	Date: 12.11.2023
Scale: 1:100@α3p	Drawn by:	Checked by: R.SH.