

320 High Street
 Harlington, Hayes,
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 UB3 5DU

t:0203 432 5269

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 info@themarketdesignbuild.com

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Drawing Status:

PLANNING

| Rev. | Description | by | Date |
|------|-------------|----|------------|
| P1 | Planning | AS | 27.05.2026 |
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Project Name
 303 Long Drive, Ruislip, HA4 0HT

Clients Name
 James Burke

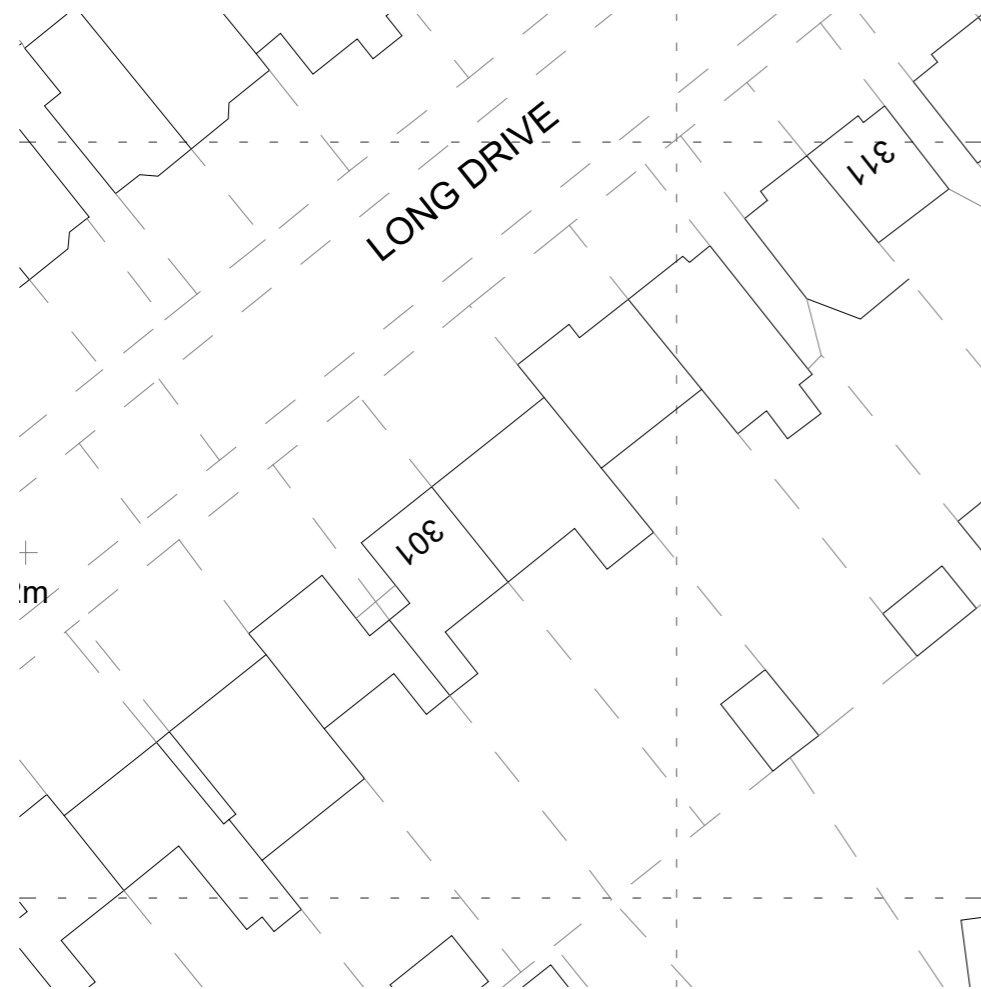
Drawing Title
 Block Plan

Description
 Loft Conversion

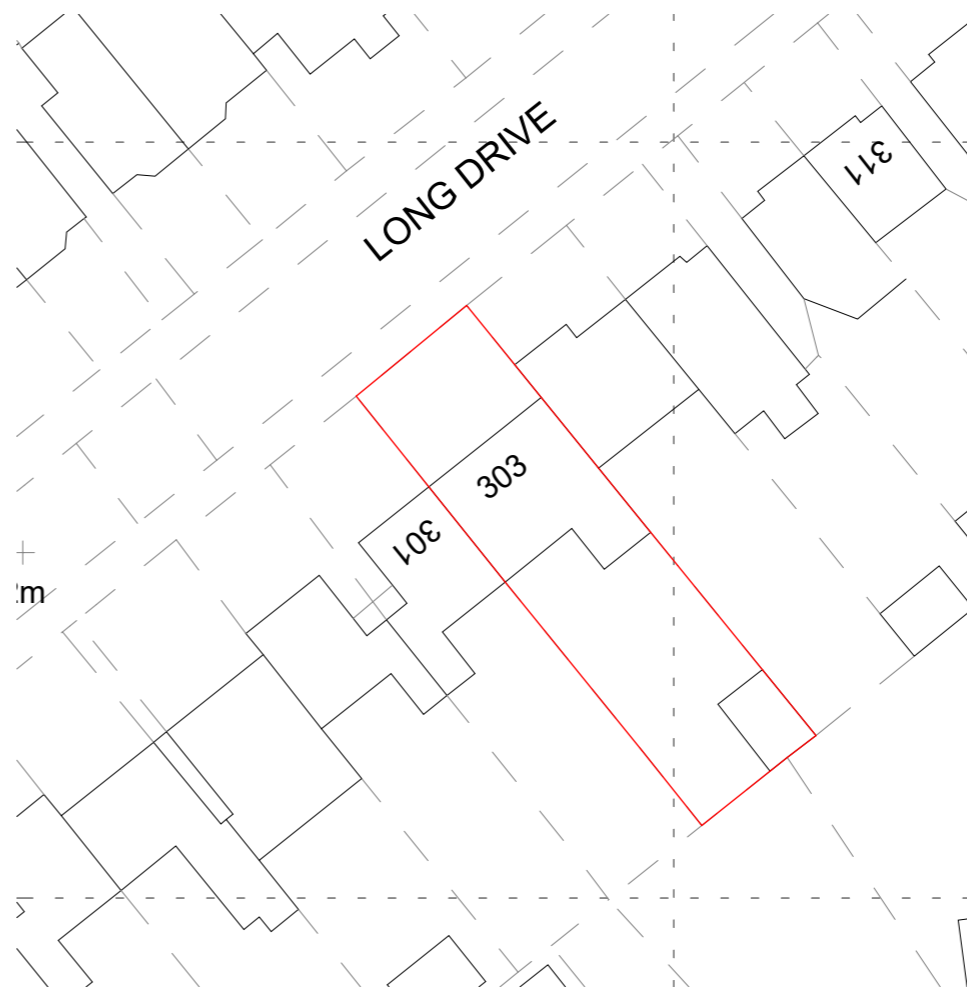
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| Scale 1:500@A3 | Date April 2026 | Drawn By AS |
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Drawing Number
 260023-PL-D 0001

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| Issue Date 27.05.2026 | Checked PS | Revision P1 |
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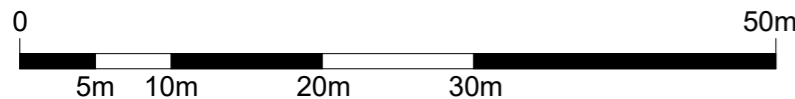


