

**STRICTLY FOR PLANNING ONLY**

**DWG NO: P001**

**JUNE 2022 (ISSUED)**

**FACING MATERIALS TO MATCH  
EXISTING DWELLING HOUSE**

Existing structure

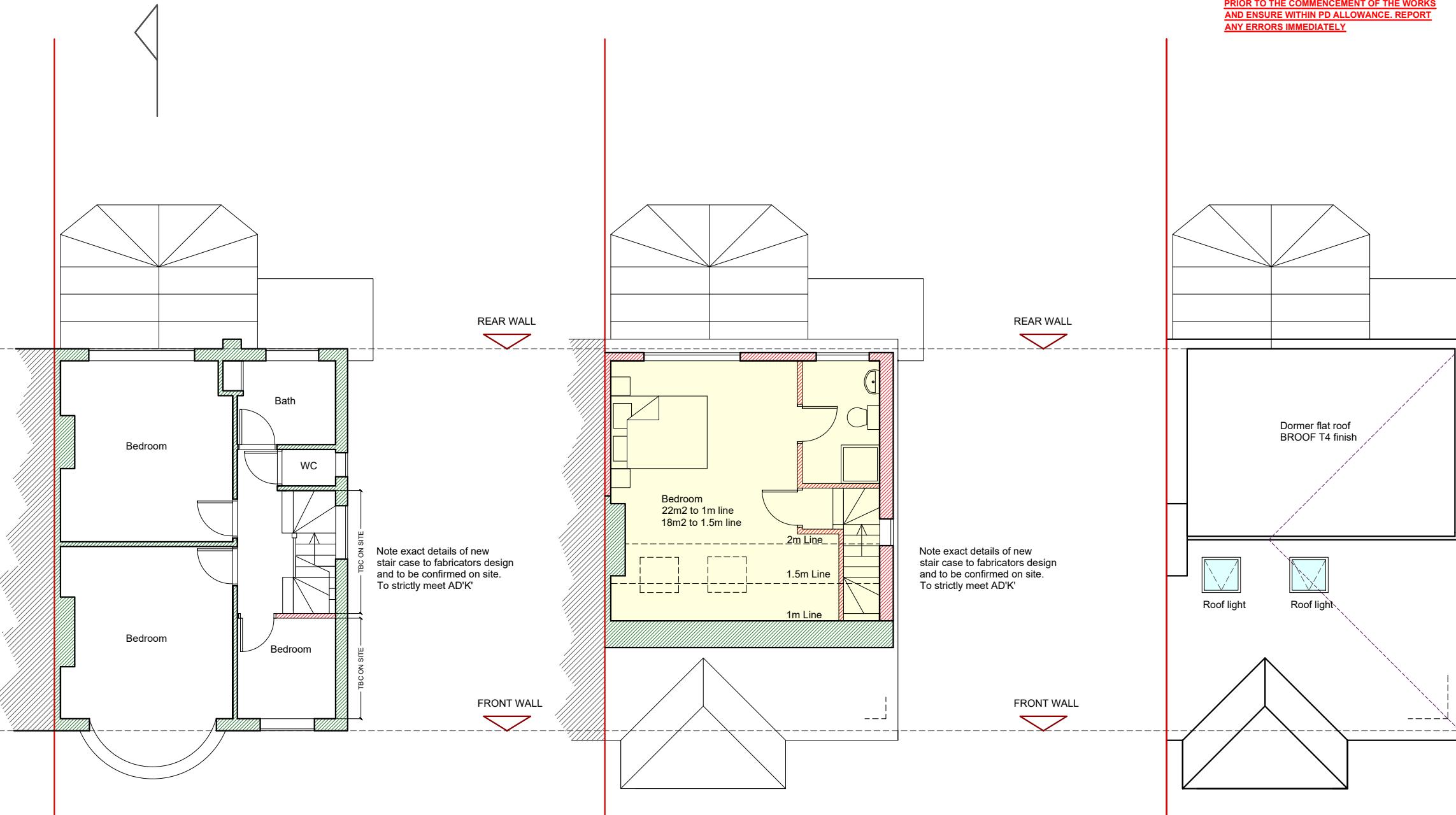
Neighbouring properties

Proposed structure

Demolished

Proposed floor space

**REAR ELEVATION**



**NOTE EXISTING ROOF HEIGHT IN LOFT  
SPACE MUST BE CONFIRMED  
PRIOR TO CONSTRUCTION. CLARIFY  
ANY ASSUMPTIONS MADE**

HIP TO GABLE END AREA = 10.52m<sup>2</sup>

VOLUME = 13.91m<sup>3</sup>

DORMER VOLUME = 25.84m<sup>3</sup>

TOTAL = 39.75m<sup>3</sup> < 50m<sup>3</sup>

**CONTRACTOR TO CHECK ALL MEASUREMENTS  
PRIOR TO THE COMMENCEMENT OF THE WORKS  
AND ENSURE WITHIN PD ALLOWANCE. REPORT  
ANY ERRORS IMMEDIATELY**

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Notes		
Rev	Date	Comments

**Notes**  
- This drawing is for town planning purposes only. It is not to be used for construction or any other purpose.  
- The client is responsible for obtaining all statutory provisions including Building Regulations approval, works under the Party Wall Act 1996, and CDM Regulations 2015.  
- Any figured dimensions are based on limited survey information. All dimensions are to be verified by the contractor prior to the commencement of works. Any discrepancies to be reported immediately.  
- Any other discrepancies or omissions to be reported immediately

**Class C – other alterations to the roof**  
This provides permitted development rights for any other alteration to the roof of a house. Such alterations will not involve any enlargement of the house, but would, for example, cover the installation of roof lights/windows.

Under Class C the following limits and conditions apply:

C.1 Development is not permitted by Class C if –  
a) permission to use the dwellinghouse as a dwellinghouse has been granted only by virtue of Class M, N, P, PA or Q of Part 3 of this Schedule (change of use). Alterations are not permitted where the house was created under the permitted development rights to change use, set out in Classes M, N, P, PA, and Q of Part 3 of Schedule 2 to the Order (see page 4).

**COMPLIES, PERMISSION TO USE DWELLINGHOUSE NOT GRANTED  
UNDER PD**

(b) the alteration would protrude more than 0.15 metres beyond the plane of the slope of the original roof when measured from the perpendicular with the external surface of the original roof.

**COMPLIES, ANNOTATION ON PLANS**

(c) it would result in the highest part of the alteration being higher than the highest part of the original roof; or  
(d) it would consist of or include –  
(i) the installation, alteration or replacement of a chimney, flue or soil and vent pipe, or

**COMPLIES**

(ii) the installation, alteration or replacement of solar photovoltaics or solar thermal equipment

**COMPLIES, NA**

Conditions  
C.2 Development is permitted by Class C subject to the condition that any window located on a roof slope forming a side elevation of the dwellinghouse shall be –

(a) obscure-glazed; and  
(b) non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed

**COMPLIES, ANNOTATION ON PLANS**

