

New lintels to be IG type or similar approved unless noted otherwise.

New WC to have mechanical ventilation to open air, min 30l/s.

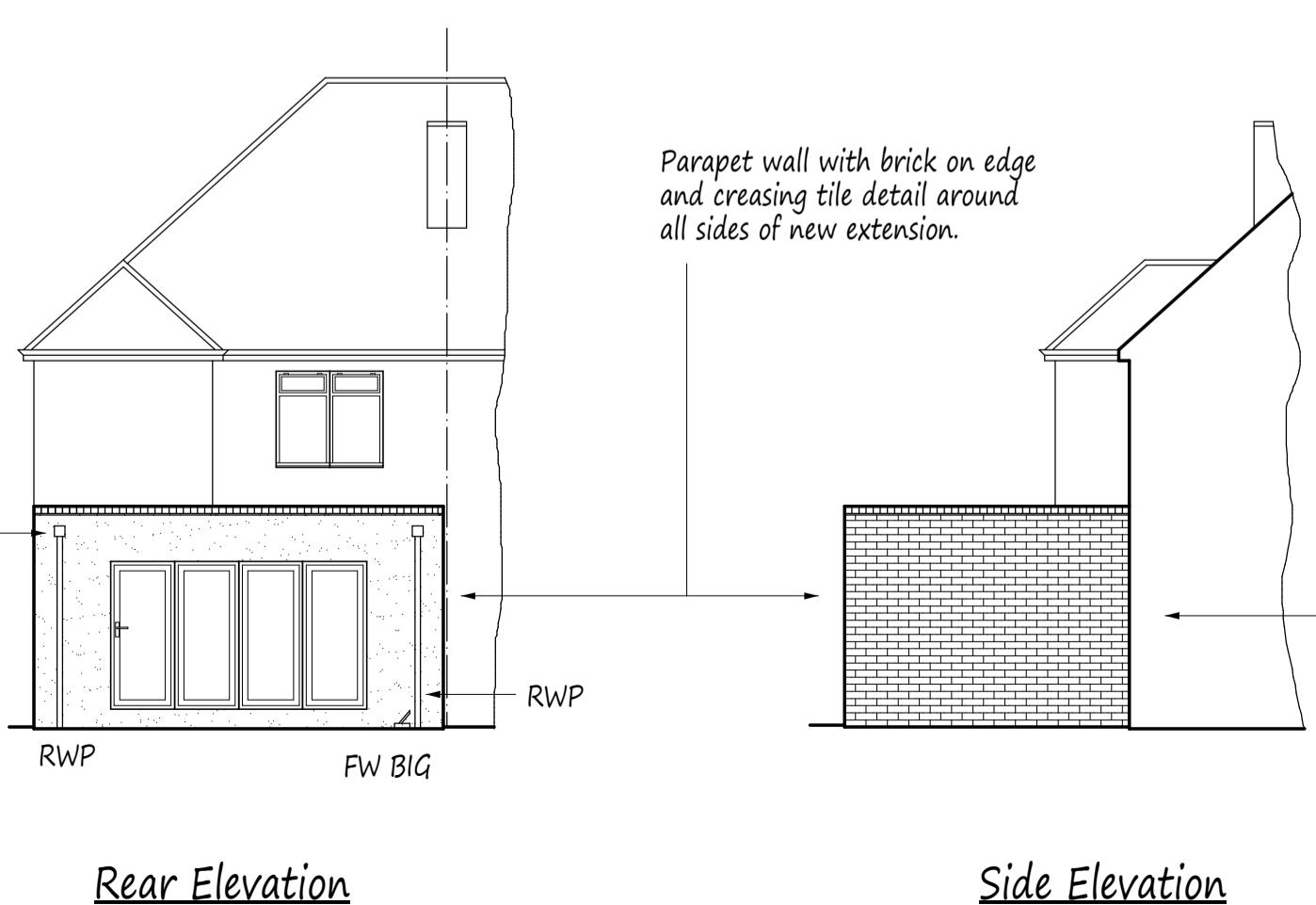
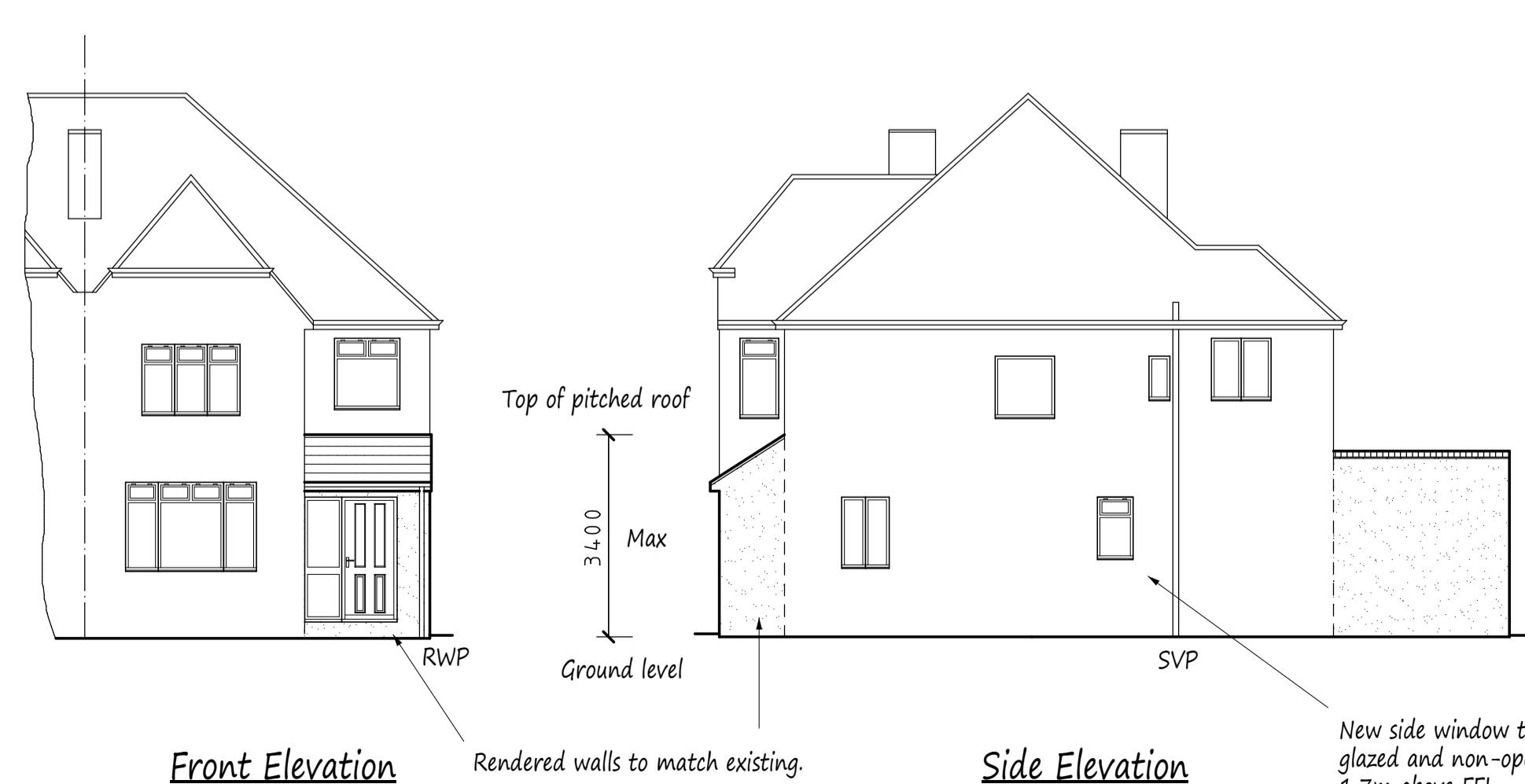
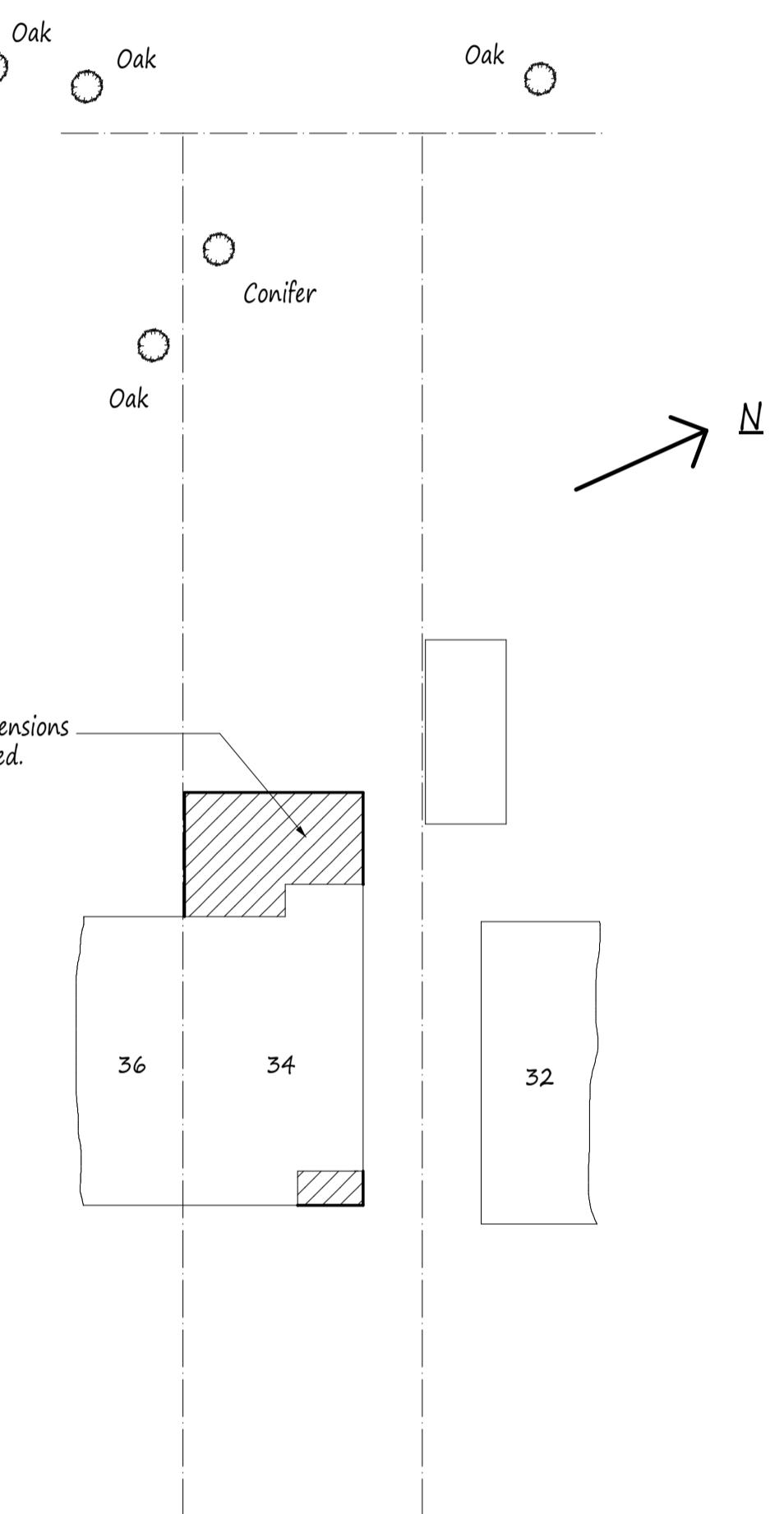