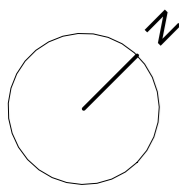
1 Block Plan Existing
 1 : 500



2 Block Plan Proposed
 1 : 500

- EXISTING
- PROPOSED
- DEMOLITION
- SITE BOUNDARY
- INDICATIVE STRUCTURE ABOVE
(REFER TO ENGINEERS INFORMATION)





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Project Name
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Clients Name
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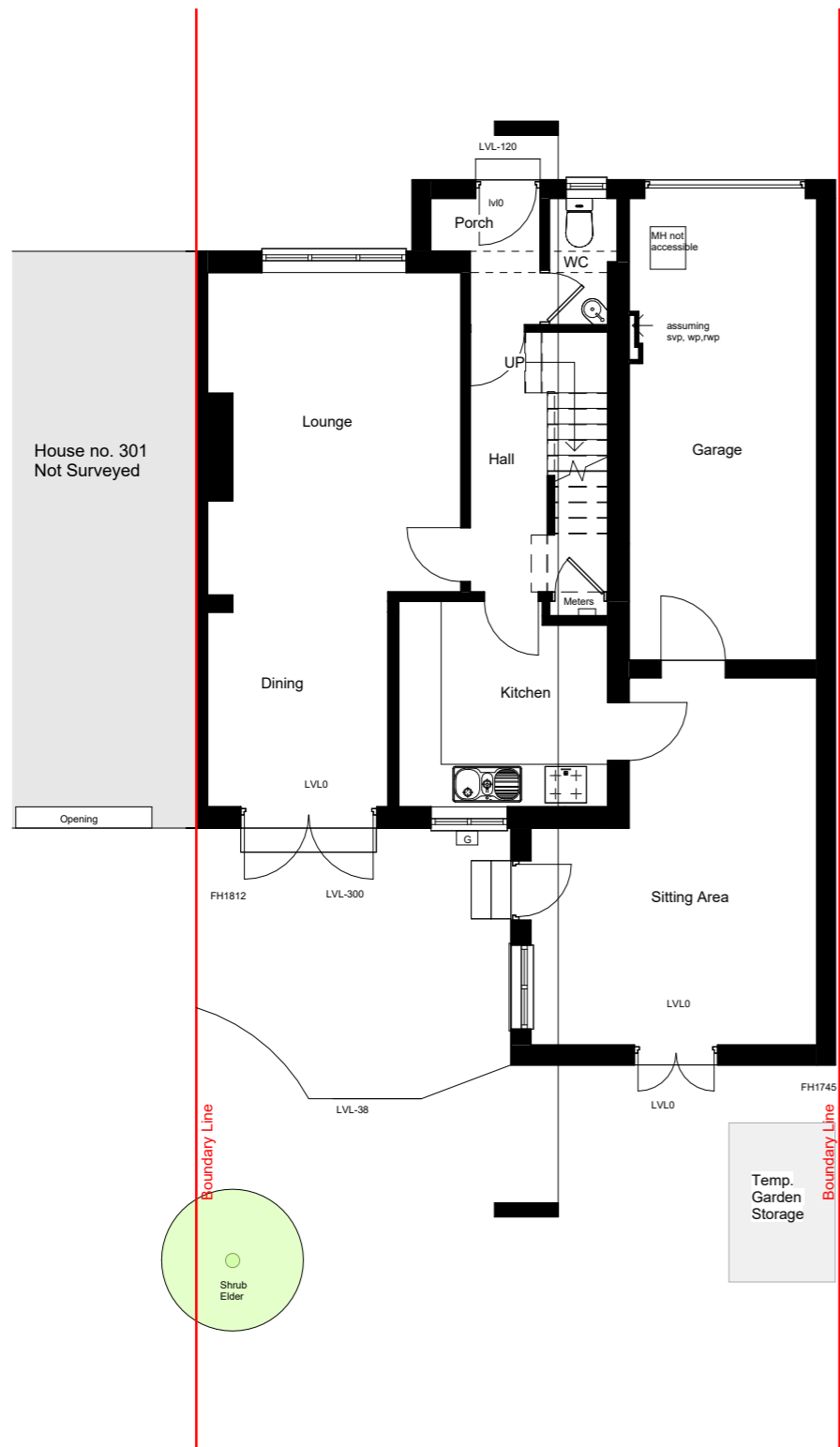
Drawing Title
 Ground Floor

Description
 Loft Conversion

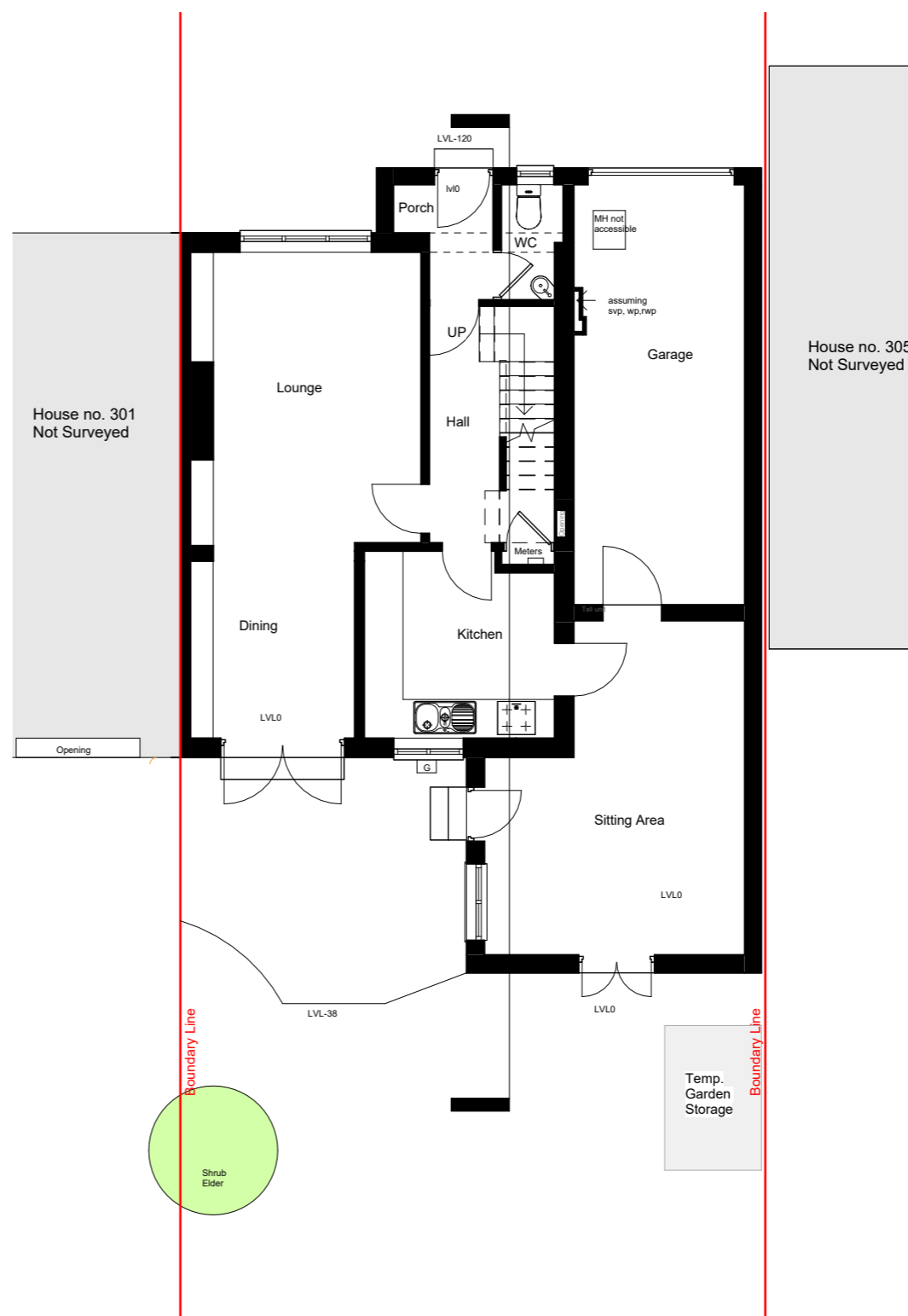
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| Scale 1:100@A3 | Date April 2026 | Drawn By AS |
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Drawing Number
 260023-PL-D 0002

