DOCUMENT ISSUE SHEET - September 2022

☒ PLANNING

Project title: 52, Coldharbour Lane, Hayes, UB3 3EP
Project no: 066
Revision: A

DRAWINGS ISSUED

NUMBER	TITLE	SCALE	SIZE
EXISTING			
066_100_A	Site location Plan	1:500	A4
066_111_A	Existing Ground Floor	1:100	A3
066_112_A	Existing First Floor	1:100	A3
066_114_A	Existing Roof Plan	1:100	A3
066_151, 152_A	Existing South, West Elevations	1:100	A3
066_153, 154_A	Existing North, East Elevations	1:100	A3
066_172_A	Existing Section B-B’	1:100	A3
APPROVED - PROPOSED			
066_211_A	Approved and Proposed Ground Floor	1:100	A2
066_212_A	Approved and Proposed First Floor	1:100	A2
066_213_A	Approved and Proposed Second Floor	1:100	A2
066_214_A	Approved and Proposed Roof Plan	1:100	A2
066_251_A	Approved and Proposed South Elevation	1:100	A2
066_252_A	Approved and Proposed West Elevation	1:100	A2
066_253_A	Approved and Proposed North Elevation	1:100	A2
066_254_A	Approved and Proposed East Elevation	1:100	A2
066_272_A	Approved and Proposed Section B-B’	1:100	A2

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Block Plan shows area bounded by: 509996.95, 179975.92 510086.95, 180065.92 (at a scale of 1:500), OSGridRef: TQ10048002. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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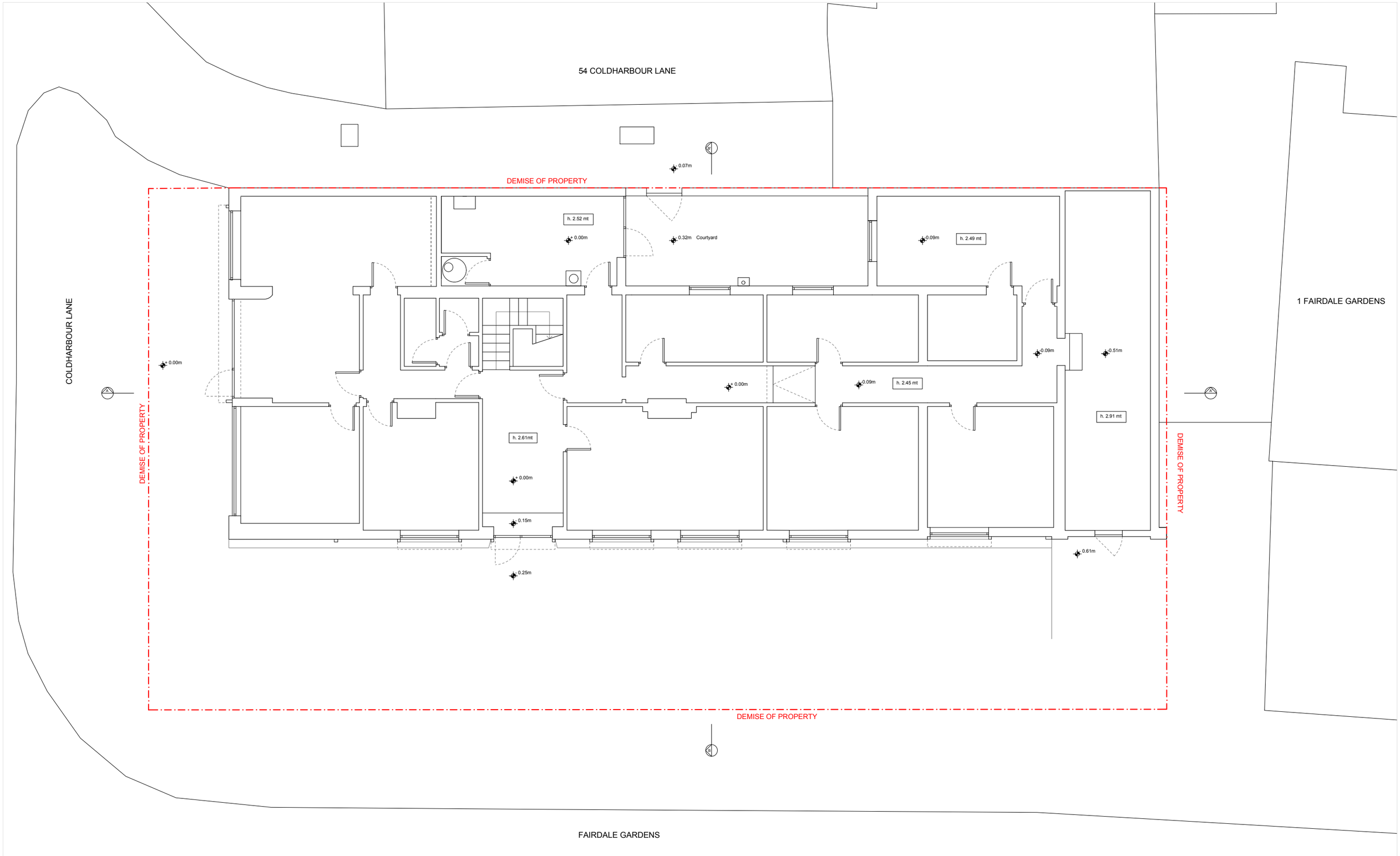

Keys:

N

0 1 5m

Notes:

Do not scale from drawings
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Description:

For planning

Scale@Format

1:100@A3

Date

23.09.2022

Project no.

066

Drawing no.

111

Rev.

A

Project

52, Coldharbour Lane,
Hayes, UB3 3EP

Drawing name

EXISTING
GROUND FLOOR

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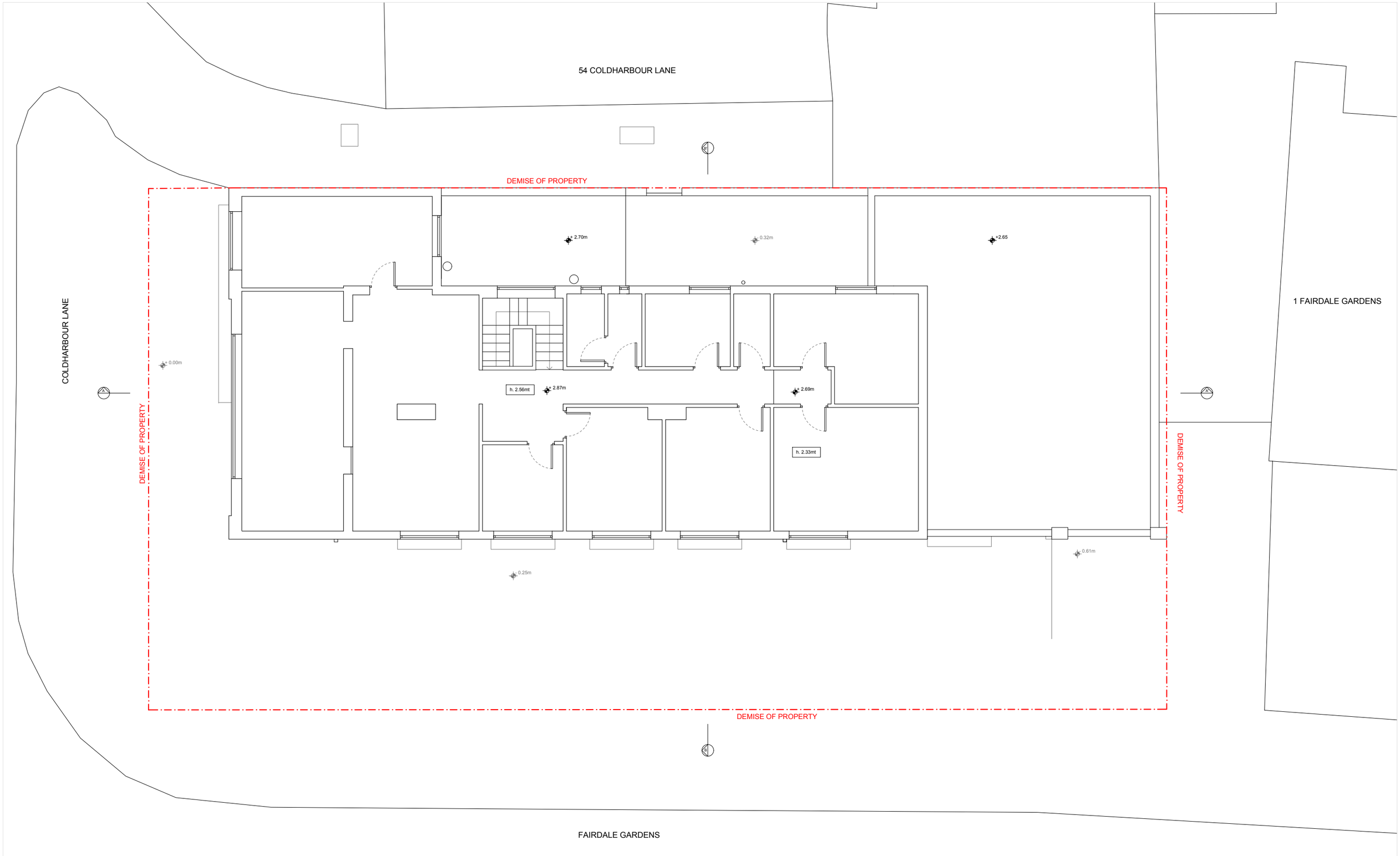

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Notes:

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Description:

For planning

Scale@Format

1:100@A3

Date

23.09.2022

Project no.	Drawing no.	Rev.
066	112	A

Project

52, Coldharbour Lane,
Hayes, UB3 3EP

Drawing name

EXISTING
FIRST FLOOR

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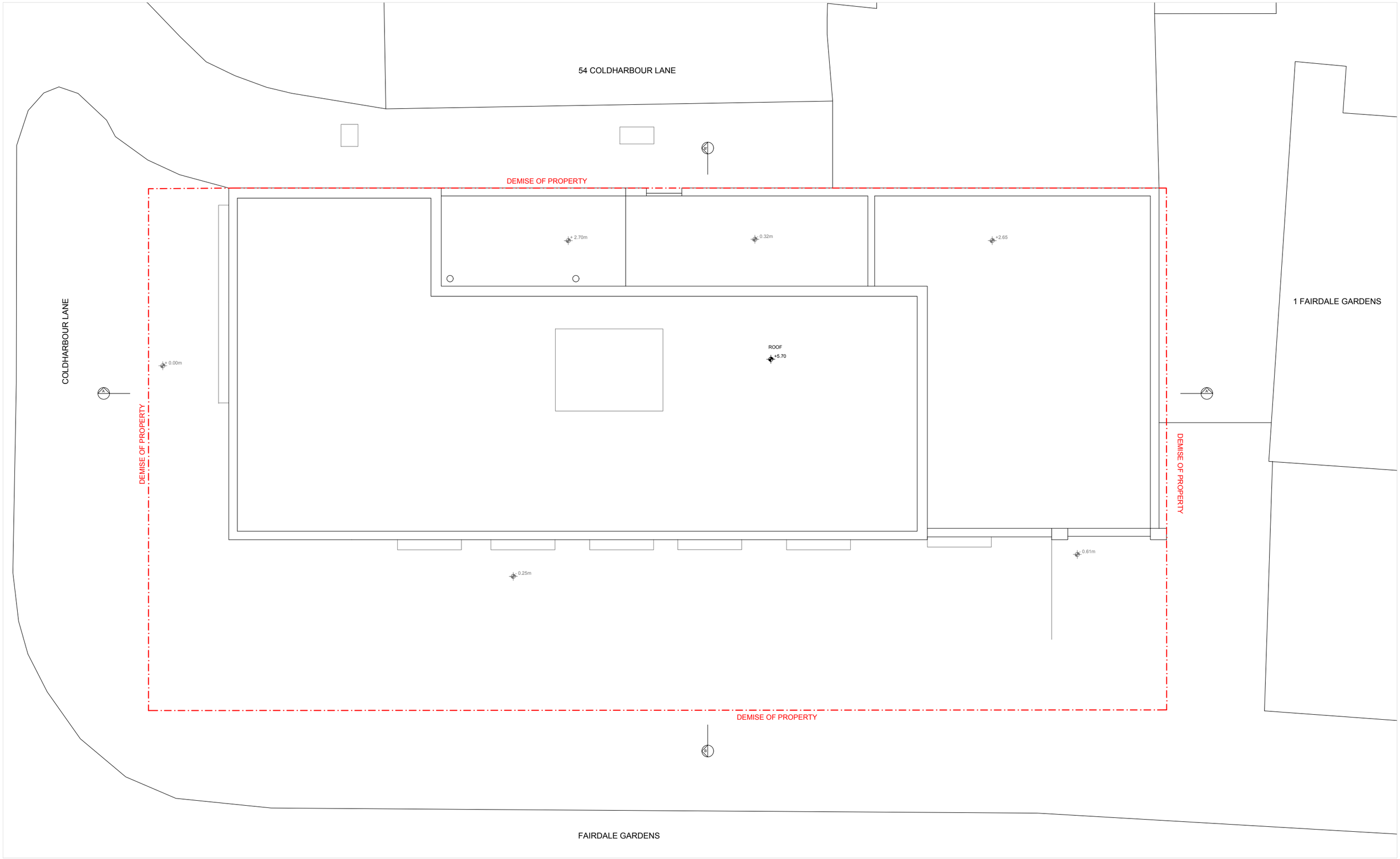

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Notes:

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Description:

For planning

Scale@Format		
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Date		
23.09.2022		
Project no.	Drawing no.	Rev.
066	114	A

Project

52, Coldharbour Lane,
Hayes, UB3 3EP

Drawing name

EXISTING
ROOF

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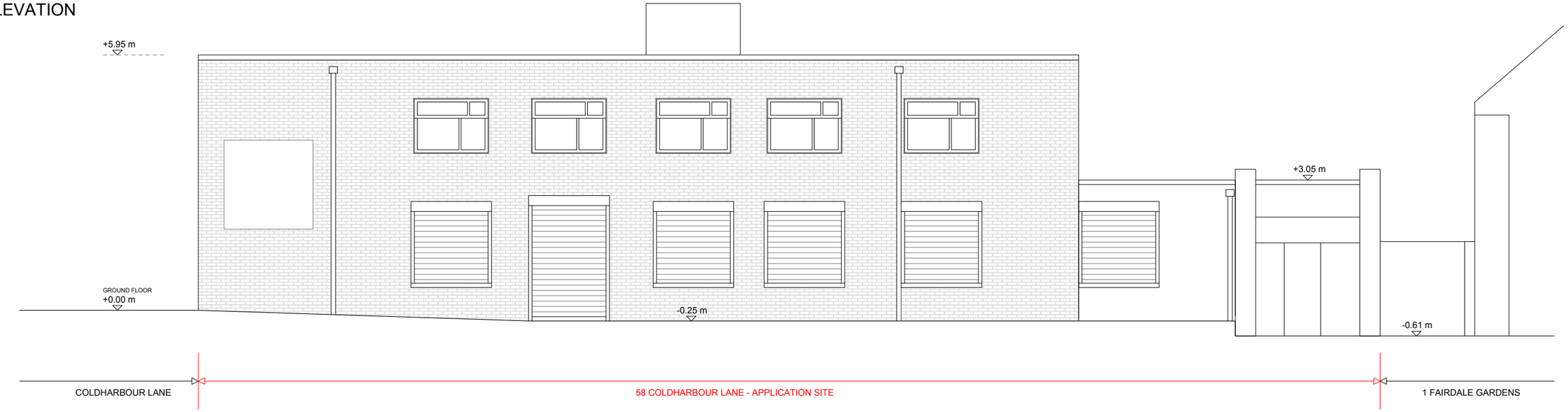
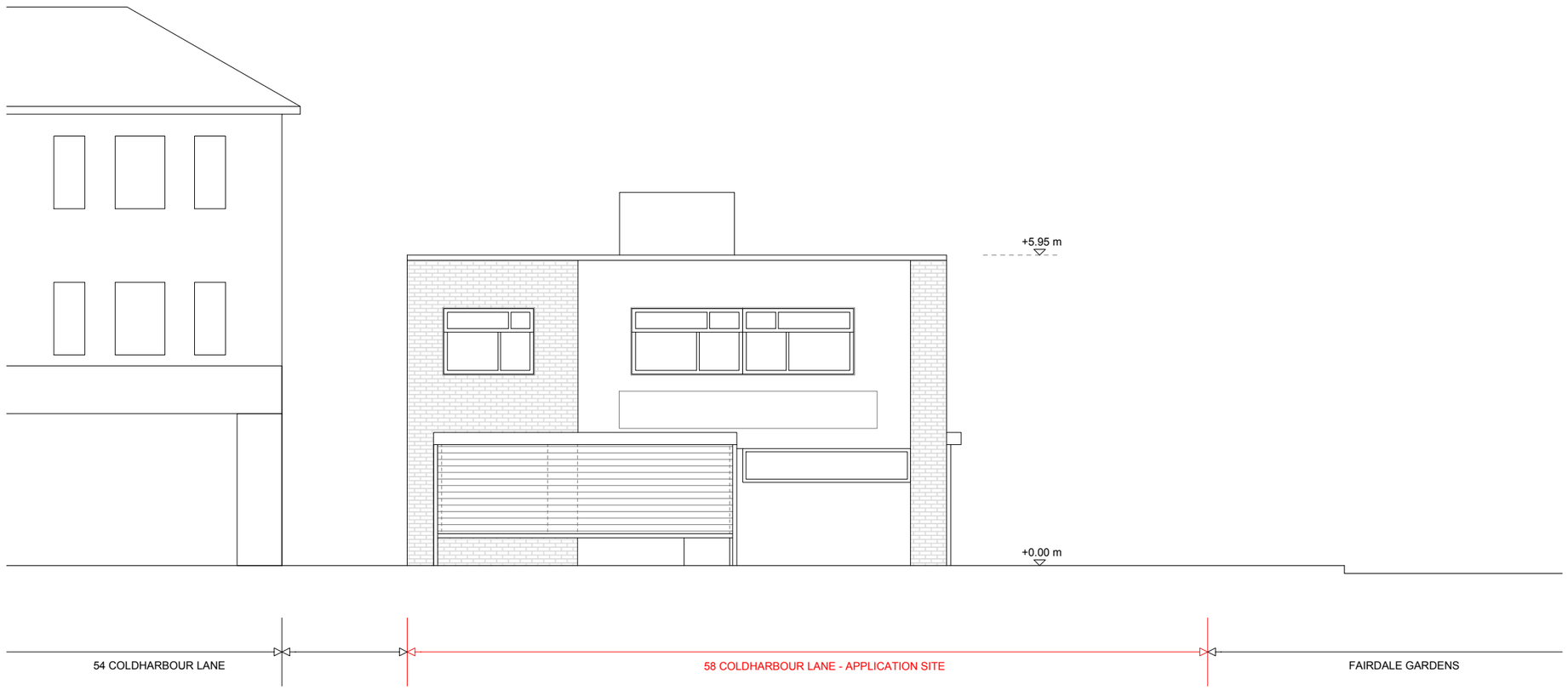
EXISTING
SOUTH ELEVATION



EXISTING
WEST ELEVATION



Keys:

0 1 5m

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Description:

