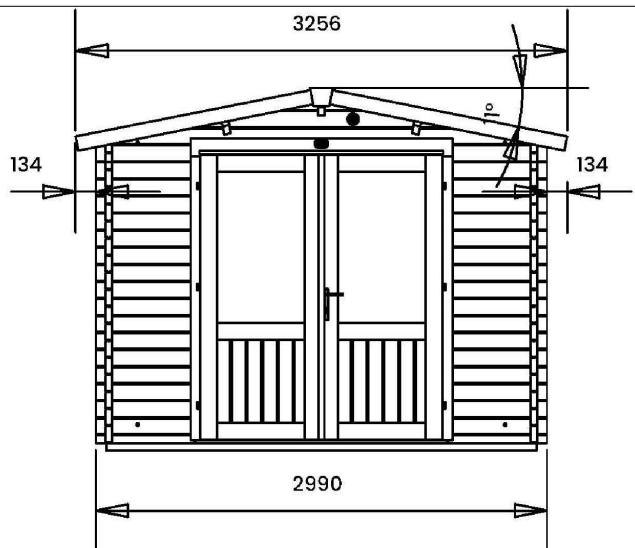
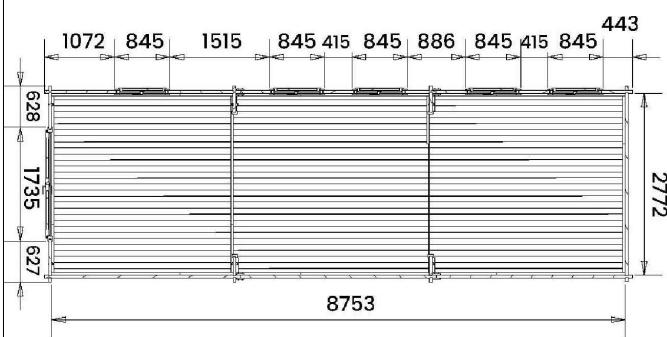




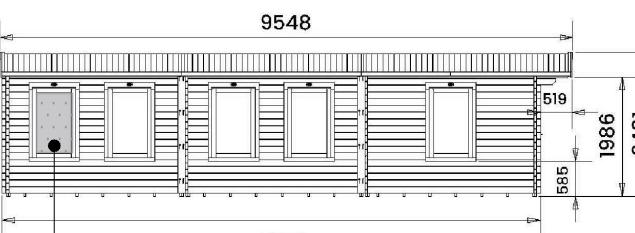
PROPOSED 3D IMAGE



PROPOSED FRONT ELEVATION



BASE INTERNAL PLAN
(refer to P004 for proposed plan)



PROPOSED SIDE ELEVATION

NOTE: PROPOSED REAR ELEVATION AS FRONT ELEVATION BUT WITH NO DOORS

NOTE: PROPOSED REAR LONG ELEVATION AS PROPOSED SIDE ELEVATION BUT WITH NO WINDOWS

Specification

- Overall External Dimensions: 3.25m x 9.51m (10' 7" x 31' 2")
- External Width: 2.99m (9' 9")
- External Depth: 8.98m (29' 5")
- Internal Width: 2.77m (9' 1")
- Internal Depth: 8.76m (28' 8")
- Internal Area (m²): 24.27m²
- Ridge Height: 2.38m (7' 9")
- Internal Eaves Height: 2.02m (6' 7")
- Roof Overhang: 0.58m (1' 10")
- Roof Purlins: 140mm x 45mm
- Roof & Floor Thickness: 19mm Tongue and Groove
- Floor Bearers: Pressure Treated
- Storm Braces: Included
- Door Locking System: Multi-point lock
- Door Height (Walkthrough Height): 1.82m
- Door Width (Walkthrough Width): 1.55m
- Window Opening Size: 0.66m x 1.08m (2' 1" x 3' 6")
- Glazing Material: 24mm double glazed
- Ventilation: 2 Plastic Vents Included
- Approx. Assembly Time: 2 Days*

*This is an approximate time only, based on 2 people. Assembly time may vary depending on season/weather conditions, foundation type, ability of those constructing, etc

Note:

The Contractor will be responsible for following design elements in line with the planning drawings. This will include responsibility for the following design elements including: to review the design with site surveys, full drainage, structural, mechanical and electrical, public health, fire strategy, and all other statutory requirements, and in accordance with the latest local statutory standards and best practices as necessary for a fit for purpose building. The term "Contractor" here in will mean the Contractor or his appointee(s).

PROPOSED ELEVATIONS

SCALE 1:50



Notes:

SITE:

Outbuilding at 28 Romney Road, Hayes. UB4 8PU

TITLE:

Proposed Elevations & 3D Image of Outbuilding

P/005

DRAWING NO.

A002

PROJECT NO.

16.04.25

DATE.

1:50@A3

SCALE AT A3.

fg

DRAWN.

fg

CHECKED.

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REVISION.

Mrs Margaret Murray
28 Romney Road
Uxbridge
Middlesex.
UB4 8PU