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| Issue Date 27.05.2026 | Checked PN | Revision P1 |
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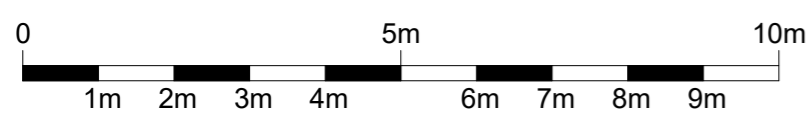


1 00 G.F. Existing
 1 : 100

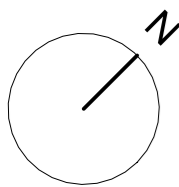


2 00 G.F. Proposed
 1 : 100

- EXISTING
- PROPOSED
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- INDICATIVE STRUCTURE ABOVE
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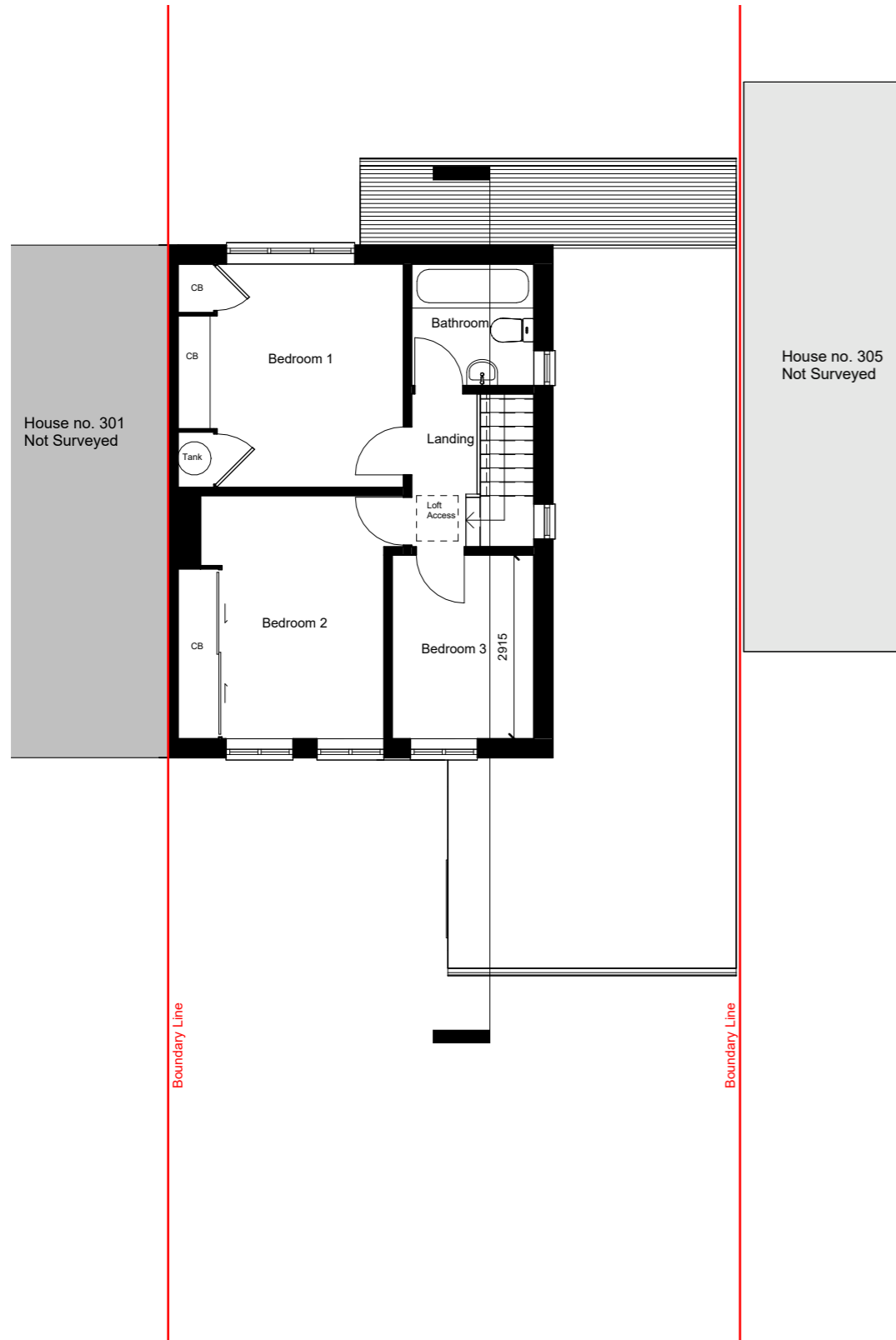
Drawing Title
 First Floor