For planning

Scale@Format
1:100@A3

Date
23.09.2022

Project no.	Drawing no.	Rev.
066	151, 152	A

Project
52, Coldharbour Lane,
Hayes, UB3 3EP

Drawing name
EXISTING
SOUTH ELEVATION
WEST ELEVATION

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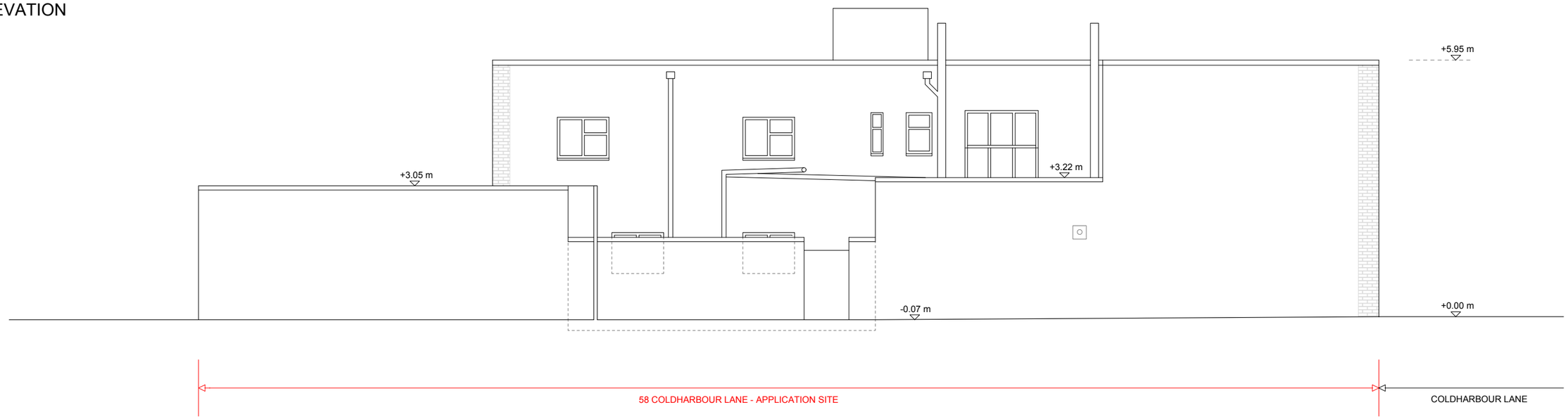
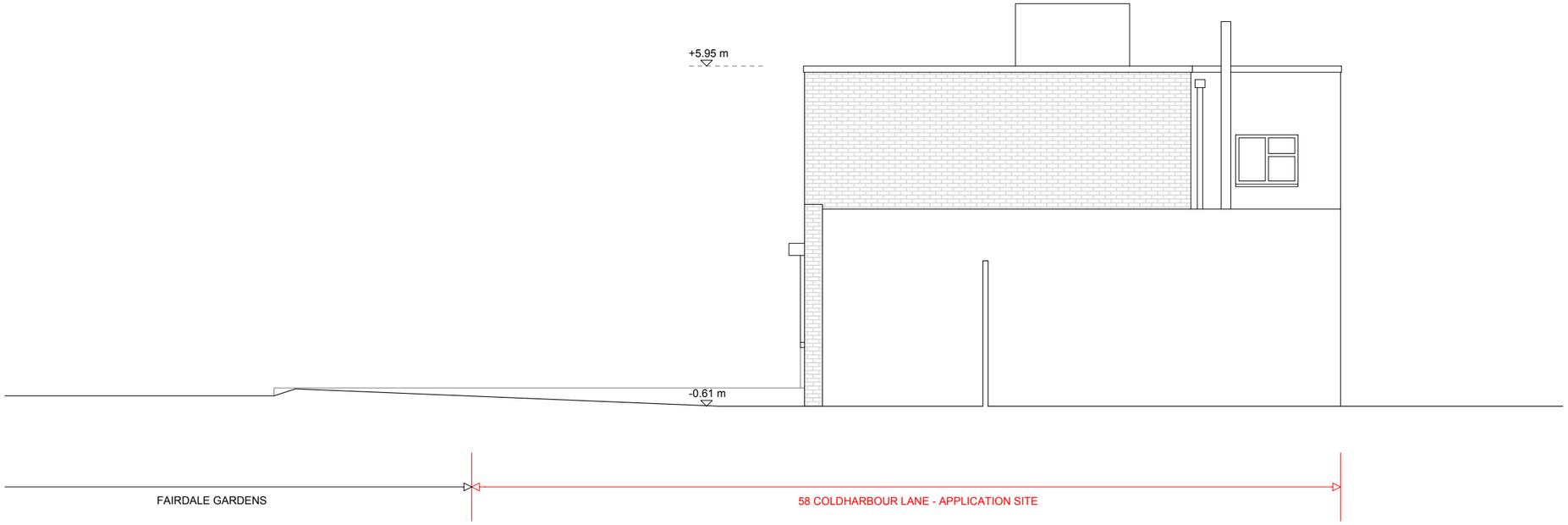
EXISTING
NORTH ELEVATION



EXISTING
EAST ELEVATION



Keys:

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Notes:

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Description:

For planning

Scale@Format

1:100@A3

Date

23.09.2022

Project no.	Drawing no.	Rev.
066	153, 154	A

Project

52, Coldharbour Lane,
Hayes, UB3 3EP

Drawing name

EXISTING
NORTH ELEVATION
EAST ELEVATION

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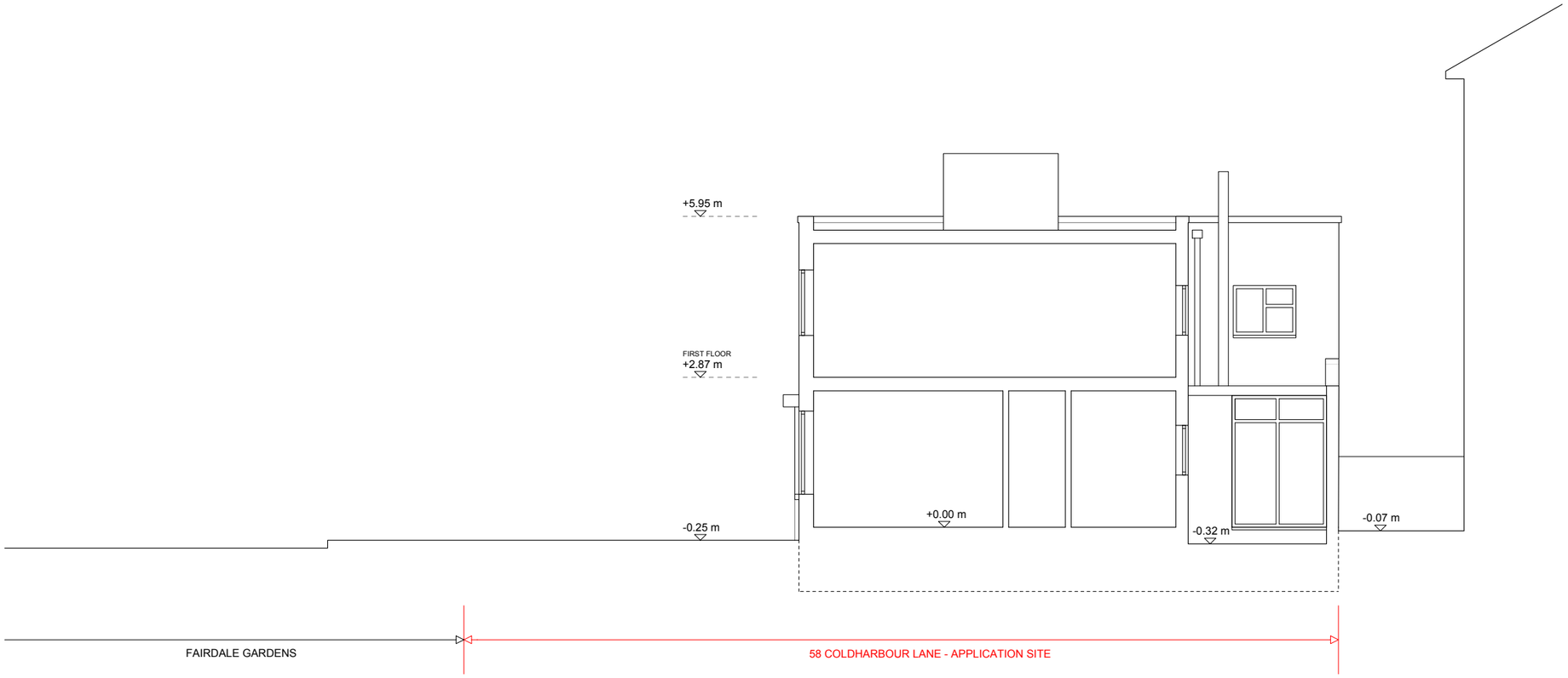

Keys:

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Notes:

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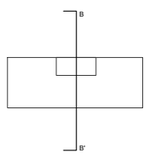
Keyplan



Description:

For planning

Scale@Format

1:100@A3

Date

23.09.2022

Project no.	Drawing no.	Rev.
066	172	A

Project

52, Coldharbour Lane,
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Drawing name

EXISTING
SECTION B-B'