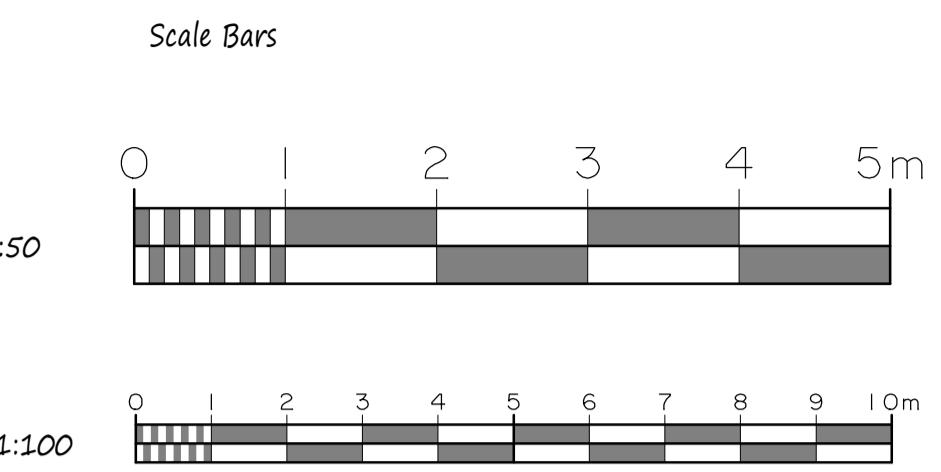
New kitchen to have mechanical ventilation to open air, min 60l/s or 30l/s if incorporated within a cooker hood.