Description
 Loft Conversion

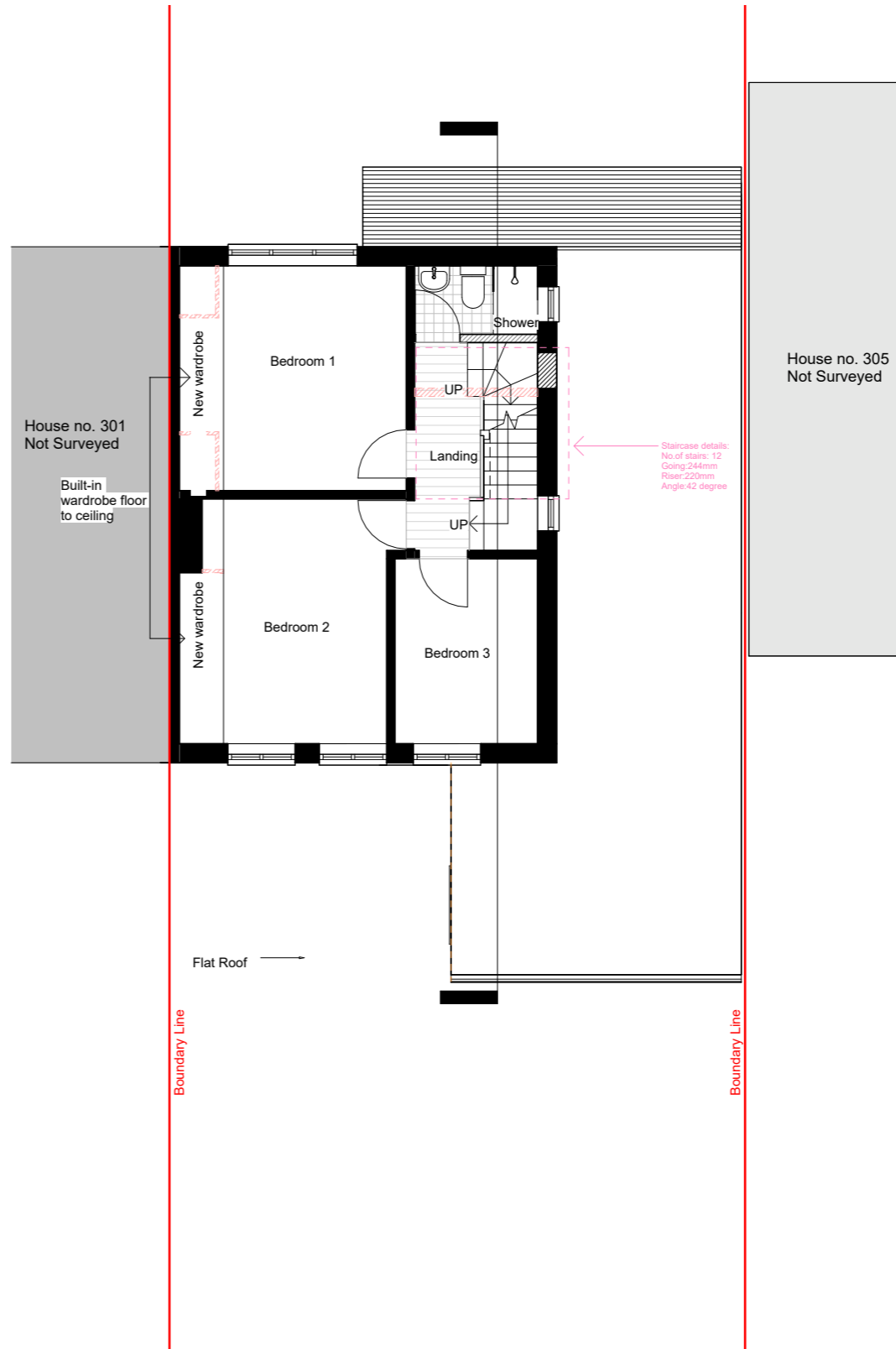
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| Scale 1:100@A3 | Date April 2026 | Drawn By AS |
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Drawing Number
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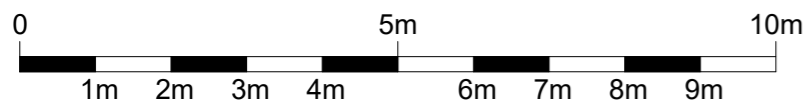


1 01 F.F Existing
 1 : 100

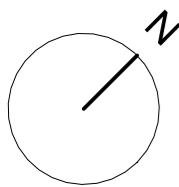


2 01 F.F Proposed
 1 : 100

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Clients Name
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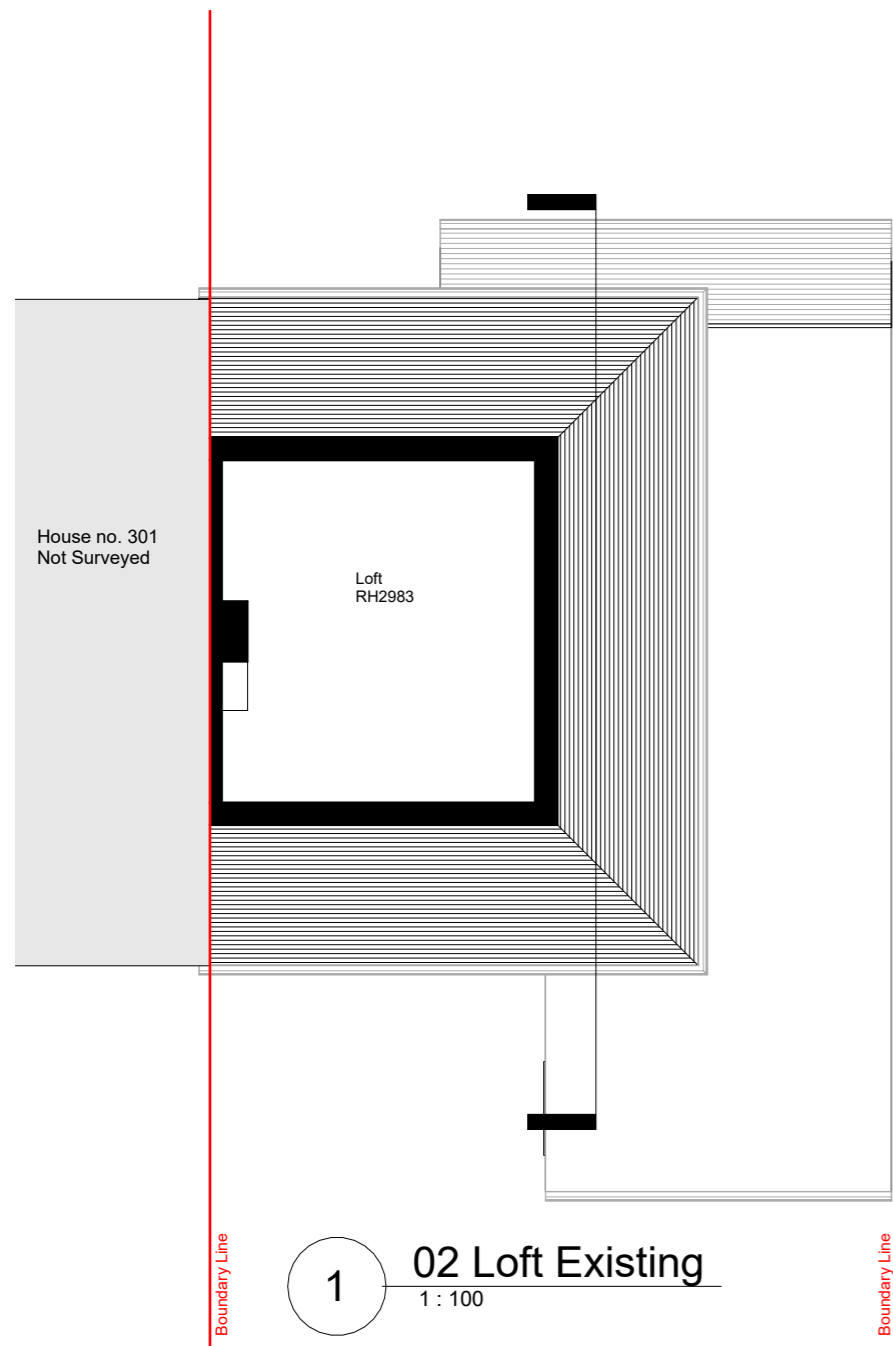
Drawing Title
 Loft Plans