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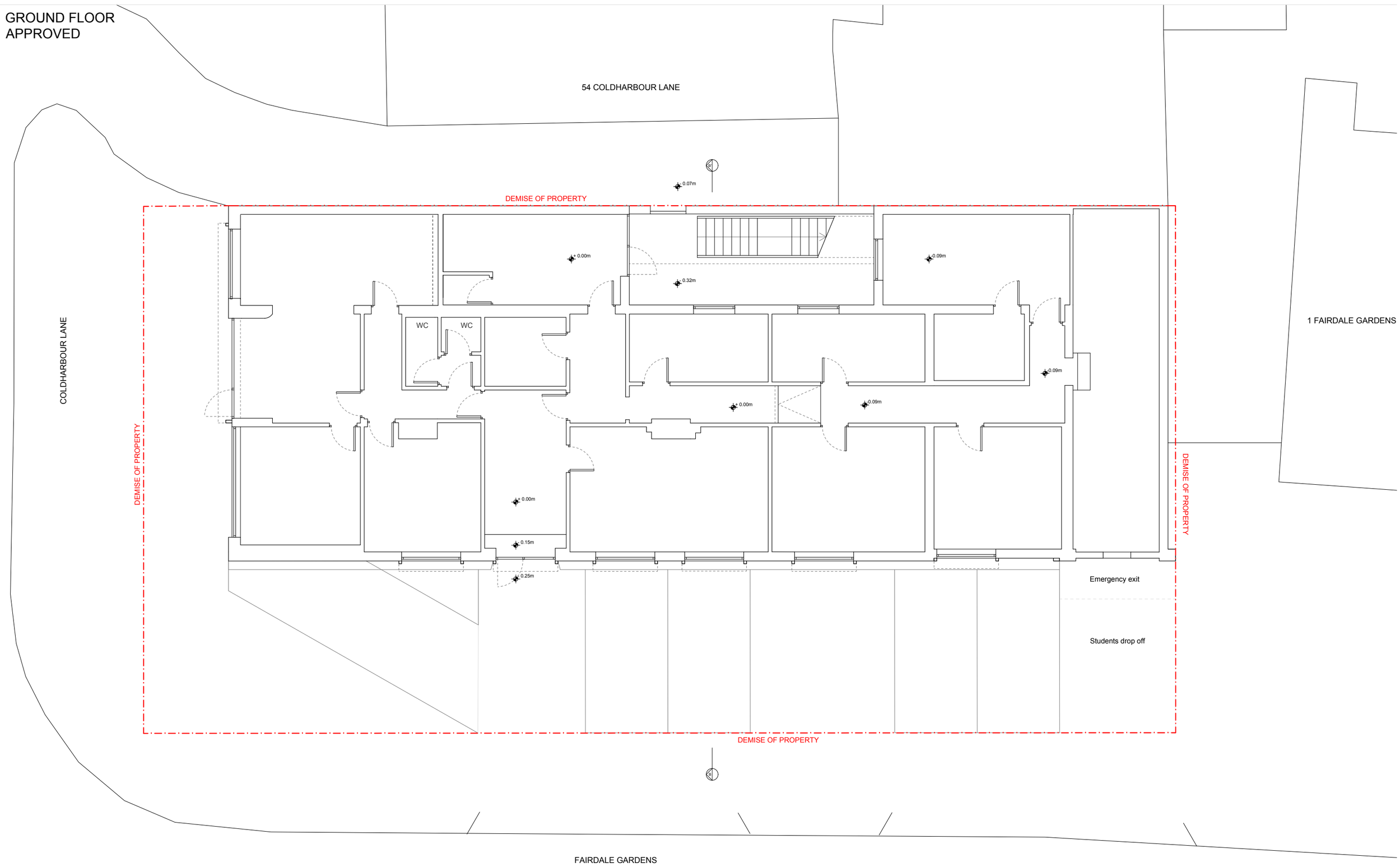
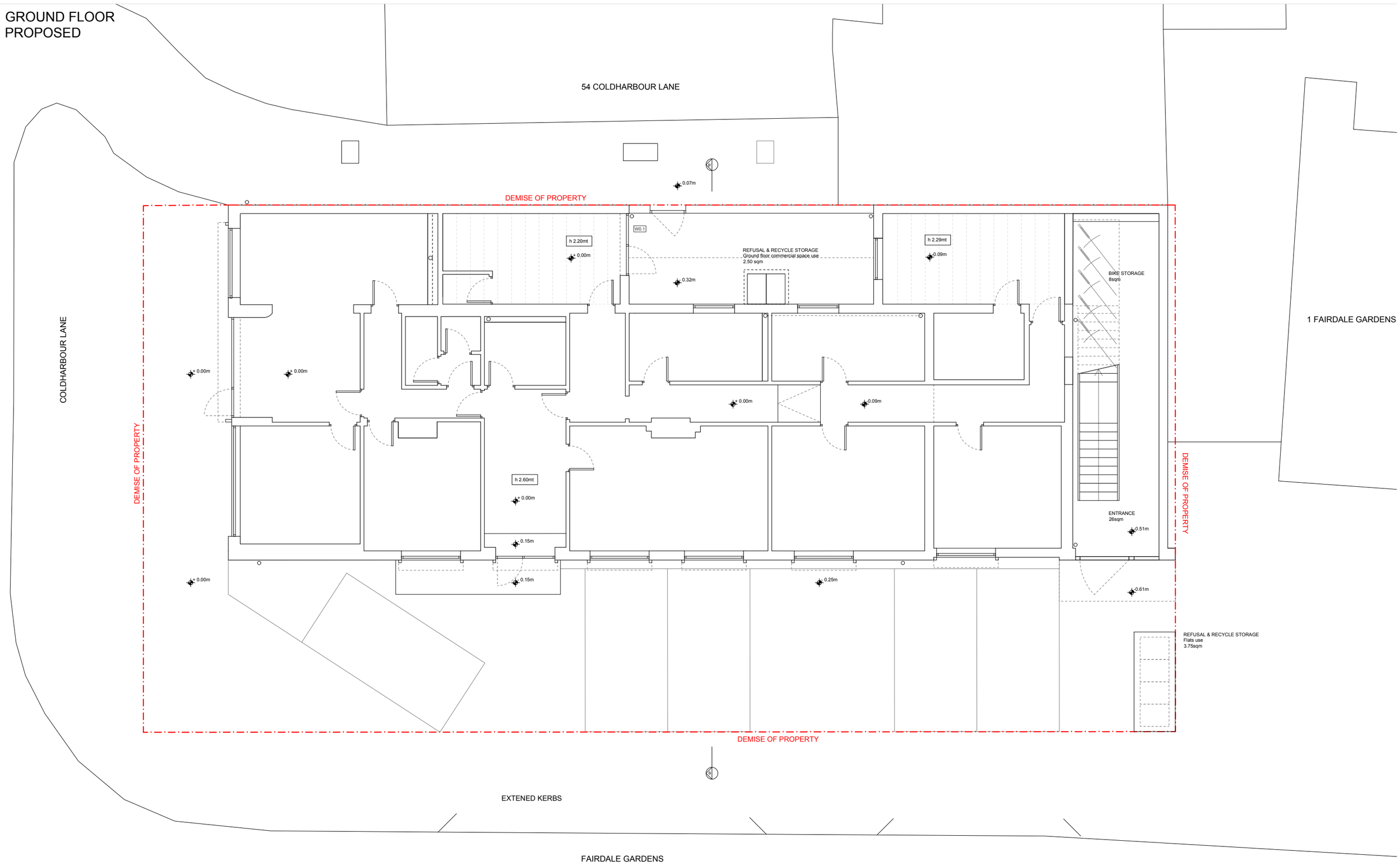
GROUND FLOOR
APPROVED



GROUND FLOOR
PROPOSED



Keys:

N

0 1 5m

Key:

01 - Light grey render
02 - Brick tiles to match existing bricks
03 - Light grey fibre cement
04 - Green fibre cement
05 - Mill finish aluminium fascia
06 - Mill finish aluminium rainwater pipe
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09 - Light grey powder coated steel cladding
09b - Green powder coated steel entrance canopy
10 - Light grey powder coated steel parapets and staircase
11 - Self closing entrance door
12 - Glavanized steel CAT ladder
13 - Photovoltaic panels
14 - EPDM flat roof
15 - Flat glass roof window by Velux
16 - Wind resistant external roller blinds, green.

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Notes:

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Description:

For planning

Scale@Format		
1:100@A2		
Date		
23.09.2022		
Project no.	Drawing no.	Rev.
066	211	A

Project

52, Coldharbour Lane,
Hayes, UB3 3EP

Drawing name

GROUND FLOOR

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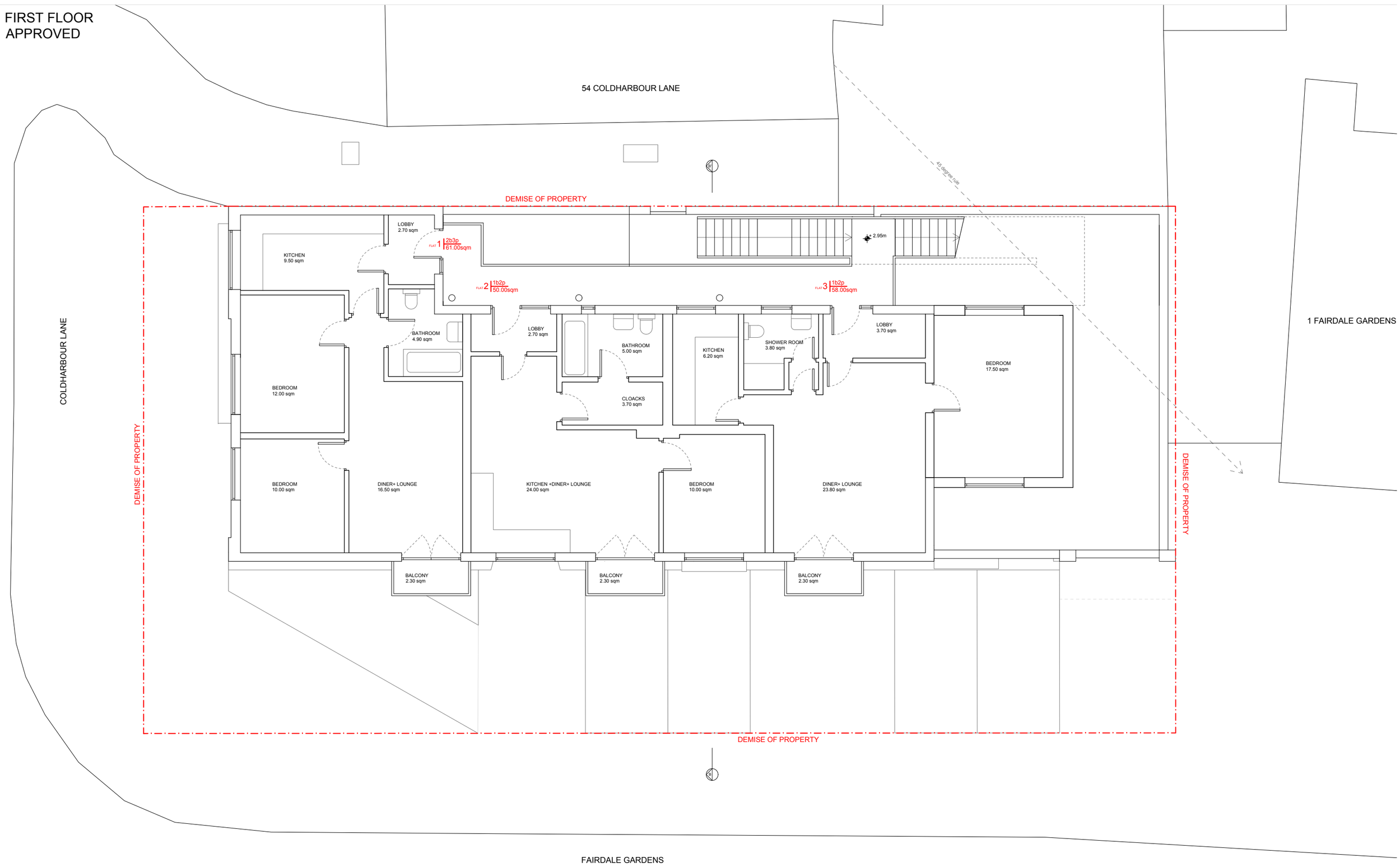
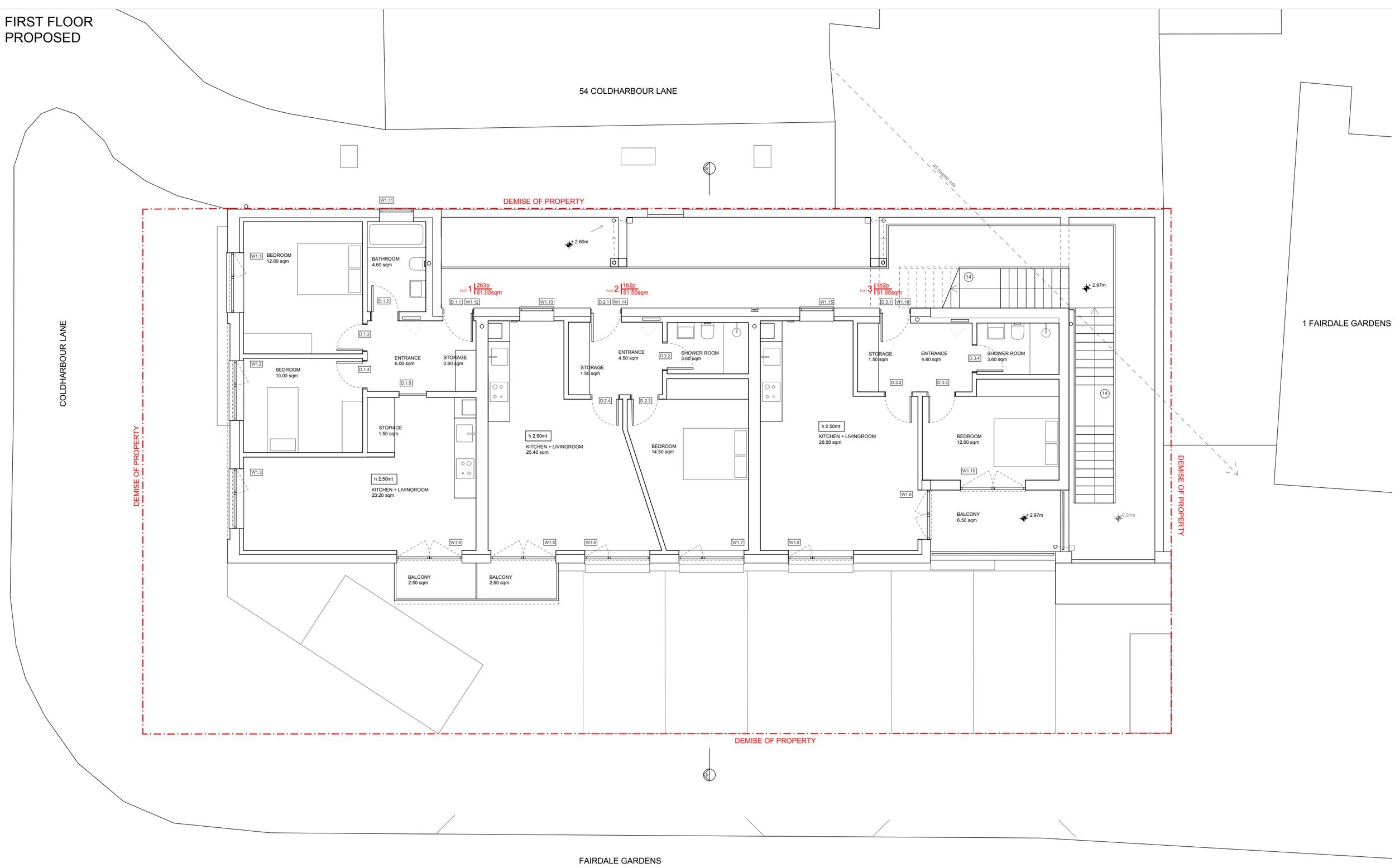
FIRST FLOOR
APPROVED



