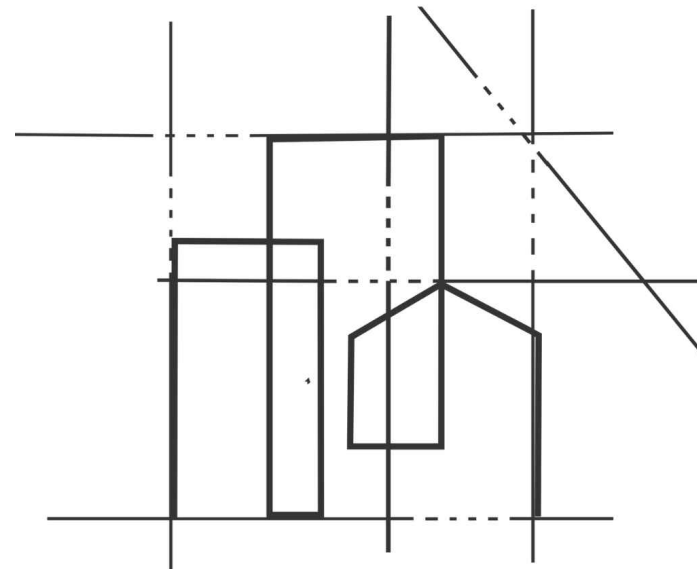


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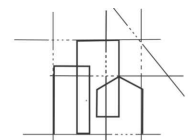
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Design & Access Statement

Proposed Rear Infill Extension and Revision to Existing Rear Extension

Introduction

This Design and Access Statement has been prepared in support of a Householder Planning Application for proposed alterations and extensions to the rear of the existing dwelling at 26 North View, Hillingdon, HA5 1PE.

The proposal comprises the construction of a rear infill extension alongside the existing rear extension, together with revisions and alterations to the existing rear extension, which forms part of the established built form of the property.

The scale and dimensions of the proposed extension have been carefully considered and designed with regard to the dimensional parameters normally associated with permitted development rights for residential extensions. Notwithstanding this, a Householder Planning Application is being submitted to allow the Local Planning Authority to formally consider the proposal in its entirety, including the proposed infill extension and associated revisions to the existing rear extension.

Site and Surrounding Context

The application site comprises an existing residential dwelling located at 26 North View. The property is situated within an established residential area predominantly characterised by residential properties of a similar domestic scale and character.

The existing property benefits from an established rear extension that forms part of the current built form of the dwelling. The proposed development relates entirely to the rear of the property and seeks to rationalise the existing arrangement through the introduction of an infill extension alongside the existing rear extension, together with revisions to the existing extension itself.

Due to the location of the proposed works entirely to the rear of the dwelling, the development would have no visibility from the public realm and would not materially affect the character or appearance from the streetscene.

Existing Property and Rear Extension

The existing dwelling has previously been extended to the rear, resulting in an established rear projection that currently forms part of the property. The existing arrangement creates an area alongside the rear extension which the current proposal seeks to infill. In conjunction with the proposed infill, revisions are also proposed to the existing rear extension to improve its relationship with the new extension and create a more cohesive overall rear building form. The proposal has therefore been developed in direct response to the existing configuration of the property, with the intention of rationalising the rear elevation and improving the functionality and usability of the internal accommodation.

Proposed Development

The proposed development comprises:

An infill extension alongside the existing rear extension; and

The revision and alteration to upgrade the existing rear extension to create a more integrated and cohesive overall rear elevation.

The proposed infill extension would integrate with the established rear built form, allowing the internal accommodation to be reorganised and used more efficiently.

The associated revisions to the existing rear extension have been designed as part of the overall proposal, ensuring that the existing and proposed elements are considered together and result in a unified architectural composition.

The proposed dimensions and scale have been deliberately kept modest and have been informed by the dimensional limitations generally associated with permitted development rights for residential extensions. As such, the overall extent of development is considered proportionate to the host dwelling and appropriate within its residential context.

While the dimensions of the proposed extension have been designed with these parameters in mind, the applicant has elected to seek formal planning permission through a Householder Planning Application for the proposed development as a whole.

Design and Appearance

The design approach has been guided by the principles of simplicity, compatibility and appropriate integration with the existing dwelling.

