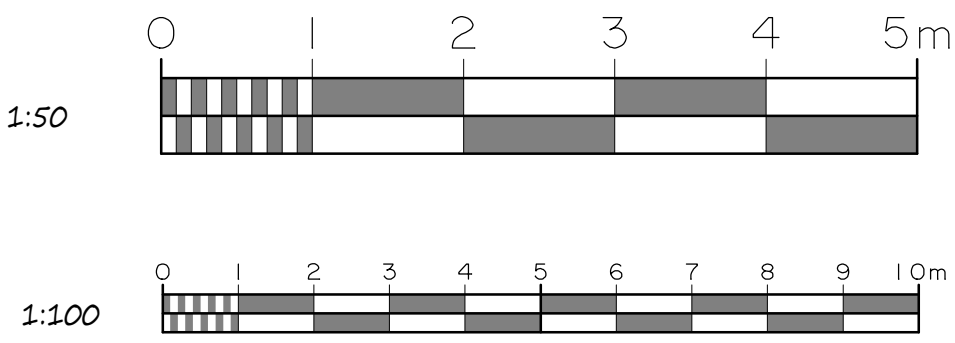


Assumption made regarding load-bearing internal walls as likely first floor joists spanning the shorter span and unlikely joists would span the lengths of existing dining and living rooms. If this is not found to be the case, then revised details required to support chimney to be removed.

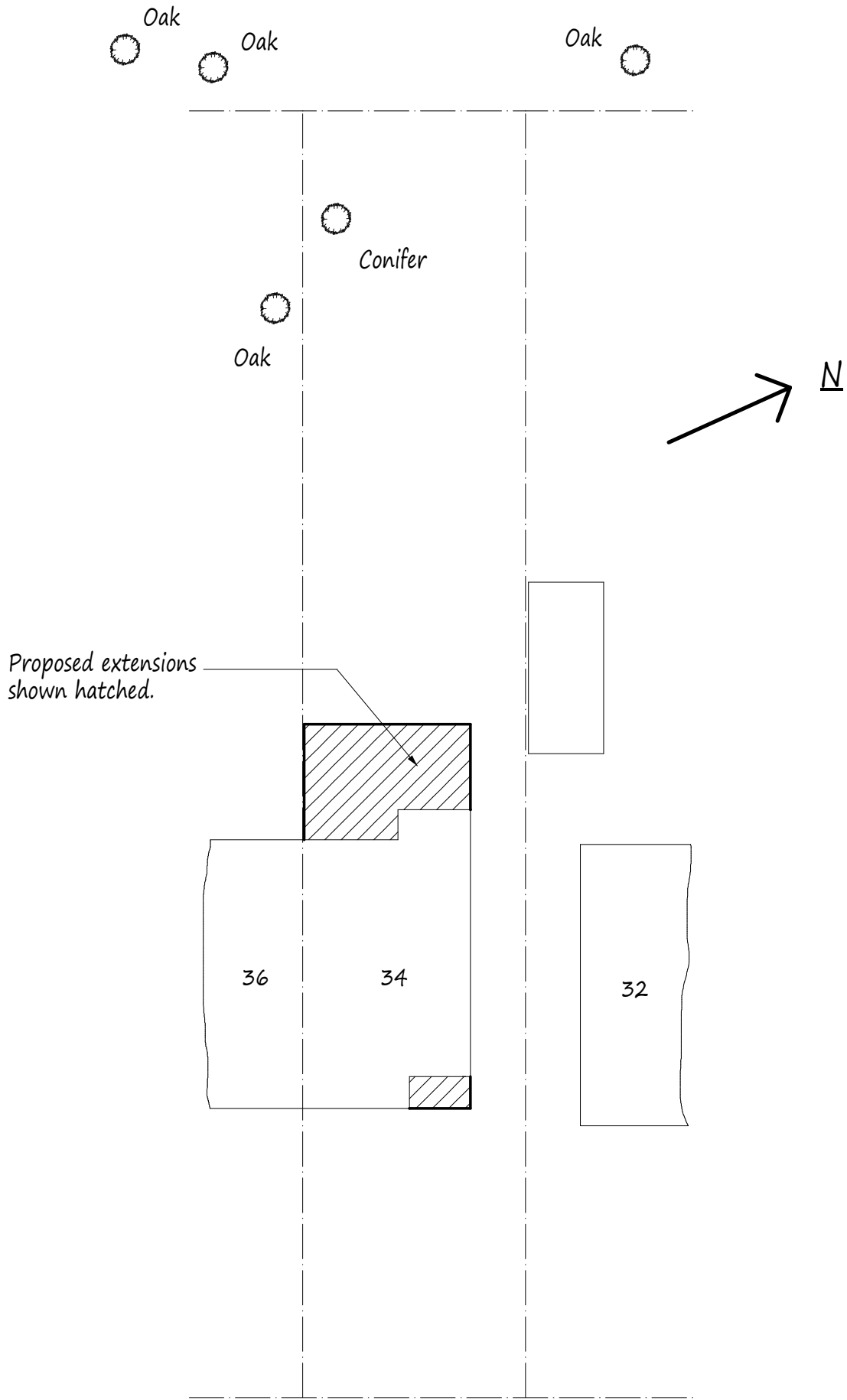
This drawing to be read in conjunction with Drg No's 4582/01 & 03

