

NOTES

CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK ON SHOP DRAWINGS

DO NOT SCALE FROM THIS DRAWING

RS AT&A COPYRIGHT

Notes:

1. Do not scale this drawing

2. All dimensions to be verified on site and any discrepancy reported to the client

3. This drawing to be read in conjunction with all relevant drawings

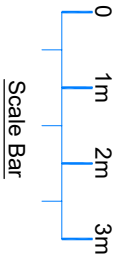
Owners To Serve Party Wall Act Notice On Owners Of Adjacent Property And Obtain Written Agreement, Prior To Commencement Of Any Works

Client/Builder To Obtain All Planning Permission Approvals From The Relevant Authority.

Commencement Of Building Works Prior To The Planning & Building Control Approvals Is To Client/Builders Own Risk

Client/Builder To Liaise With Local Water Board For Any New Works On Or Within The Public Sewer Or Drain Runs And Obtain Approval From The Local Authority Prior To Commencement Of Any Works

A	Planning Issue	26.11.25	RS
REV	AMENDMENT	DATE	CHNO



CLIENT

Mr. HarMohan Singh Nangpal

PROJECT

16 Langdale Drive  
Hayes (Middlesex)  
UB4 8ST

DRAWING TITLE

Proposed Loft Conversion  
Proposed Floor Layouts  
Sheet 3

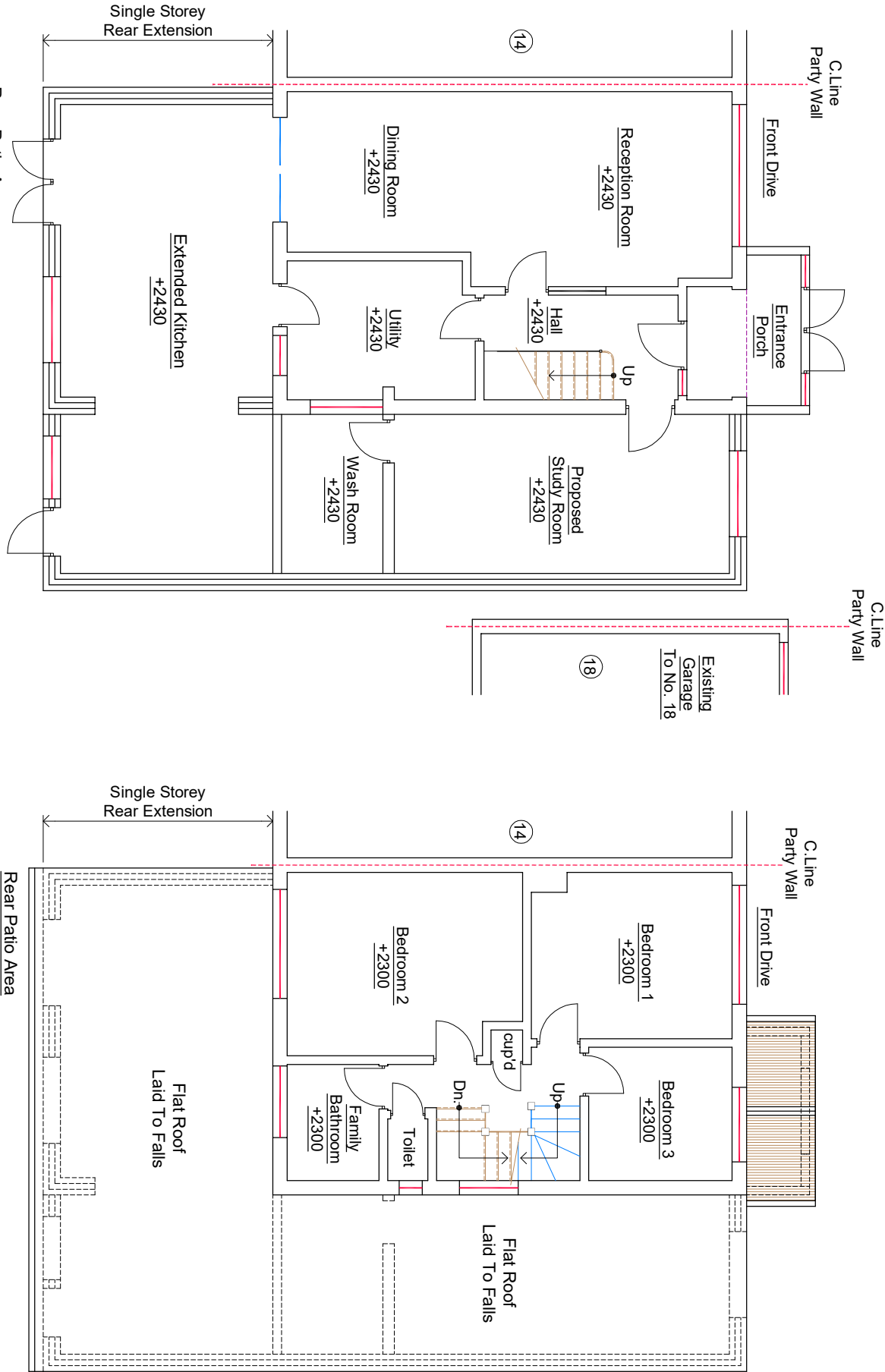
SCALE	DRAWN BY	CHECKED	DATE
1:50 @ A1	RS	RS	26.11.25
1:100 @ A3			

DRAWING NUMBER

2025 - 133 - 03

REVISION

A



New timber stairs to proposed loft to stairs specialist requirements (final setting out and head room to be determined on site by stairs specialists requirements and to B.C.O.s approval)

New loft floor steel beams to be set out by main builder in conjunction with loft stair specialist. The CAD technician has no responsibility on the setting out of new stairs/steels

Loft Space Head Room To Be Confirmed By Principal Contractor Before Commencement Of Any Works

\* Denotes FD30 Fire Doors (All To BCOs Approval)

SD Denotes Mains Operated, Self-Contained Smoke Alarms With Battery Back Up All To Be Interlinked

form 2 no.access hatch to retaining loft storage (all to clients requirements)

Rear Patio Area

+2300 Denotes Floor To Ceiling Height

Proposed First Floor Layout 16

Existing Loft Space Has Not Been Surveyed

Rear Patio Area

+2430 Denotes Floor To Ceiling Height

Proposed Ground Floor Layout 16

Rain Water Guttering Not To Encroach Neighbours Property

Contractor is responsible for all temporary works and stability of building during demolition and construction.

Existing Lintel sizes to be checked and confirmed by BC officer for additional floor loading before construction.

(Land Scapping To Suit Natural Ground Profile)

All New Facing Brickwork/Render, External Doors & Windows To Match Existing Main Dwelling

\* Denotes FD30 Fire Doors (All To BCOs Approval)

SD Denotes Mains Operated, Self-Contained Smoke Alarms With Battery Back Up All To Be Interlinked

HD Denotes Heat Detector To Proposed Kitchen

New Windows To Match Existing

Loft Space Has Not Been Surveyed

Existing Chimney Breasts To Be Completely Demolished Up to Loft Space & Secured To Structural Engineers Design

DRAWING STATUS

Planning Issue