Description
 Loft Conversion

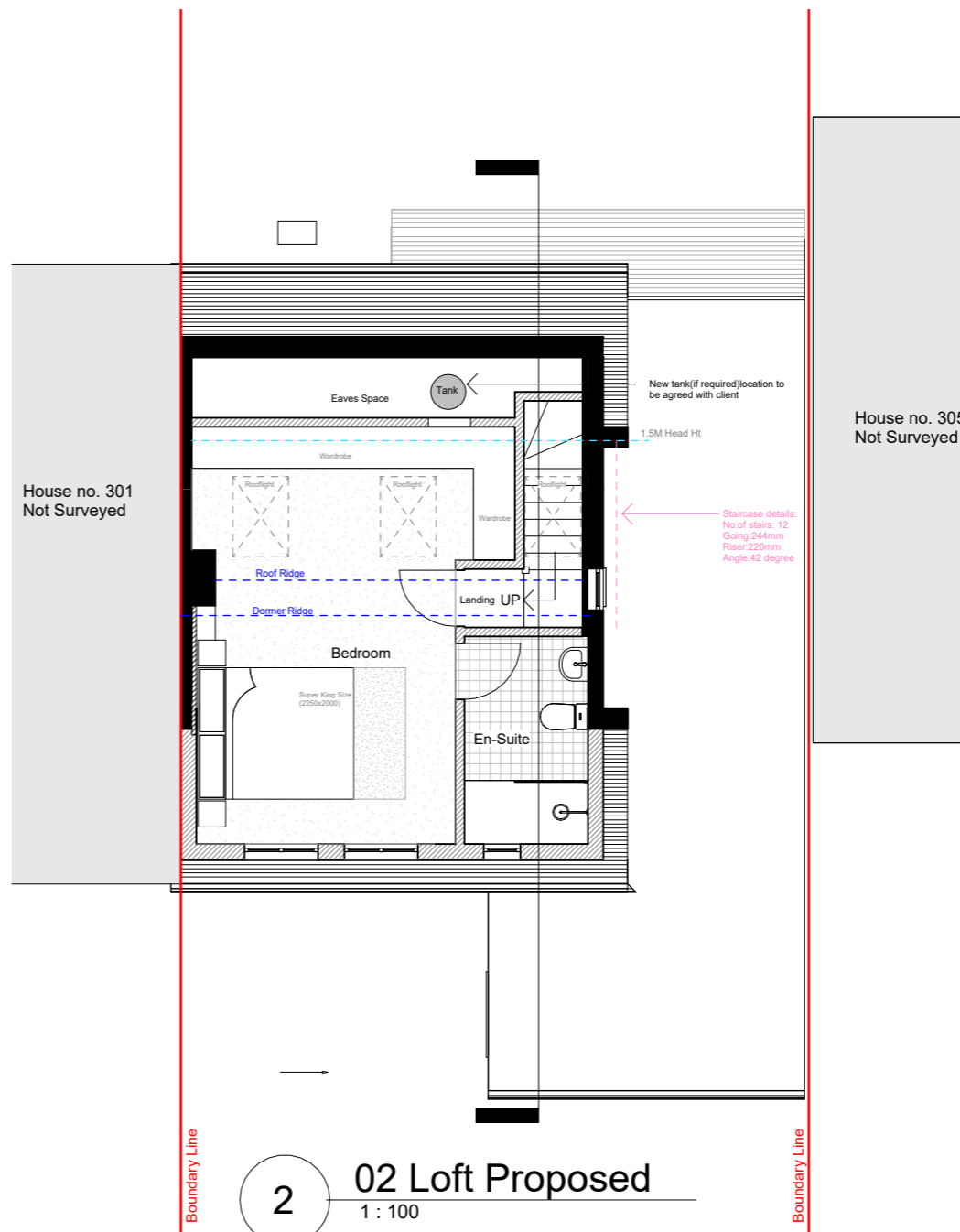
| Scale | Date | Drawn By |
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| 1:100@A3 | April 2026 | AS |

Drawing Number
 260023-PL-D 0004

| Issue Date | Checked | Revision |
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| 27.05.2026 | PN | P1 |



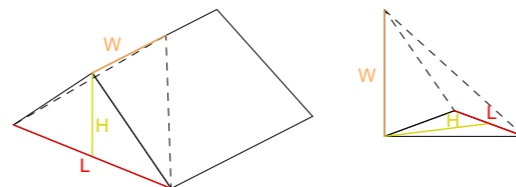
1 02 Loft Existing
 1:100



2 02 Loft Proposed
 1:100

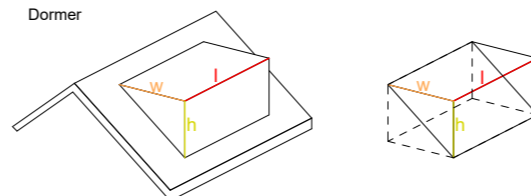
LOFT CALCULATION
 V (Volume)
 L (LENGTH)
 W (WIDTH)
 H (HEIGHT)

Hip to Gable



Volume of pyramid = 1/3 Base Area x height
 $V = 1/3 [(H \times L)/2] \times W = (L \times W \times H)/6 \text{ m}^3$
 $V = 8.1 \times 4.4 \times 3.4/6 = 20.19 \text{ m}^3$

Dormer



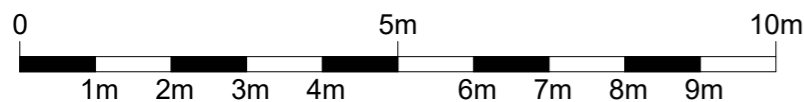
Volume of cube = l x w x h
 $V = (l \times w \times h)/2$
 $V = 6.1 \times 3.5 \times 2.7/2 = 28.8 \text{ m}^3$

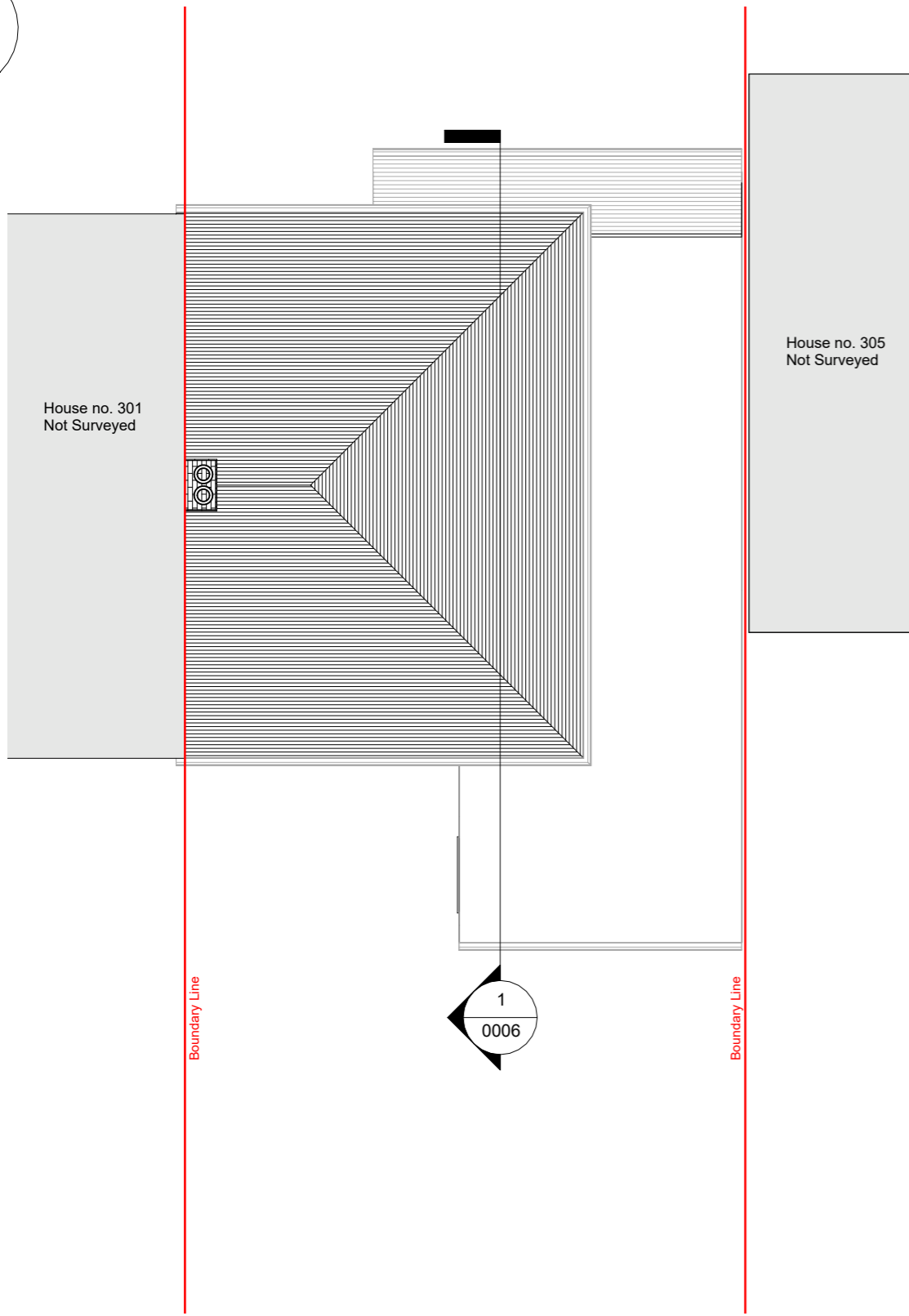
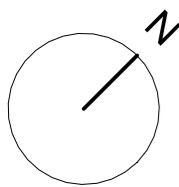
Total Volume = Hip to Gable + Dormer
 $V = 20.19 + 28.80$
 $V = 49.01 \text{ m}^3$