Scale Bars

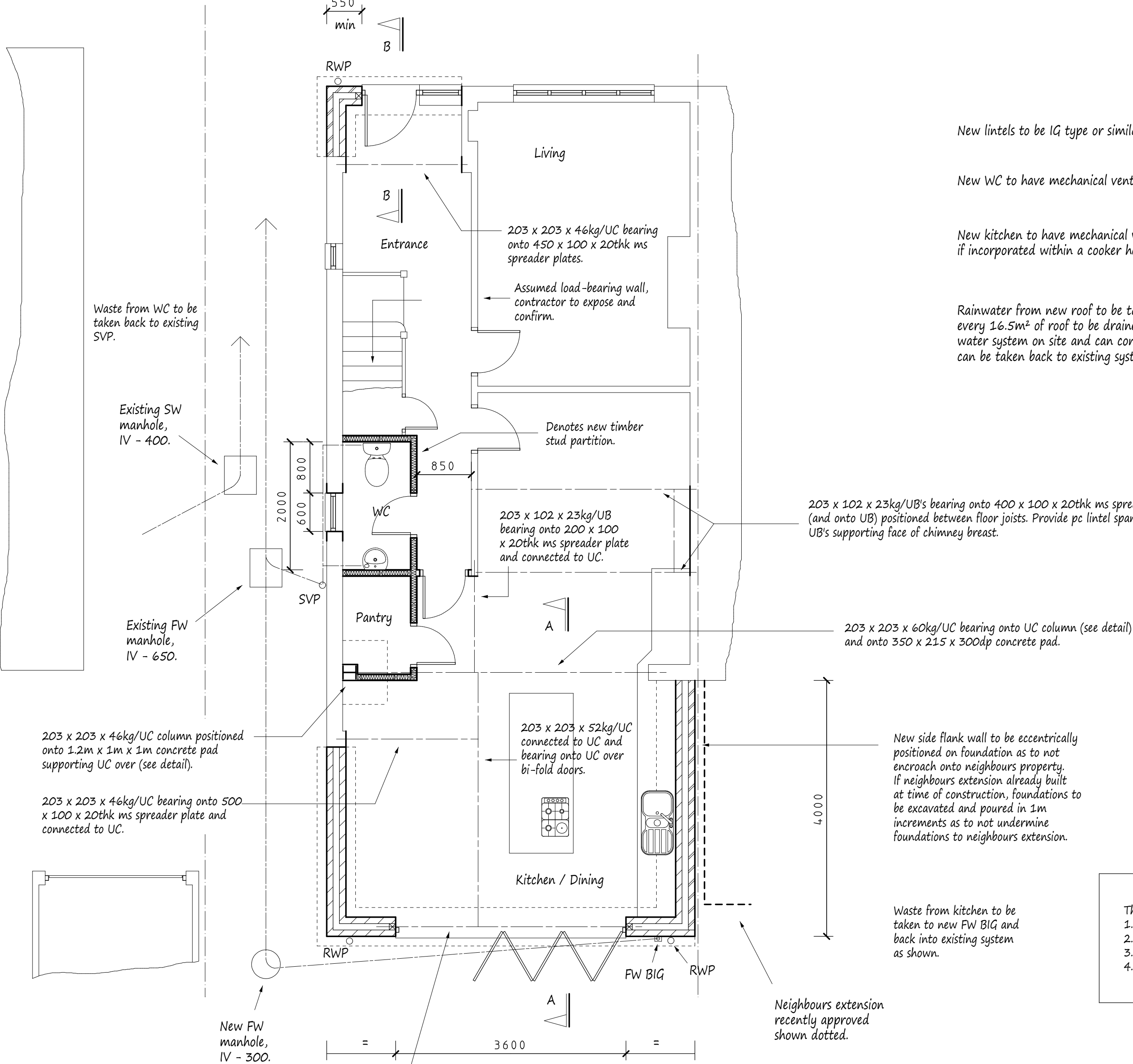


NOTES:  
All dimensions must be checked on site and not scaled from this drawing.

- All dimensions are in millimetres.
- Ventilation to be 1/20 of floor area (min).
- Lintels to have minimum end bearings of 150mm.
- Walls: 103mm face brickwork/100mm concrete blockwork externally and pebbledashed/rendered to finish. 100mm cavity filled with drytherm 34 insulation. Minimum 100mm celcon solar blockwork or similar approved, and plastered to finish. External render to be applied in 2 coats with a suitable waterproof additive.
- Cavity walls to have stainless steel ties @ 450mm centres and staggered 900mm horizontally.
- DPC's to be provided up sides and over heads of new external windows and doors, also where the cavity is closed. Provide insulated cavity closers at reveals.
- If proposed extension covers air bricks then air brick to be removed and 100mm diameter PVC pipe provided from existing to new air brick in external wall.
- New habitable rooms to have background ventilation of at least 8000mm<sup>2</sup> i.e. Trickle vent or air brick.
- New steel beams to be encased in 2, 12mm sheets of plasterboard and skim to achieve necessary fire protection.
- New stud partitions to be constructed of 100mm x 50mm timbers @ 400mm centres with horizontal noggins. Infill with rockwool mineral wool quilt, 2 x 12mm sheets of plasterboard and skim. Partitions to be constructed off doubled up floor joists bolted together with M12 bolts @ 500mm centres.
