

DRAFT

Phase 1 Desk Study

67 Pinkwell Lane - Hayes



LUSTRE
CONSULTING

Non-Technical Summary

What is Proposed?	It is understood that proposals involve the clearance of the site and construction of a residential development. The proposed development will comprise two low rise houses with private gardens and parking.
What is the Problem?	<p>The following potential sources of contamination have been identified:</p> <ul style="list-style-type: none"> ▶ Onsite: Residential land use and infilled drainage ditch ▶ Offsite: <ul style="list-style-type: none"> ○ Agricultural including farmyard, nursery land use and allotment gardens ○ Historical landfills, cemetery and infilled clay pit ○ Depot
What is the Result?	<p>Potential contamination from the current and historical land uses both onsite and offsite have been identified to represent unacceptable risks as follows:</p> <p>Onsite:</p> <ul style="list-style-type: none"> ○ Moderate/ low risk to residents and site visitors, shallow groundwater adjacent land, flora, buried services, below ground structures and foundations as well as building and site occupants. <p>Offsite:</p> <ul style="list-style-type: none"> ○ Moderate risk to site occupants from ground gas associated with historical landfills ○ Moderate/ low risk to site occupants as well as on-site groundwater from remaining offsite sources
What are the Next Steps?	<p>This report will be submitted to the local planning authority to support the discharge of planning condition 12(i) part a for planning application reference 54986/APP/2023/3718.</p> <p>To mitigate the above identified risks, the following elements will need to be carried out in order to discharge planning condition 12(i) part b and would be expected to be prior to commencement of the development:</p> <ul style="list-style-type: none"> ▶ Undertake a Phase 2 Site Investigation ▶ Carry out a Non-Specialist Watching Brief during groundworks.

Report Record

Project Name	67 Pinkwell Lane - Hayes
Client	Great Plans
Report Type	Phase 1 Desk Study
Report Ref	R294-PH1-01.0_5107
Issue Date	September 2024
Author	Toby Hill - BSc (Hons)
Reviewer	Claire Munns – BSc (Hons) CSci MEnvSc

Report Revisions

Revision Ref	Date	Author	Details

Contents

1.0	Introduction.....	4
2.0	Land Use.....	8
3.0	Sensitivity & Anthropology	23
4.0	Conclusions & Next Steps	37

Figures

Figure 1	Site Location Plan.....	5
Figure 2	Proposed Development Plan.....	6
Figure 3	Aerial Imagery.....	8

Tables

Table 1	Site Details.....	4
Table 2	Regulatory Information.....	12
Table 3	On Site History	16
Table 4	Ground Hazards On-Site.....	26
Table 5	BGS Sites & Radon	26

Appendices

APPENDIX A:	Envirocheck Report
APPENDIX B:	Historical Maps
APPENDIX C:	Borehole Information



1.0 Introduction

- 1.1 This report presents the findings of a Phase 1 Desk Study - a land contamination assessment that has been prepared in line with best practice guidance and planning policy.

What is a Phase 1 Desk Study?

- 1.2 A Phase 1 Desk Study will determine if potential contamination is present at a site, and importantly, if that contamination poses a risk to future site users or the environment. If the Desk Study finds that the level of risk is unacceptable, you may need to further investigate with a Phase 2 Site Investigation and possibly undertake remediation.
- 1.3 The Phase 1 assessment will consider the historical and current uses of a site and understand its environmental sensitivity, within a conceptual site model (CSM). The report will provide risk ratings assigned to different components of the CSM and give actionable recommendations. Recommendations may include further investigation of any issues or ways to reduce the risk. If no unacceptable risks are identified, then typically no further environmental assessment is required. Find out more about Phase 1 Desk Studies [here](#).
- 1.4 Understanding and reducing the risks ensures that you have a safe and compliant site. When dealing with planning, the National Planning Policy Framework (NPPF) and associated policies require an appropriate land contamination risk assessment at the initial planning stage, whilst the Land Contamination Risk Management guidance (LCRM) requires a phased, risk-based approach when dealing with land affected by contamination in the UK. A Phase 1 Desk Study is the first part of that iterative investigation process.

The Subject Site

Table 1 Site Details

Address	67 Pinkwell Lane, in Hayes, UB3 1PJ
Eastings, Northings	508110, 178940
Area	0.06ha

- 1.5 The site, quadrilateral in plan, currently comprises a single two-storey semi-detached house with a hardstanding driveway to the east and soft landscaped garden to the west. The site is located within an urban area. The site area is shown in Figure 1.