- Loft Conversion-**
1. Roof space created must not exceed these volume allowance of 50 cubic metres for semi-detached houses.
 2. Materials to be similar in appearance to the existing house.
 3. No part of the extension is higher than the highest part of the existing roof.
 4. Side-Facing windows are obscure glazed and non-opening unless the parts which can be opened are more than 1.7 metres above the floor of the room in which it is installed.
 5. Roof extensions apart from hip to gable ones to be set back as far as is practicable at least 20cm from the original eaves. The 20cm distance is measured along the roof plane. The roof enlargement cannot overhang the outer face of the wall of the original house.
 6. Rooflights not to project over 150mm beyond the line of roof tile

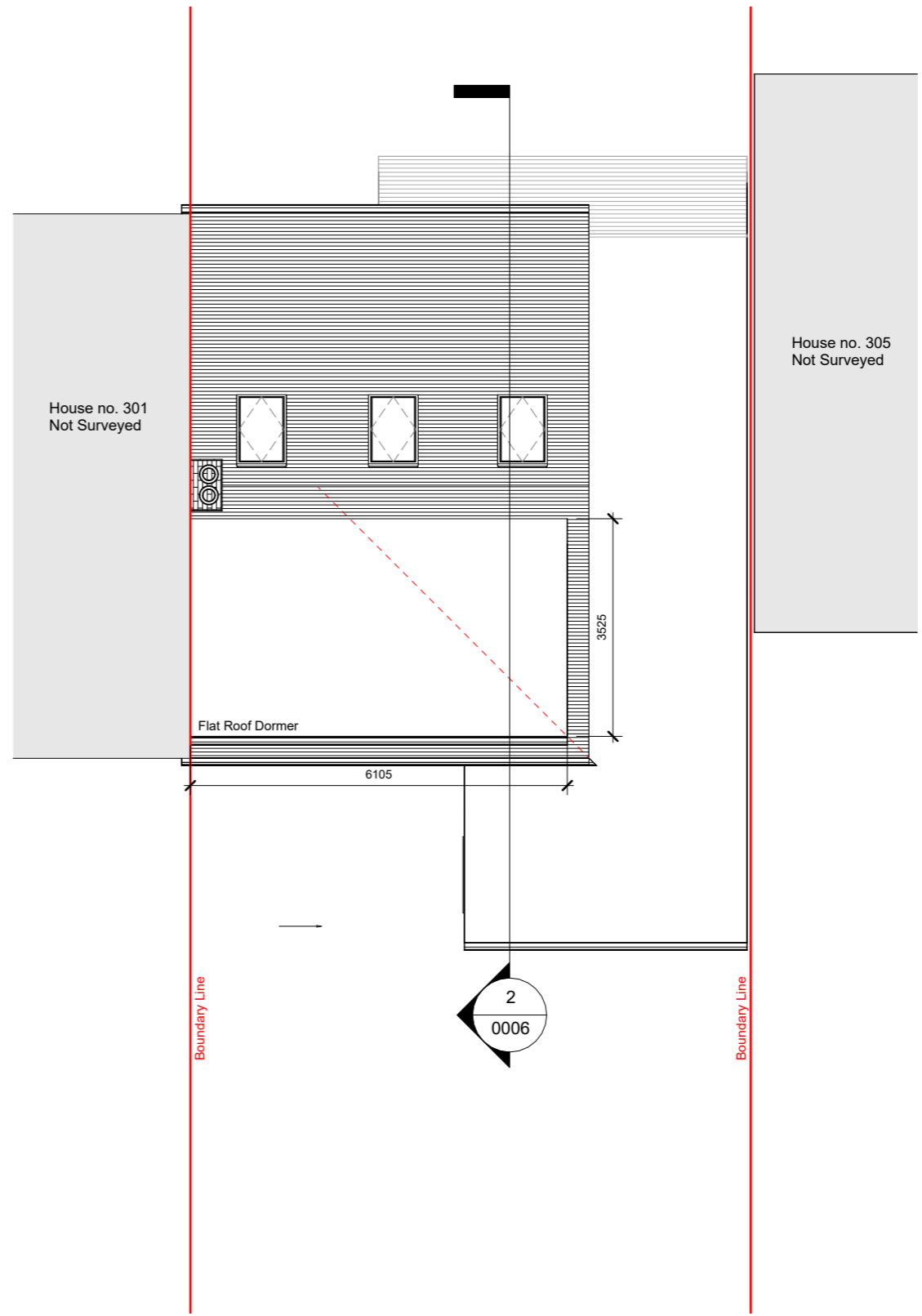
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- EXISTING
- PROPOSED
- DEMOLITION
- SITE BOUNDARY
- INDICATIVE STRUCTURE ABOVE (REFER TO ENGINEERS INFORMATION)



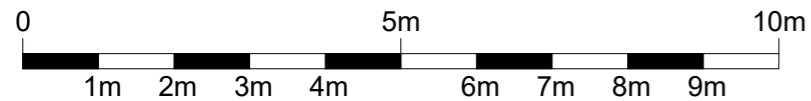


1 03 Roof Existing
1 : 100



2 03 Roof Proposed
1 : 100

- EXISTING
- PROPOSED
- DEMOLITION
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(REFER TO ENGINEERS INFORMATION)



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Project Name
303 Long Drive, Ruislip, HA4 0HT

Clients Name
James Burke

Drawing Title
Roof Plans

Description
Loft Conversion

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|-------------------|--------------------|----------------|
| Scale 1:100@A3 | Date April 2026 | Drawn By AS |
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Drawing Number
260023-PL-D 0005

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Project Name
303 Long Drive, Ruislip, HA4 0HT