FIRST FLOOR
PROPOSED



Keys:

N

0 1 5m

Key:

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Description:

For planning

Scale@Format

1:100@A2

Date

23.09.2022

Project no.	Drawing no.	Rev.
066	212	A

Project

52, Coldharbour Lane, Hayes, UB3 3EP

Drawing name

FIRST FLOOR

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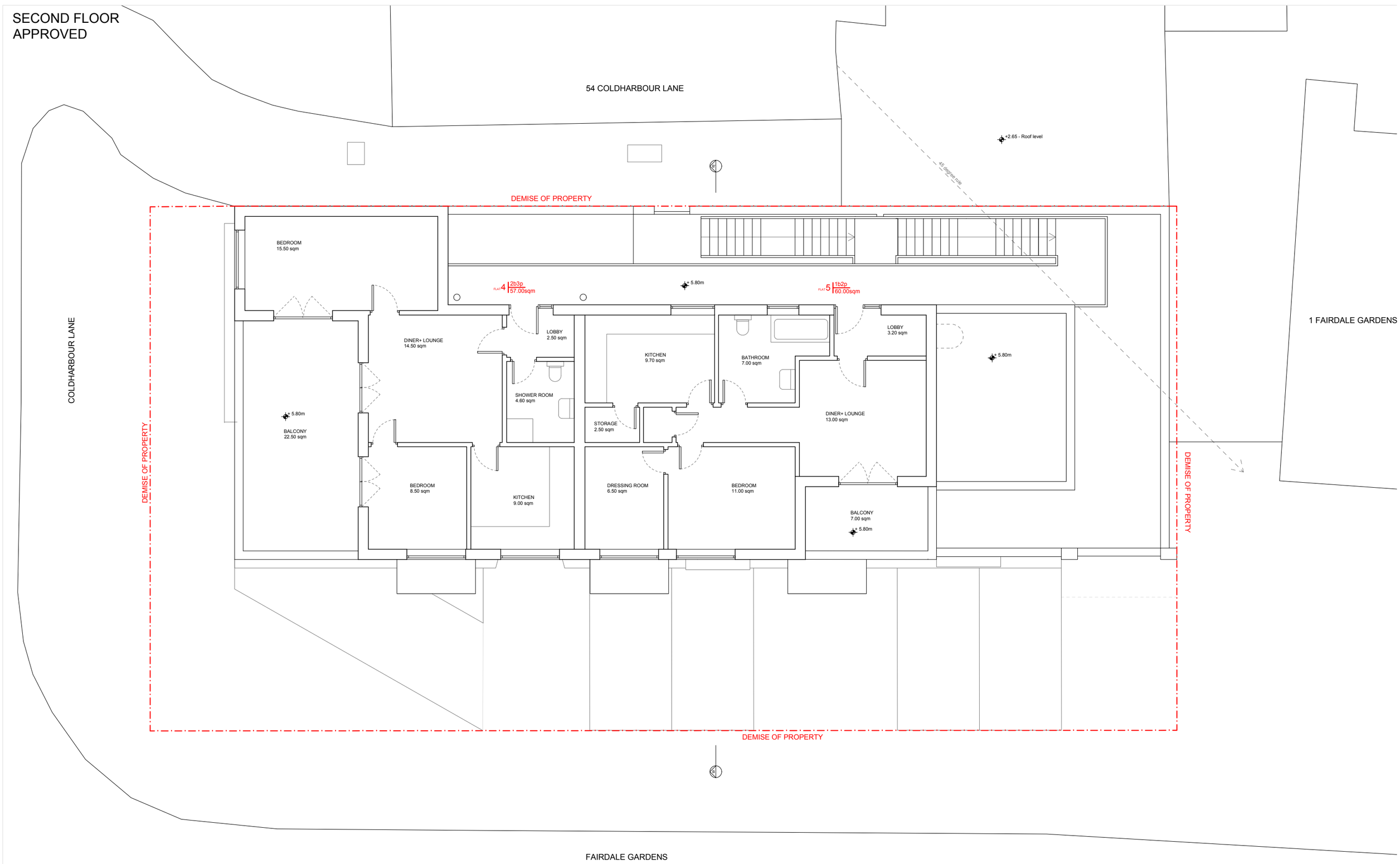
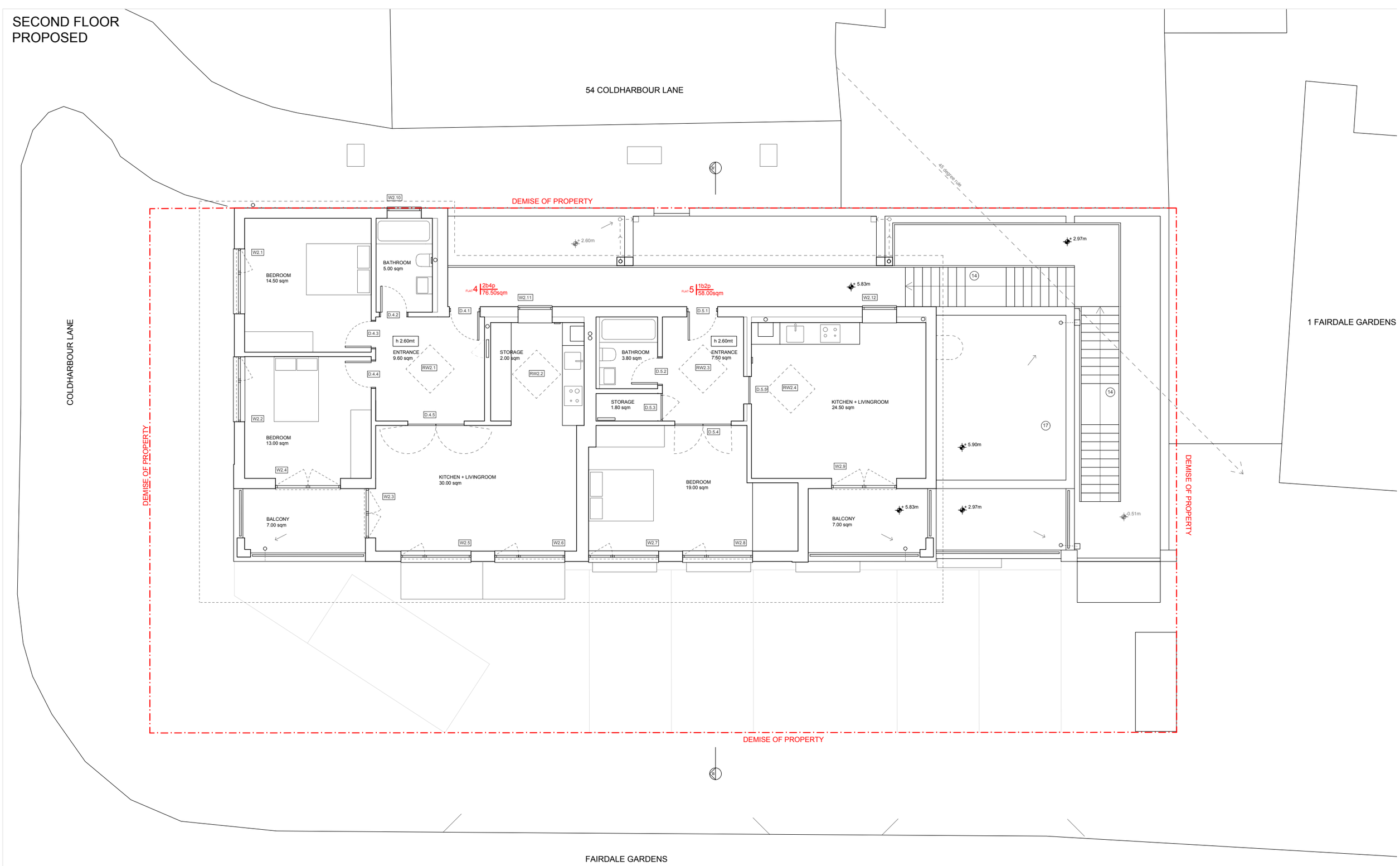
SECOND FLOOR
APPROVED