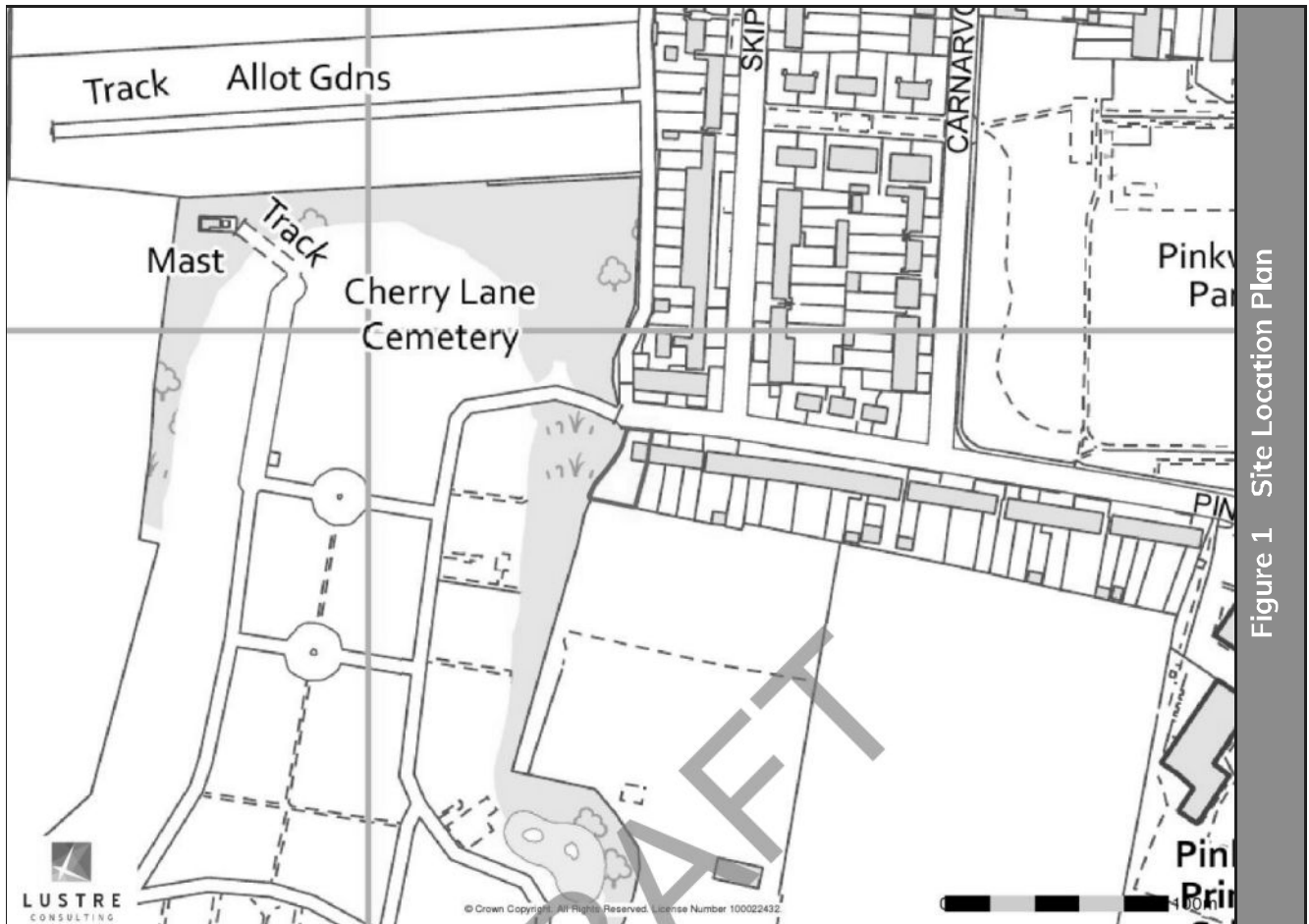


Figure 1 Site Location Plan

The Proposed Development

- 1.6 It is understood that the site has planning permission (ref: 54986/APP/2023/3718) for redevelopment to provide a residential scheme, as illustrated in Figure 2.
- 1.7 The proposed development involves the development of the site to produce two residential dwellings. Enabling works are understood to involve the full clearance of 67 Pinkwell Lane (excluding the demolition of the party wall adjoining 67 Pinkwell Lane with 68 Pinkwell Lane) to facilitate the construction of the two dwellings within the existing building and driveway/garage footprint. External parts of the site will comprise private gardens to the west with, hardstanding driveways to the east. There are no basements, undercroft car parking or other underground structures anticipated with below ground features limited to foundations and buried services. It is understood that site levels will remain relatively similar to that present.