- New structural timber to be SC3 grade and tanalised.
- New windows and doors to be double glazed and achieve a U-Value of 1.6w/m<sup>2</sup> k i.e. 16mm spacer with low E glass to inner pane. Glazing to doors and side lights to be toughened.
- Drainage: 100mm diameter PVC piping (flexible) totally encased in 100mm peashingle (10mm). Provide pre-cast concrete lintels where drains pass through walls. New manholes to be constructed in 215mm thick class B semi engineering brickwork on 150mm thick concrete slab and medium duty cover.
- Waste pipe sizes: Sink - 38mm diameter. Bath - 38mm diameter. Shower - 38mm diameter. Wash hand basin - 32mm diameter. All with 75mm deep seal traps. All plumbing to be to BS 5572:1978.
- 75% of light fittings to be capable of taking a lamp having a luminous efficiency greater than 40 lumens/circuit watt.
- All electrical works to be designed and installed, inspected and tested in accordance with the requirements of BS 7671, the IEE 17th edition wiring guidance and Building Regulation Part P (Electrical Safety) by a competent person with a self certification scheme authorised by the Secretary of State (BRE, BS, ELE, ECSA, NAPIT or NICEIC).
- If the proposed works involves the installation of a new boiler, then it is to be a condensing type with a SEDBUK rating not less than 90%. Boiler to be installed by an approved contractor and certificated radiators to have thermostatic valves.