Clients Name
James Burke

Drawing Title
Section 1

Description
Loft Conversion

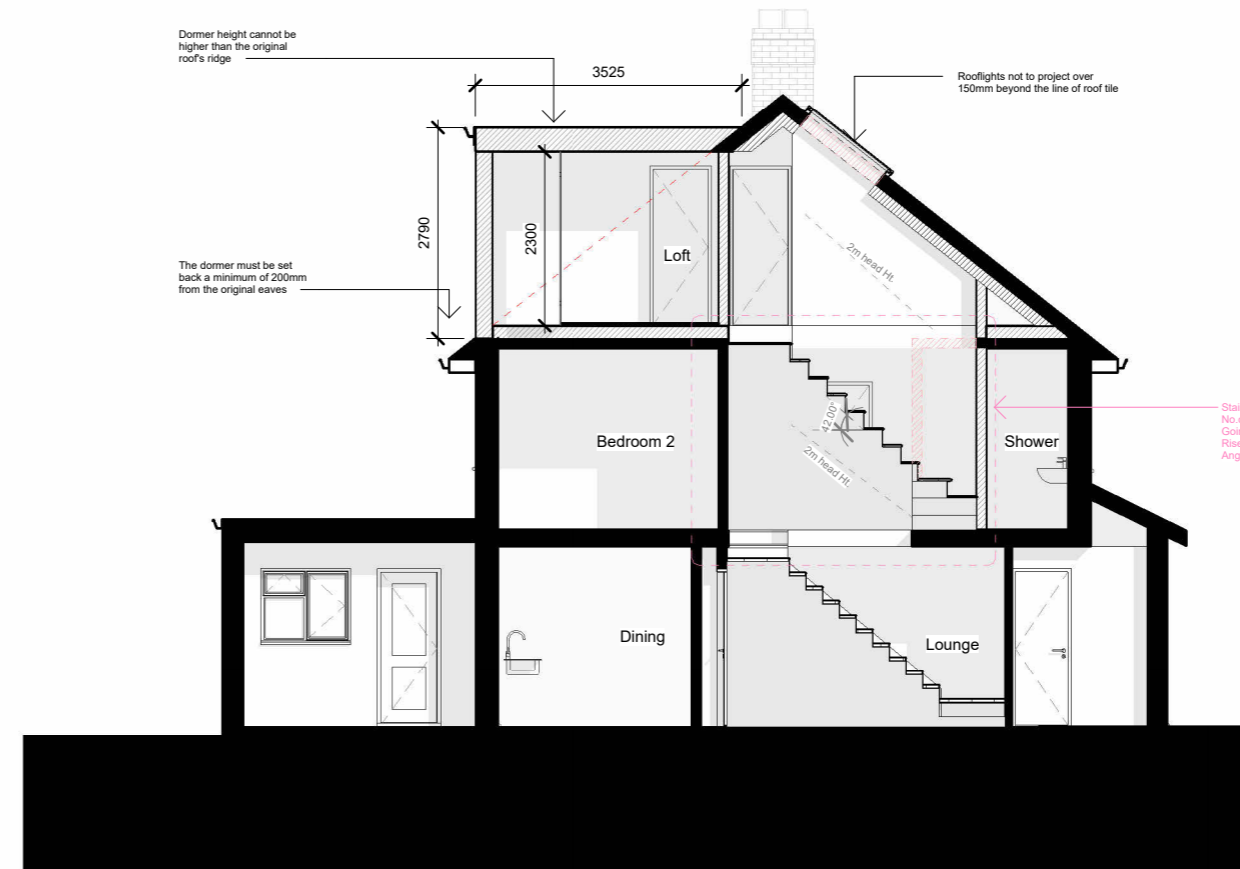
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| Scale 1:100@A3 | Date April 2026 | Drawn By AS |
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Drawing Number
260023-PL-D 0006

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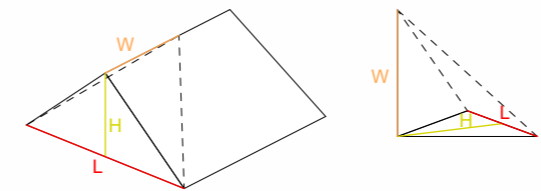
1 Section 1 - Existing
1:100



2 Section 1 - Proposed
1:100

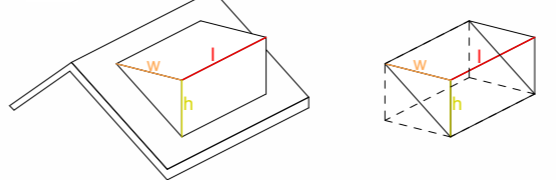
LOFT CALCULATION
V (Volume)
L (LENGTH)
W (WIDTH)
H (HEIGHT)

Hip to Gable



Volume of pyramid = 1/3 Base Area x height
 $V = 1/3 [(H \times L)/2] \times W = (L \times W \times H)/6 \text{ m}^3$
 $V = 8.1 \times 4.4 \times 3.4/6 = 20.19 \text{ m}^3$

Dormer



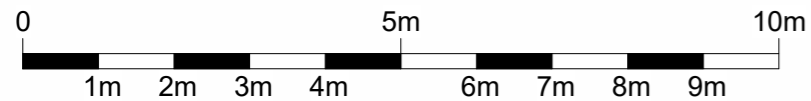
Volume of cube = l x w x h
 $V = (l \times w \times h)/2$
 $V = 6.1 \times 3.5 \times 2.7/2 = 28.8 \text{ m}^3$

Total Volume = Hip to Gable + Dormer
 $V = 20.19 + 28.80$
 $V = 49.01 \text{ m}^3$

- Loft Conversion-
1. Roof space created must not exceed these volume allowance of 50 cubic metres for semi-detached houses.
 2. Materials to be similar in appearance to the existing house.
 3. No part of the extension is higher than the highest part of the existing roof.
 4. Side-Facing windows are obscure glazed and non-opening unless the parts which can be opened are more than 1.7 metres above the floor of the room in which it is installed.
 5. Roof extensions apart from hip to gable ones to be set back as far as is practicable at least 20cm from the original eaves. The 20cm distance is measured along the roof plane. The roof enlargement cannot overhang the outer face of the wall of the original house.
 6. Rooflights not to project over 150mm beyond the line of roof tile

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- EXISTING
- PROPOSED
- DEMOLITION
- SITE BOUNDARY
- INDICATIVE STRUCTURE ABOVE (REFER TO ENGINEERS INFORMATION)



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Project Name
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Clients Name
James Burke