Rainwater from new roof to be taken to soakaway, min 1.0m cubed for every 16.5m² of roof to be drained. Contractor to expose existing surface water system on site and can confirm with Local Authority if rainwater can be taken back to existing system.

New side flank wall to be eccentrically positioned on foundation as to not encroach onto neighbours property. If neighbours extension already built at time of construction, foundations to be excavated and poured in 1m increments as to not undermine foundations to neighbours extension.

Thames Water Requirements (if required)

1. No internal manholes
2. Foundations to extend below invert level of any drain.
3. Pre-cast concrete lintels to be provided where drains pass through walls.
4. Min 600mm from side of trench to side wall of sewer if sewer deeper than 1.1m, otherwise minimum of 100mm required if less than 1.1m deep.



NOTES:
All dimensions must be checked on site and not scaled from this drawing.

1. All dimensions are in millimetres.
2. Vertical to be 1/20 of floor area (min).
3. Lintels to have minimum end bearings of 150mm.
4. Walls: 103mm face brickwork/100mm concrete blockwork externally and pebbledashed/rendered to finish. 100mm cavity filled with dryrender 34 insulation. Minimum 100mm celcon solar block to be provided on sides and over heads of new external windows and doors, also where the cavity is closed. Provide insulated cavity closers at reveals.
5. If proposed extension covers air brick then air brick pipe to be removed and 100mm diameter PVC pipe to provide from existing to new air brick in external wall.
6. New habitable rooms to have background ventilation of at least 8000m³ i.e. Trickle vent or air brick.
7. New steel beams to be encased in 2, 12mm sheets of plasterboard and skim to achieve necessary fire protection.
8. New stud partitions to be constructed of 100mm x 50mm timber studs with 10mm horizontal nogging. Infill with rockwool mineral wool quilt, 2 x 12mm sheets of plasterboard and skim. Partitions to be constructed off doubled up floor joists bolted together with M12 bolts @ 500mm centres.
9. New structural timber to be SC3 grade and tannated.
10. New windows and doors to be double glazed and achieve a U-Value of 1.6w/m² i.e. 16mm spaced with side lights to be toughened.
11. Glazing: 10mm diameter PVC piping (flexible) totally encased in 100mm peashingle (10mm). Provide pre-cast concrete lintels where drains pass through walls. Neighbour holes to be covered with 5mm thick class B semi engineering brickwork on 150mm thick concrete slab and medium duty covers.
12. Waste pipe sizes: Sink - 38mm diameter, Bath - 38mm diameter, Shower - 38mm diameter. Wash hand - 28mm diameter. All with 25mm deep seal traps. All plumbing to be to BS 5537:1978.
13. Drainage: 100mm diameter PVC piping (flexible) totally encased in 100mm peashingle (10mm). Provide pre-cast concrete lintels where drains pass through walls. Neighbour holes to be covered with 5mm thick class B semi engineering brickwork on 150mm thick concrete slab and medium duty covers.
14. Waste pipe sizes: Sink - 38mm diameter, Bath - 38mm diameter, Shower - 38mm diameter. Wash hand - 28mm diameter. All with 25mm deep seal traps. All plumbing to be to BS 5537:1978.
15. 75% of light fittings to be capable of taking a lamp having a luminous efficiency greater than 40 lumens/circuit watt.
16. All electrical work to be designed and installed, inspected and tested in accordance with the requirements of BS 7671, the IEE 17th edition wiring guidance and Building Regulation Part P (Electrical Safety) by a competent person with a valid certificate of safety (BSI ELECSA, NAPIT or NICEIC).
17. If the proposed works involves the installation of a new boiler, then it is to be a condensing type with a SEDBUK rating not less than 90%. Boiler to be installed by an approved contractor and certified radiators to have thermostatic valves.

A	Nov 2021	Rev'd details
	Date	Revisions

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Client
Mr & Mrs Lad

Job Title

34 Ivy House Road
Ickenham
Middlesex

Drawing Title

Proposed Single Storey Front and Rear Extension.

Scale

1:50. 100. 200

Date
July 2021

Drawn by
MDP

Drg No.

4582/02A