Site Plan scale 1:200

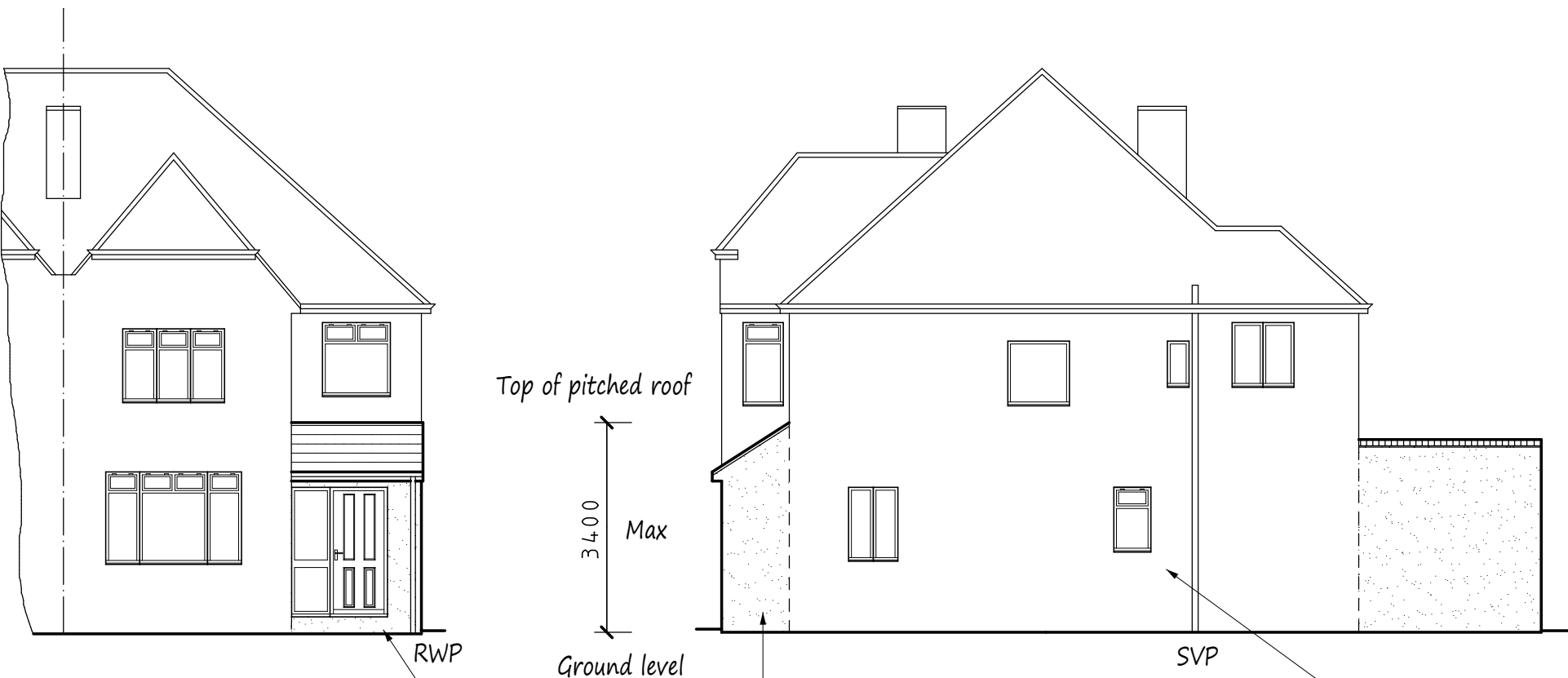


Proposed Ground Floor Plan

Proposed Elevations - All Materials to Match Existing

Thames Water Requirements (If required)