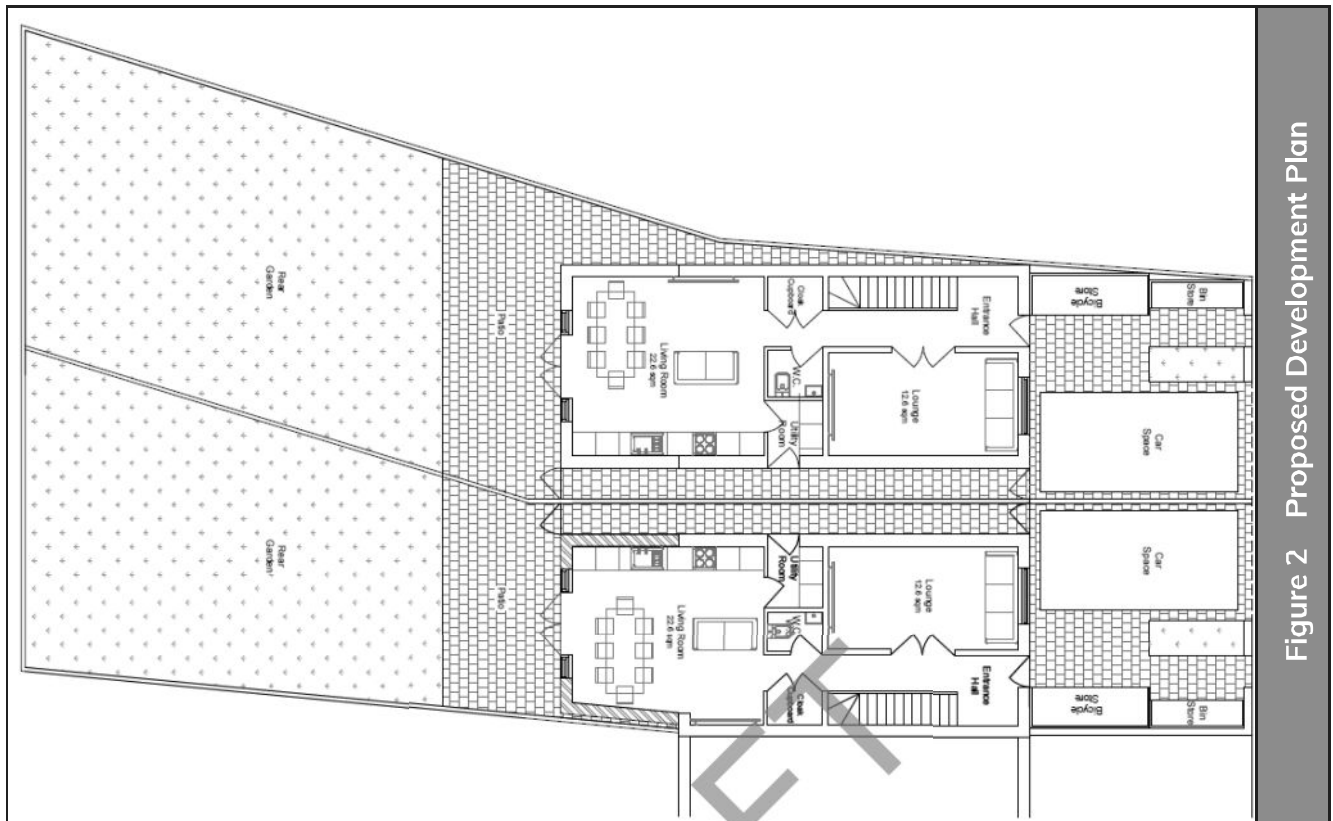


Figure 2 Proposed Development Plan

The Stakes & Objectives

1.8 The scope of works adopted in this Desk Study will address the following potential issues:

- ▶ Potential for contamination from historical site uses and nearby land uses through a review of available historical Ordnance Survey maps (dating back to the mid-1800s) and any existing information and reports relating to the site and surrounding area.
- ▶ Potential for contamination from the current or contemporary site uses by undertaking a site walkover.
- ▶ Sensitive receptors such as groundwater aquifers and geotechnical ground hazards through a review of published geological, hydrogeological and hydrological records.
- ▶ Nearby environmentally sensitive areas such as protected groundwater bodies, surface water features etc through a review of available public information and up-to-date regulatory information from relevant authorities.