The proposed infill extension and revisions to the existing rear extension have been considered together as a single coherent design. This approach would rationalise the appearance of the rear elevation and provide a more consistent relationship between the existing and proposed elements.

The scale, proportions and architectural treatment of the proposed development would remain appropriate to the domestic character of the host dwelling.

External materials and finishes would be selected to complement and appropriately respond to the existing property, allowing the new and revised elements to integrate successfully with the established dwelling.

Due to the rear position of the proposed works, the development would not materially affect the appearance or character of the principal frontage of the dwelling or the wider streetscene.

Scale and Massing

The scale and massing of the proposed development are considered proportionate to the existing dwelling and its established rear built form. The proposed infill extension would occupy the area alongside the existing rear extension, while the associated revisions would rationalise the overall form and appearance of the rear development.

The dimensions of the proposed works have been carefully controlled and designed with regard to the parameters normally applicable to residential extensions under permitted development rights. This demonstrates that the overall scale of the proposal is modest and consistent with forms of domestic extension commonly considered acceptable in principle.

The proposal would not introduce an unnecessarily prominent or excessive addition to the property. Instead, it would consolidate and rationalise the existing rear built form, creating a more balanced and coherent relationship between the dwelling and its rear garden.

The development would remain subordinate to the main dwelling and would maintain an appropriate balance between the overall built form and the remaining external amenity space.

Impact on Neighbouring Amenity

Careful consideration has been given to the potential impact of the proposed development upon neighbouring residential properties. The proposal is closely related to the established rear built form of the property and primarily involves infilling alongside an existing rear extension, together with revisions to that existing structure. The modest scale and controlled dimensions of the proposal help to limit its visual and physical impact upon adjoining properties. The development would not cause any loss of light to neighbouring properties, nor would it appear overbearing. The proposal has also been designed to maintain appropriate levels of privacy and would not introduce unacceptable overlooking towards neighbouring properties.

The proposed development is therefore considered to maintain an appropriate relationship with adjoining properties and preserve the residential amenities currently enjoyed by neighbouring occupiers.

Access and Parking

The proposal relates solely to alterations and extensions to an existing residential dwelling and would not alter the established residential use of the property. The existing pedestrian and vehicular access arrangements serving the property would remain unchanged. No material changes are proposed to the existing parking arrangements, and the development would not generate any significant additional parking or access requirements.

Sustainability

The proposed development provides an opportunity to improve the functionality, quality and environmental performance of the existing dwelling. The proposed infill extension and revised elements of the existing rear extension would be constructed or upgraded in accordance with the relevant Building Regulations requirements, including appropriate standards of thermal insulation and energy efficiency. The proposal also represents an efficient use of an existing residential site by improving and rationalising the established rear built form rather than introducing a substantially separate or unrelated addition.

Conclusion

The proposed development at 26 North View comprises a carefully considered rear infill extension alongside the existing rear extension, together with revisions to the existing rear extension itself. The proposal seeks to rationalise the existing rear building arrangement, improve the functionality of the internal accommodation and create a more cohesive and integrated rear elevation. The scale and dimensions of the proposed development have been carefully controlled and designed with regard to the dimensional parameters generally associated with permitted development rights for residential extensions. Nevertheless, the proposal is being submitted as a Householder Planning Application to allow the Local Planning Authority to formally assess the proposed works in their entirety.

The development has been designed to respond appropriately to the scale and character of the host dwelling and would remain proportionate and subordinate to the main property. Its position to the rear ensures that there would be no material impact upon the character and appearance of the principal streetscene.

Furthermore, the modest scale of the proposal and its relationship with the established rear built form ensure that the development would not result in unacceptable harm to the residential amenities of neighbouring occupiers.

Overall, the proposal represents an appropriate and proportionate improvement to the existing dwelling and is considered to constitute a suitable form of residential development that responds positively to the existing property and its surrounding residential context.

STAGE No : 3

STAGE TITLE : Planning

DRAWING SCALE : 1:100 @ A3 DRAWING REF : DA1 REV:00 DRAWING TITLE : Design & Access Statement

DATE : 2026.07.27 PROJECT REF : 26 North View

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