SECOND FLOOR
PROPOSED



Keys:

N

0 1 5m

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Notes:

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Description:

For planning

Scale@Format		
1:100@A2		
Date		
23.09.2022		
Project no.	Drawing no.	Rev.
066	213	A

Project

52, Coldharbour Lane,
Hayes, UB3 3EP

Drawing name

SECOND FLOOR

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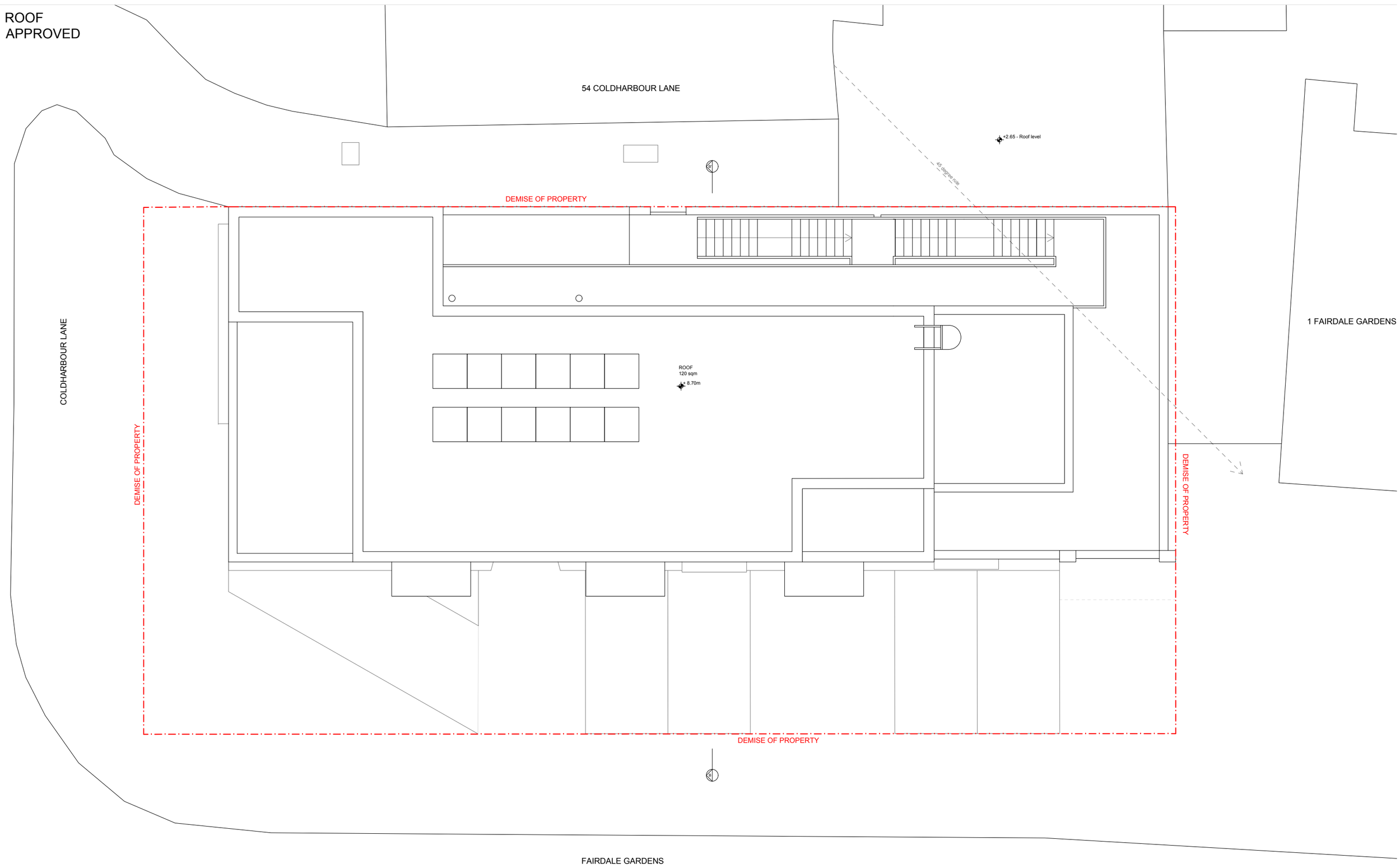
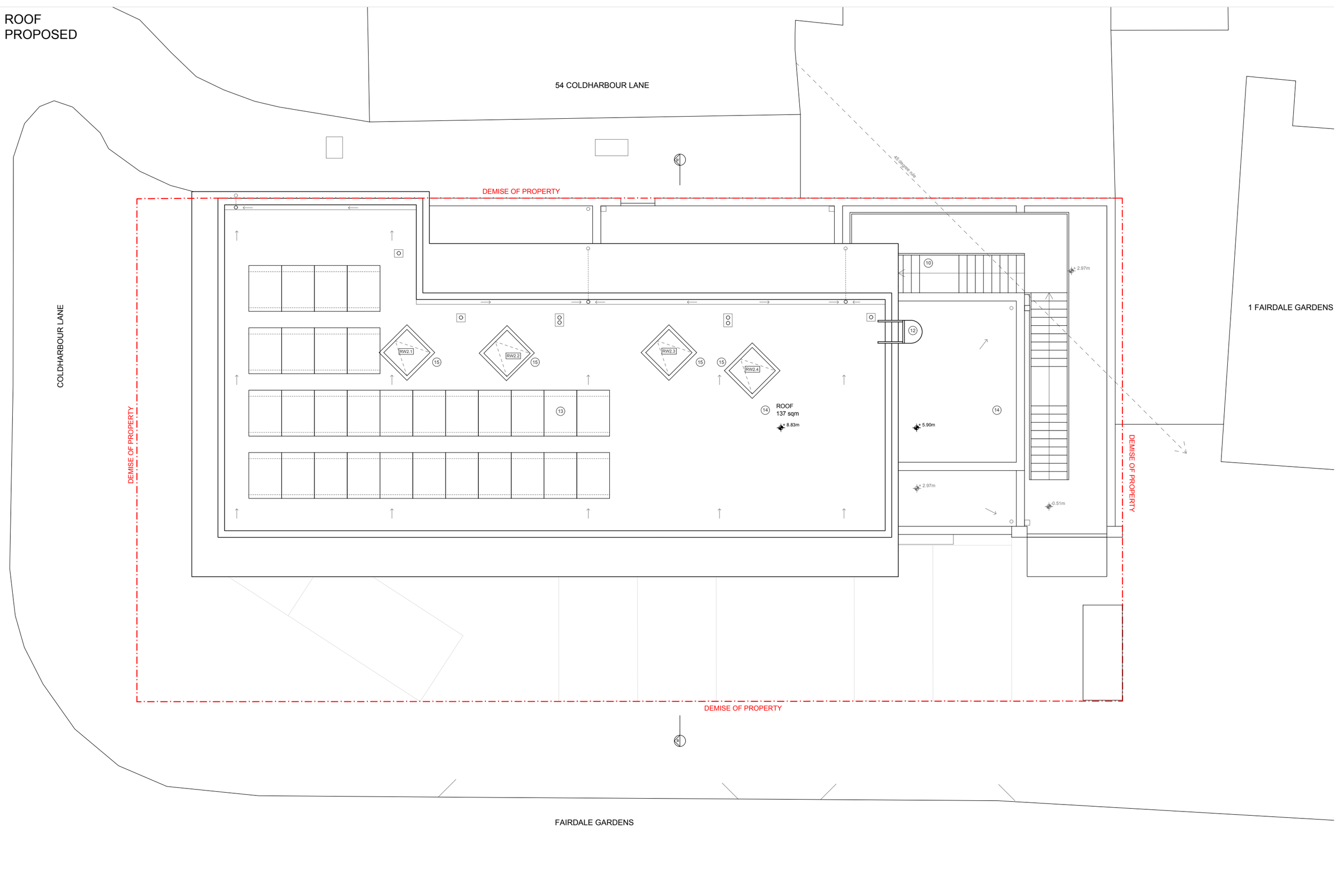
ROOF
APPROVED



ROOF
PROPOSED



Keys:

N

0 1 5m

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Description:

For planning

Scale@Format		
1:100@A2		
Date		
23.09.2022		
Project no.	Drawing no.	Rev.
066	214	A

Project

52, Coldharbour Lane,
Hayes, UB3 3EP

Drawing name

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SOUTH ELEVATION
APPROVED

SOUTH ELEVATION
PROPOSED

Keys:

0 1 5m

Key:

01 - Light grey render
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Description:

For planning

Scale@Format
1:100@A2

Date
23.09.2022

Project no. 066
Drawing no. 251
Rev. A

Project
52, Coldharbour Lane, Hayes, UB3 3EP

Drawing name
SOUTH ELEVATION

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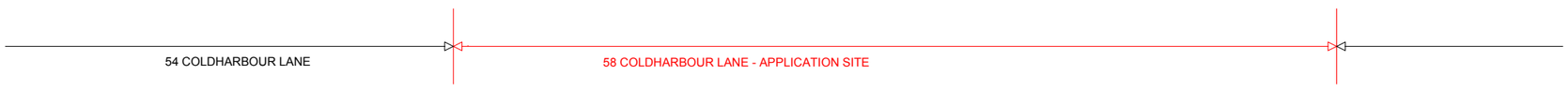
WEST ELEVATION
APPROVED

WEST ELEVATION
PROPOSED



Keys:

0 1 5m

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Description:

For planning

Scale@Format
1:100@A2

Date
23.09.2022

Project no. 066
Drawing no. 252
Rev. A

Project
52, Coldharbour Lane, Hayes, UB3 3EP

Drawing name
WEST ELEVATION

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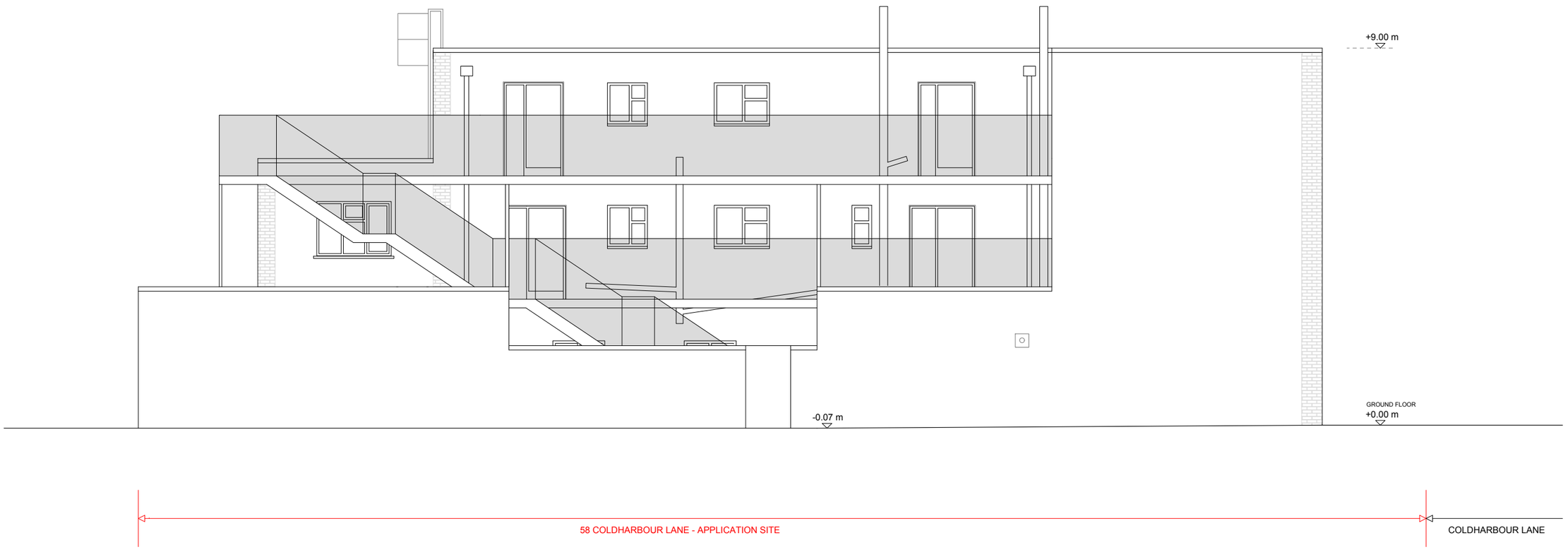
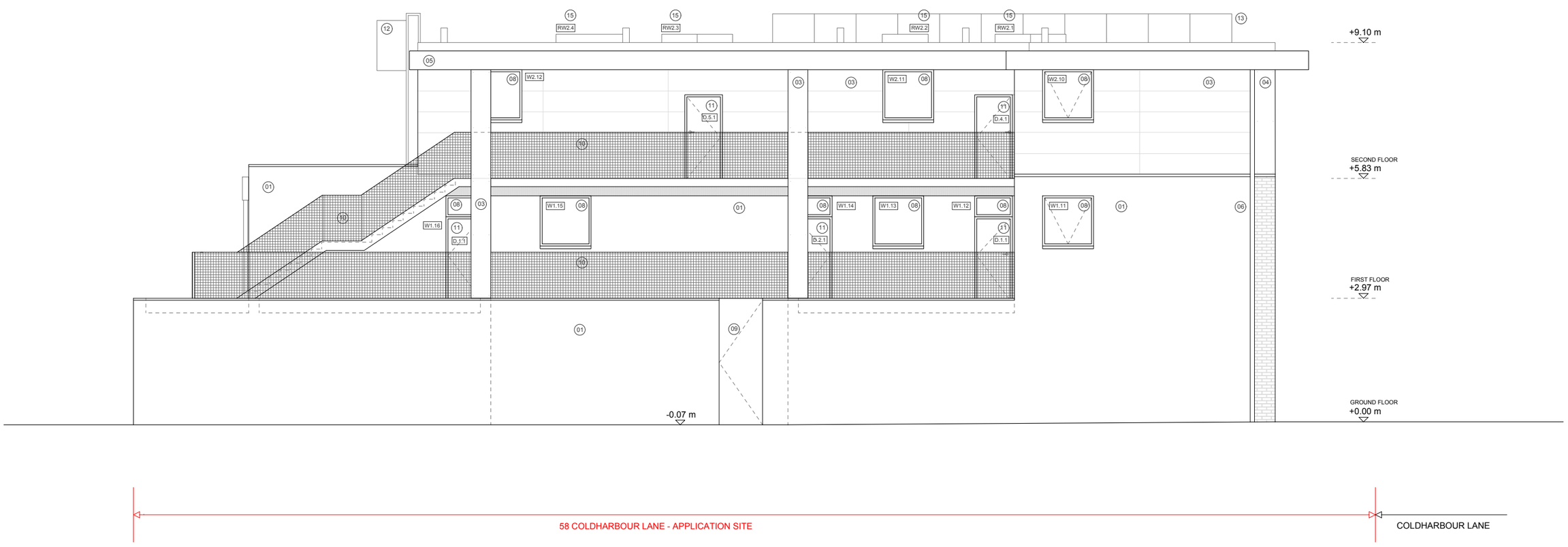
NORTH ELEVATION
APPROVED



NORTH ELEVATION
PROPOSED



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Description:

For planning

Scale@Format
1:100@A2

Date
23.09.2022

Project no. 066
Drawing no. 253
Rev. A

Project
52, Coldharbour Lane, Hayes, UB3 3EP

Drawing name
NORTH ELEVATION

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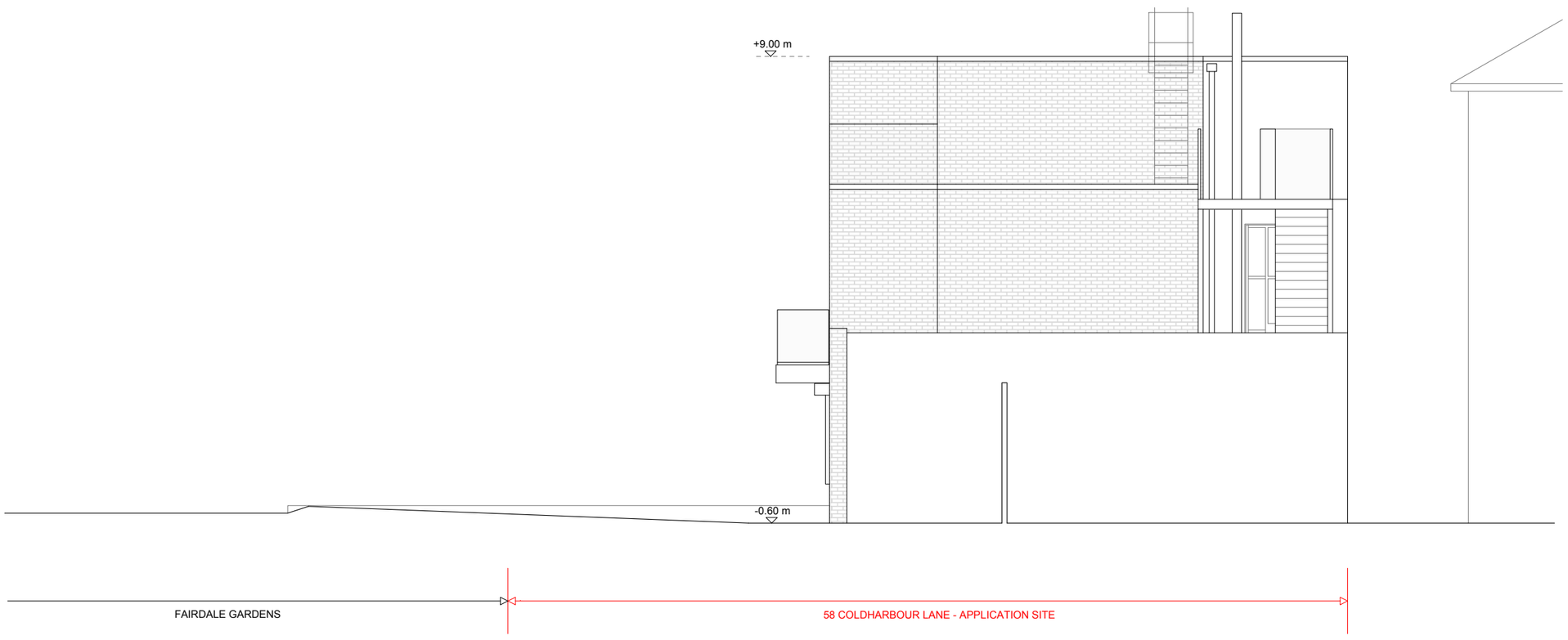
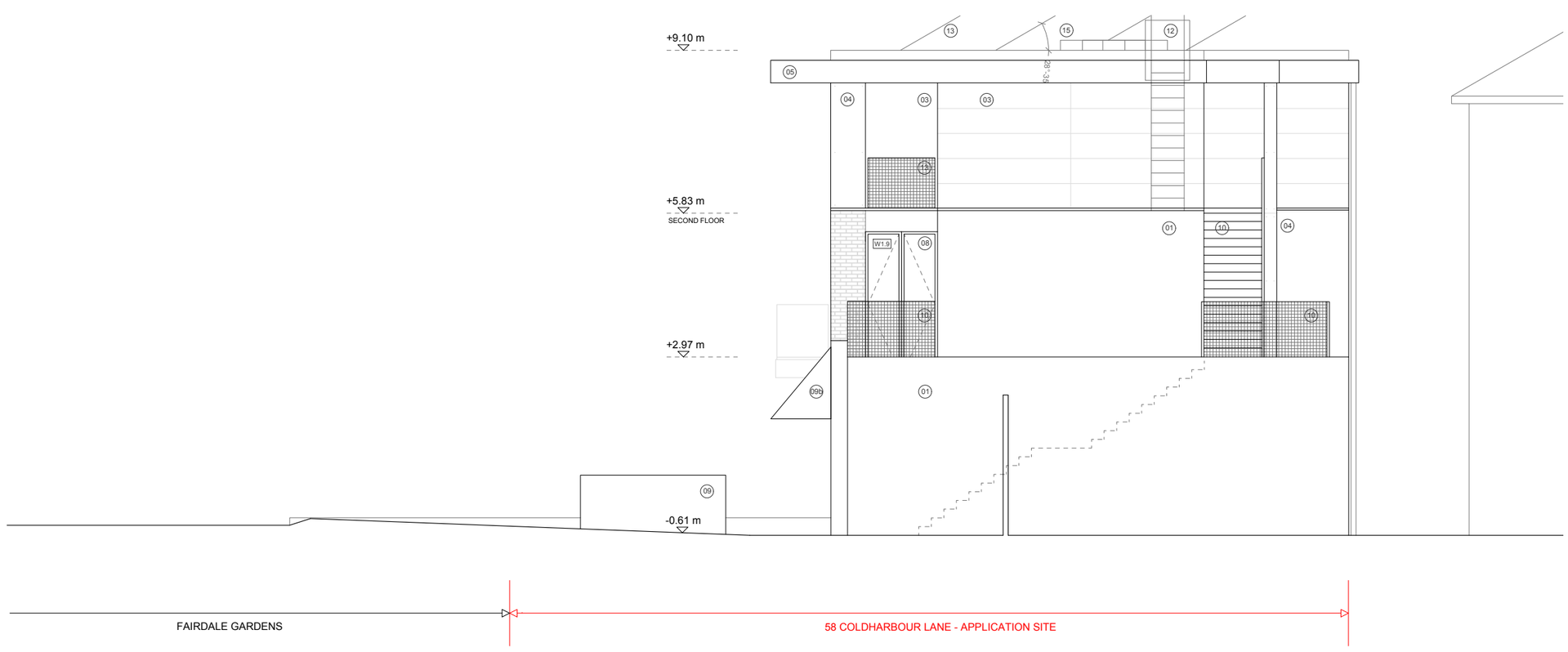
EAST ELEVATION
APPROVED