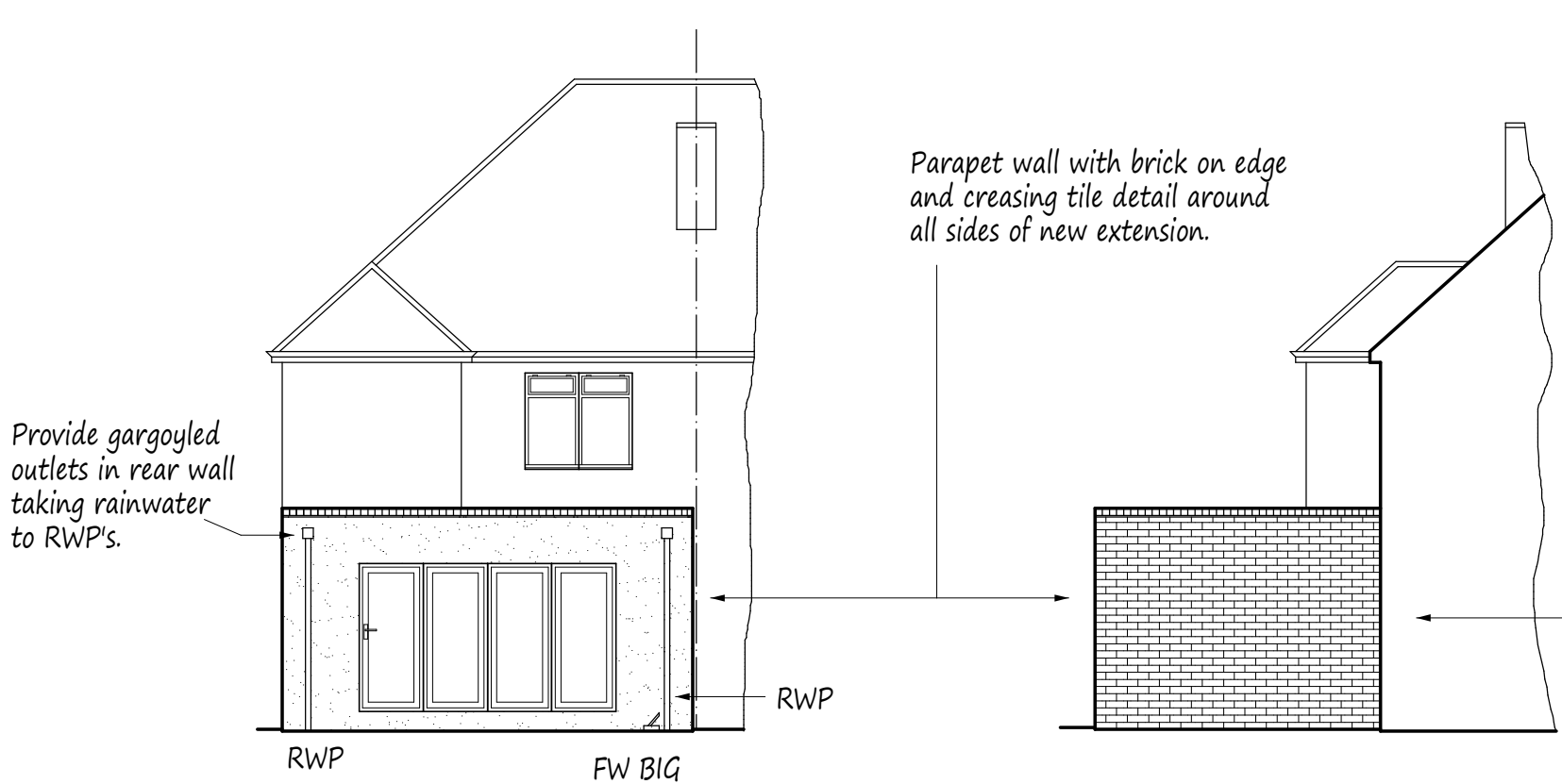
- No internal manholes
- Foundations to extend below invert level of any drain.
- Pre-cast concrete lintels to be provided where drains pass through walls.
- Min 600mm from side of trench to side wall of sewer if sewer deeper than 1.1m, otherwise minimum of 100mm required if less than 1.1m deep.



Front Elevation

Side Elevation

New side window to be obscurely glazed and non-openable up to 1.7m above FFL.



Rear Elevation

Side Elevation

A	Nov 2021	Rev'd details
Date		Revisions

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Client  
Mr & Mrs Lad

Job Title

34 Ivy House Road  
Ickenham  
Middlesex

Drawing Title

Proposed Single Storey Front  
and Rear Extension.

Scale  
1:50, 100, 200

Date  
July 2021

Drawn by  
MDP

Drg No.  
4582/02A