- 1.9 The objective of this report is therefore to determine the contaminative status of the site and to provide a general indication of the likely geoenvironmental issues which may be present. Information on likely geotechnical conditions and hazards is also included.

Report Structure, Limitations & Changes

- 1.10 The report structure generally follows the pollution linkage approach described above. Chapter 2 of the report provides information relating to the "sources" of potential contamination through a study of current and historical land uses, whilst the sensitivity and anthropology information in Chapter 3 relates to the "receptors" and "pathways" components. Report conclusions and recommendations, including a summary of the conceptual site model and risk assessment Appendix, are set out in Chapter 4.
- 1.11 This Phase 1 Desk Study has been undertaken in accordance with our Terms & Conditions. Full details on limitations and reliance are provided in those Terms. Third party information which has been reviewed and used to inform the assessments presented herein, including public records held by various regulatory authorities and environmental database data has been assumed to be true and accurate.
- 1.12 This assessment has been carried out to determine the potential risks posed to future end users, along with other key receptors, based on the current development. Should revisions in the development proposals result in a change any assessment parameters detailed in this report, a re-assessment of the risk should be carried out.



2.0 Land Use

- 2.1 This chapter identifies and provides information on any potential on-site and off-site "sources" of contamination within the source-pathway-receptor model. The chapter includes a review of information obtained from photographic records, publicly recorded information on environmental issues and controls within relevant distances of the site (which may indicate the presence of potential source(s) of contamination, such as licensed landfills), available planning records obtained from regulatory websites and OS historical mapping. A summary of the identified sources and potential contaminants are given at the end of the chapter.

Site Description

- 2.2 A site walkover was undertaken by a qualified consultant from Lustre on 11th September. Access was granted to external areas on site.



Figure 3 Aerial Imagery



A View of the Site to the South from Pinkwell Lane



A View towards the Southwest of the Rear Garden

- 2.3 At the time of the site walkover the site comprised a vacant two storey semi-detached house with hardstanding driveway to the front and a soft landscaped private garden to the rear.
- 2.4 The driveway was concrete with minor staining noted to the area in front of the gate. A small area of grass was noted to the northeast corner of the driveway adjacent to Pinkwell Lane and the neighbouring 68 dwelling. Next to the house and at the back of the driveway was the garage which extended into the rear garden towards the south.



A View to the Northeast of the Front of the Site and out to Pinkwell Lane



Minor Staining to the Concrete Driveway adjacent to the Access to Pinkwell Lane

- 2.5 The rear garden was comprised of grass with ornamental trees and bushes through the centre. A shed was noted to the southern perimeter of the garden and an empty greenhouse to the rear of the garage. The shed was noted to contain a lawn mower. Adjacent to the back of the house was a patio which joined to the concrete path that led to the driveway.



**The Patio (foreground) and Garage (background)
within the Rear Garden**



**The Shed (left) and SW Corner of the Rear
Garden**

- 2.6 Hardstanding was recorded to comprise approximately 50% of the site area. Based on the observations during the site walkover, the hardstanding (where present) was generally noted to be in good/fair condition. No significant or widespread cracking/damage was observed. The site was noted to slope gently downwards towards the southwest by approximately 0.5m.

Observations on Ground Stability & Structural Damage

- 2.7 No evidence of ground stability hazards or structural damage was observed on site. However, this report does not constitute a structural survey or similar survey.

Bulk Storage of Fuels & Hazardous Material

- 2.8 Lustre has not been made aware of, or observed, any current or former bulk above ground fuel storage areas/ hazardous material storage on site. No evidence of any current underground fuel tanks (e.g. unexplained manhole covers, vents, fill points etc) was noted during the site walkover.

- 2.9 Small-scale hazardous material storage was not observed during the walkover.

Asbestos Containing Soils (ACS)

- 2.10 ACM was commonly used in construction and refurbishment projects until their use was prohibited in 1999. Given the age of the building(s) present on site (including any refurbishment works), the potential for ACM to be present within the building fabric and