EAST ELEVATION
PROPOSED



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0 1 5m

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Description:

For planning

Scale@Format
1:100@A2

Date
23.09.2022

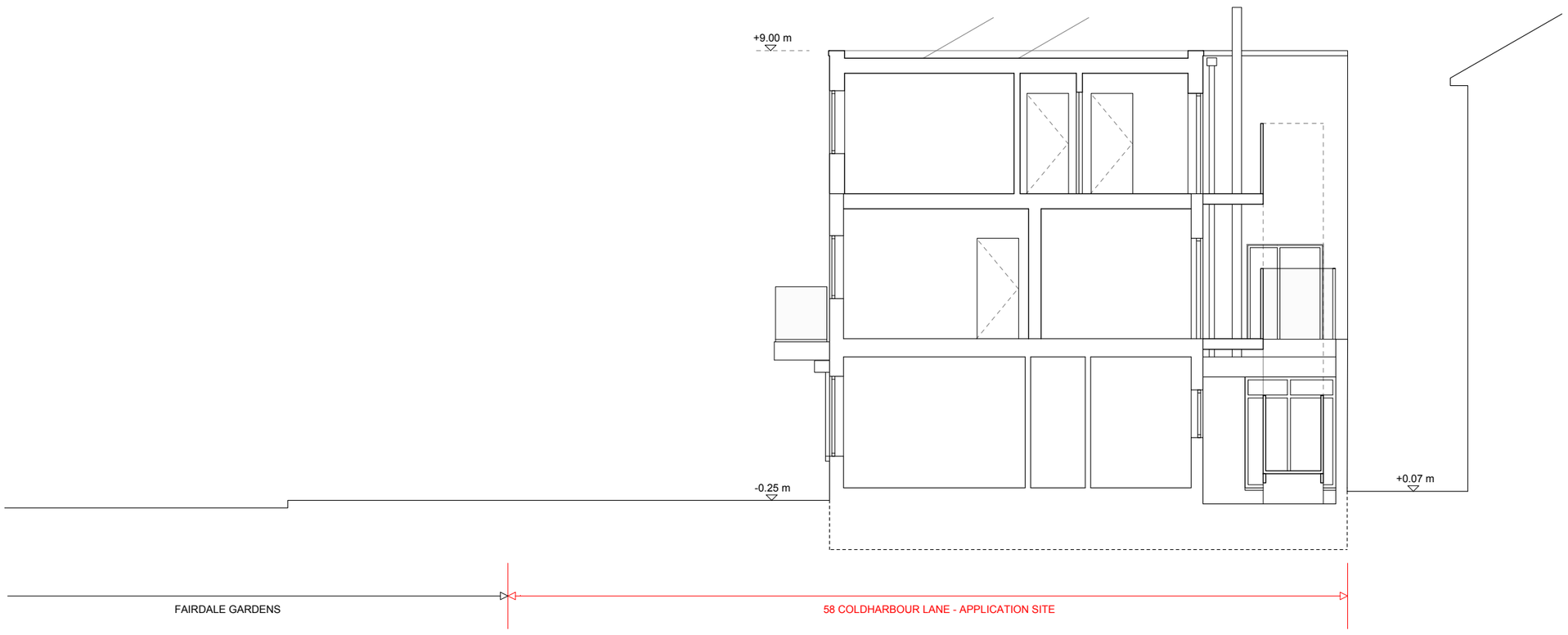
Project no. 066
Drawing no. 254
Rev. A

Project
52, Coldharbour Lane, Hayes, UB3 3EP

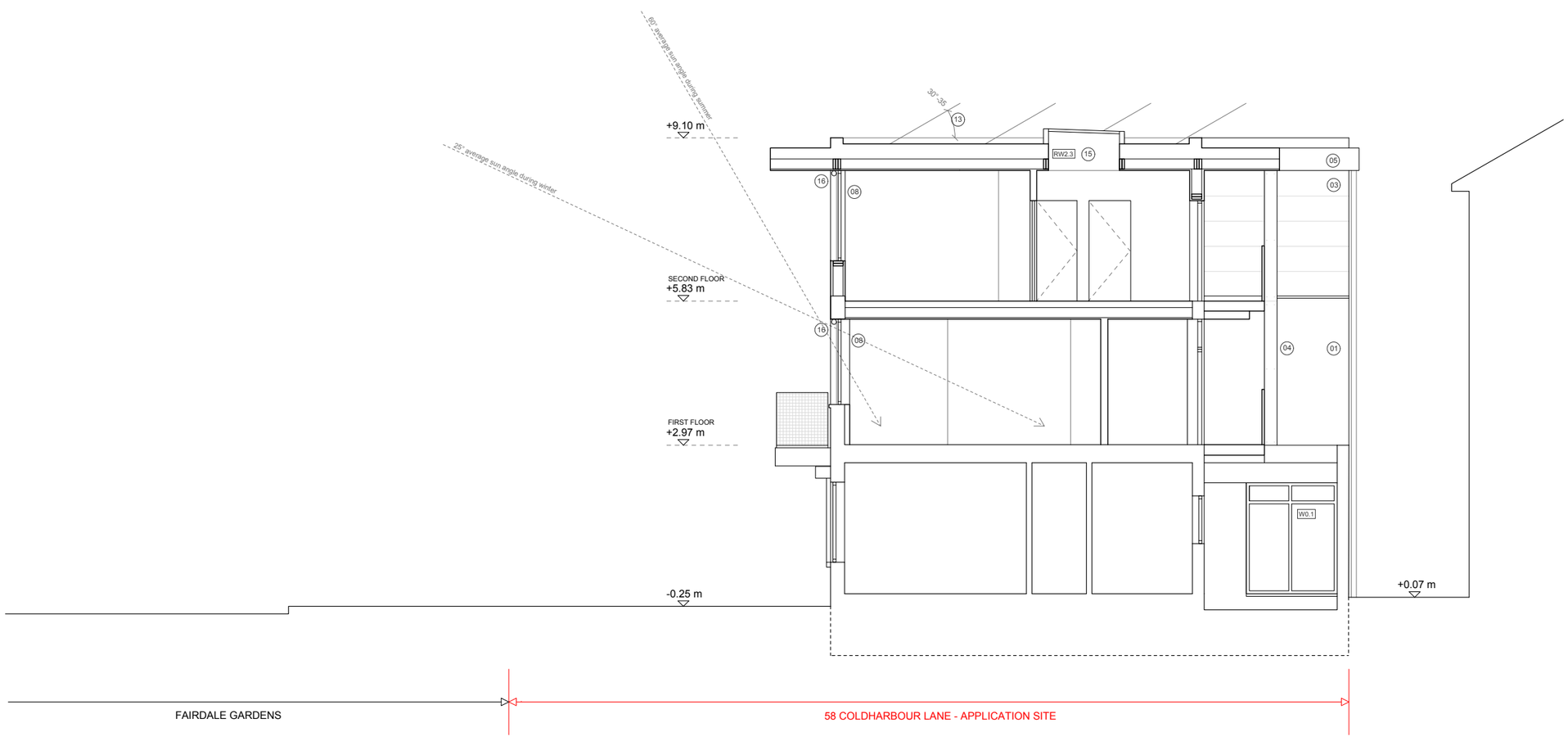
Drawing name
EAST ELEVATION

A——A
ARRIGONI ARCHITECTS
+44 (0) 20 8471 3133
info@arrigoniarchitects.com
arrigoniarchitects.com

SECTION B-B'
APPROVED



SECTION B-B'
PROPOSED



Keys:

0 1 5m

Key:

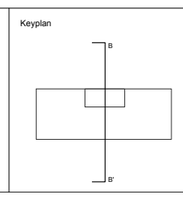
01 - Light grey render
02 - Brick tiles to match existing bricks
03 - Light grey fibre cement
04 - Green fibre cement
05 - Mill finish aluminium fascia
06 - Mill finish aluminium rainwater pipe
07 - Existing windows and green roller blinds
08 - Triple glazed composite windows by Ideal Combi: Anodised aluminium external finish + light grey powder coated steel window sill
09 - Light grey powder coated steel cladding
09b - Green powder coated steel entrance canopy
10 - Light grey powder coated steel parapets and staircase
11 - Self closing entrance door
12 - Giavanized steel CAT ladder
13 - Photovoltaic panels
14 - EPDM flat roof
15 - Flat glass roof window by Velux
16 - Wind resistant external roller blinds, green.

Please, also refer to the Design and Access Statement presented with this Minor-material amendment application.

Notes:

Do not scale from drawings
Arrigoni Architects shall be notified in writings of any discrepancies

Keyplan



Description:

For planning

Scale@Format
1:100@A2

Date
23.09.2022

Project no.	Drawing no.	Rev.
066	272	A

Project
52, Coldharbour Lane, Hayes, UB3 3EP

Drawing name
SECTION B-B'

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ARRIGONI ARCHITECTS

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