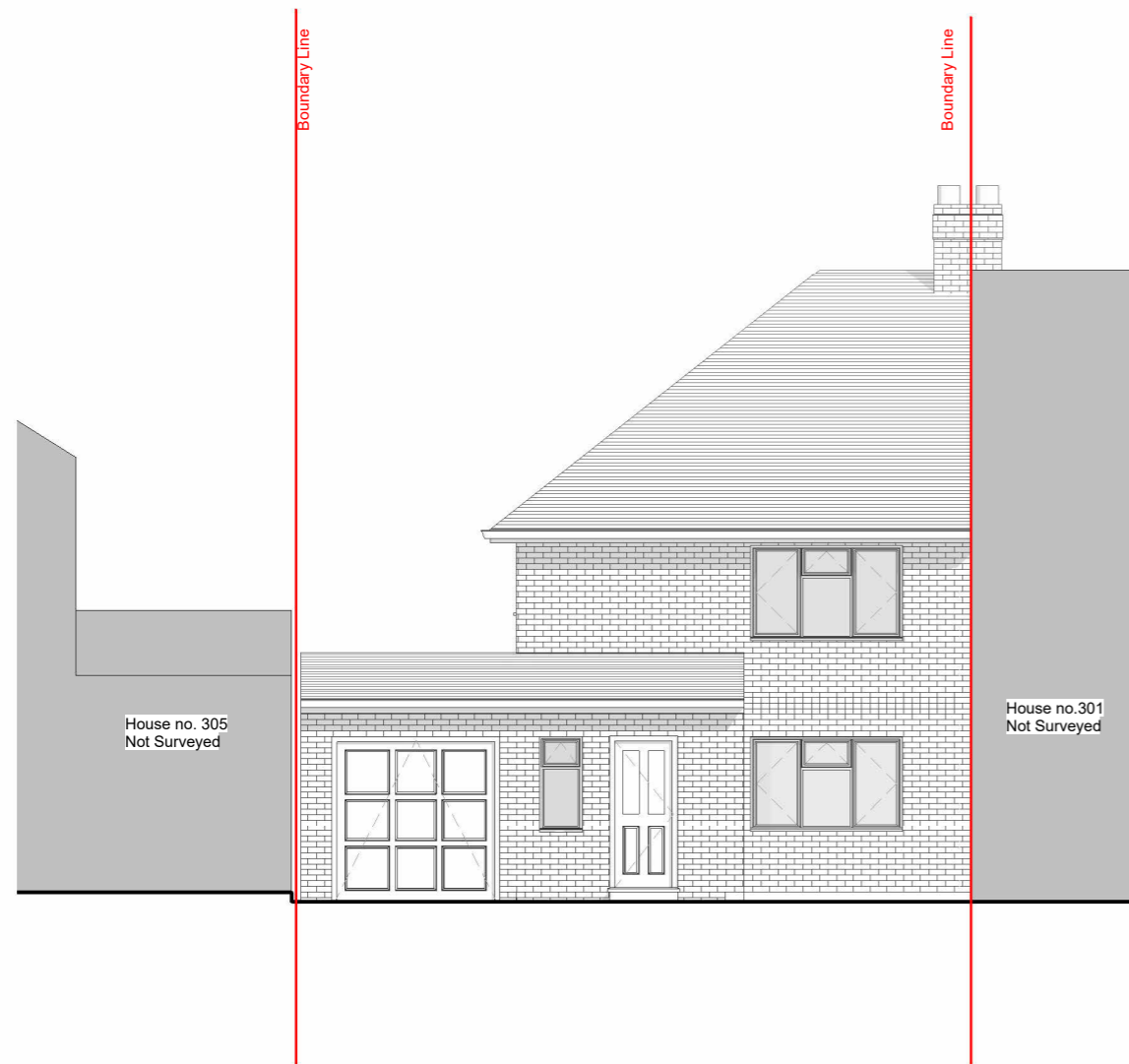
Drawing Title
Front Elevation

Description
Loft Conversion

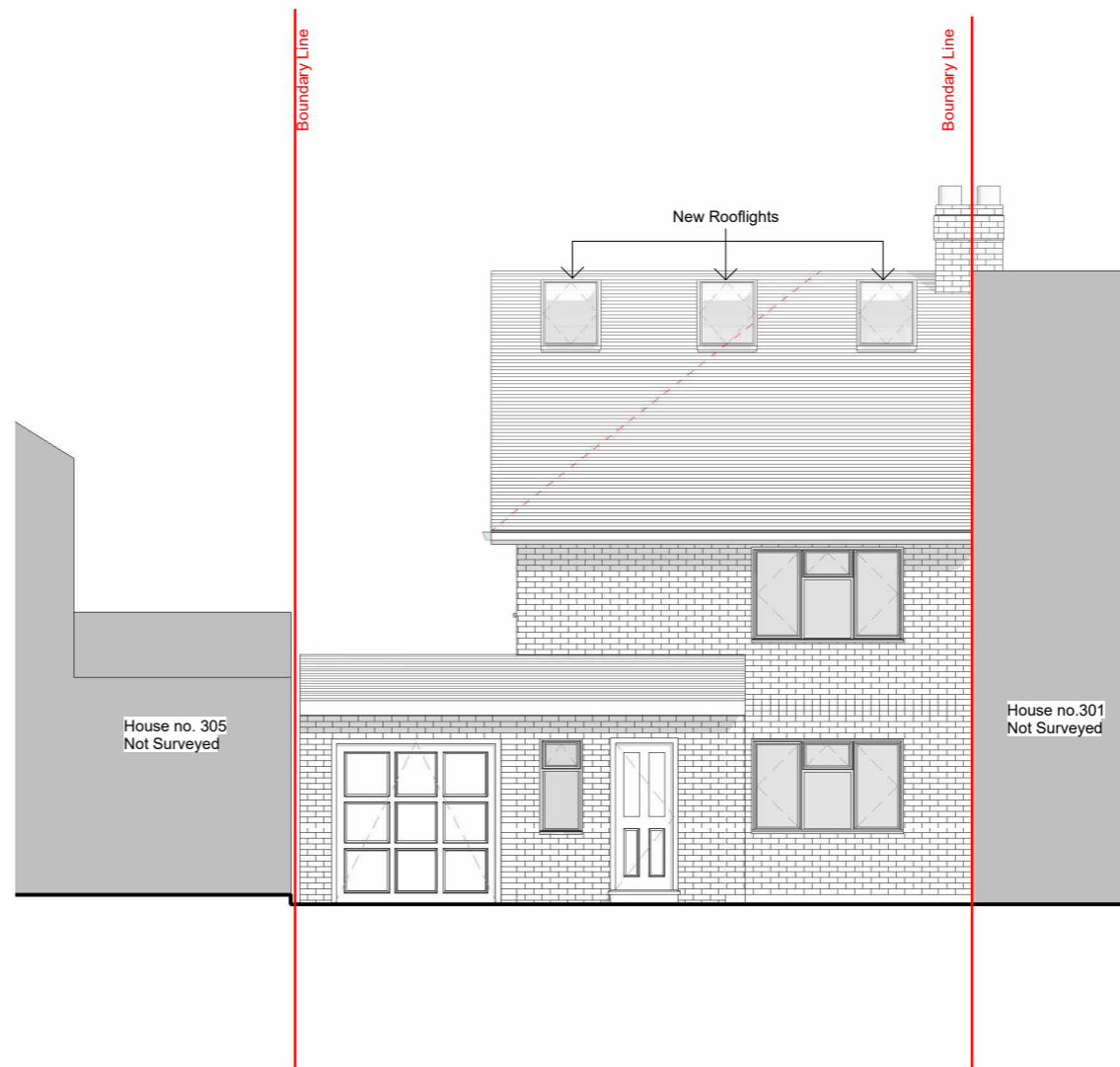
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| Scale 1:100@A3 | Date April 2026 | Drawn By AS |
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Drawing Number
260023-PL-D 0008

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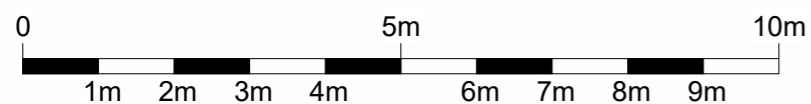


1 Front elevation - Existing
1 : 100



2 Front elevation - Proposed
1 : 100

- EXISTING
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- DEMOLITION
- SITE BOUNDARY
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- Loft Conversion-
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Clients Name
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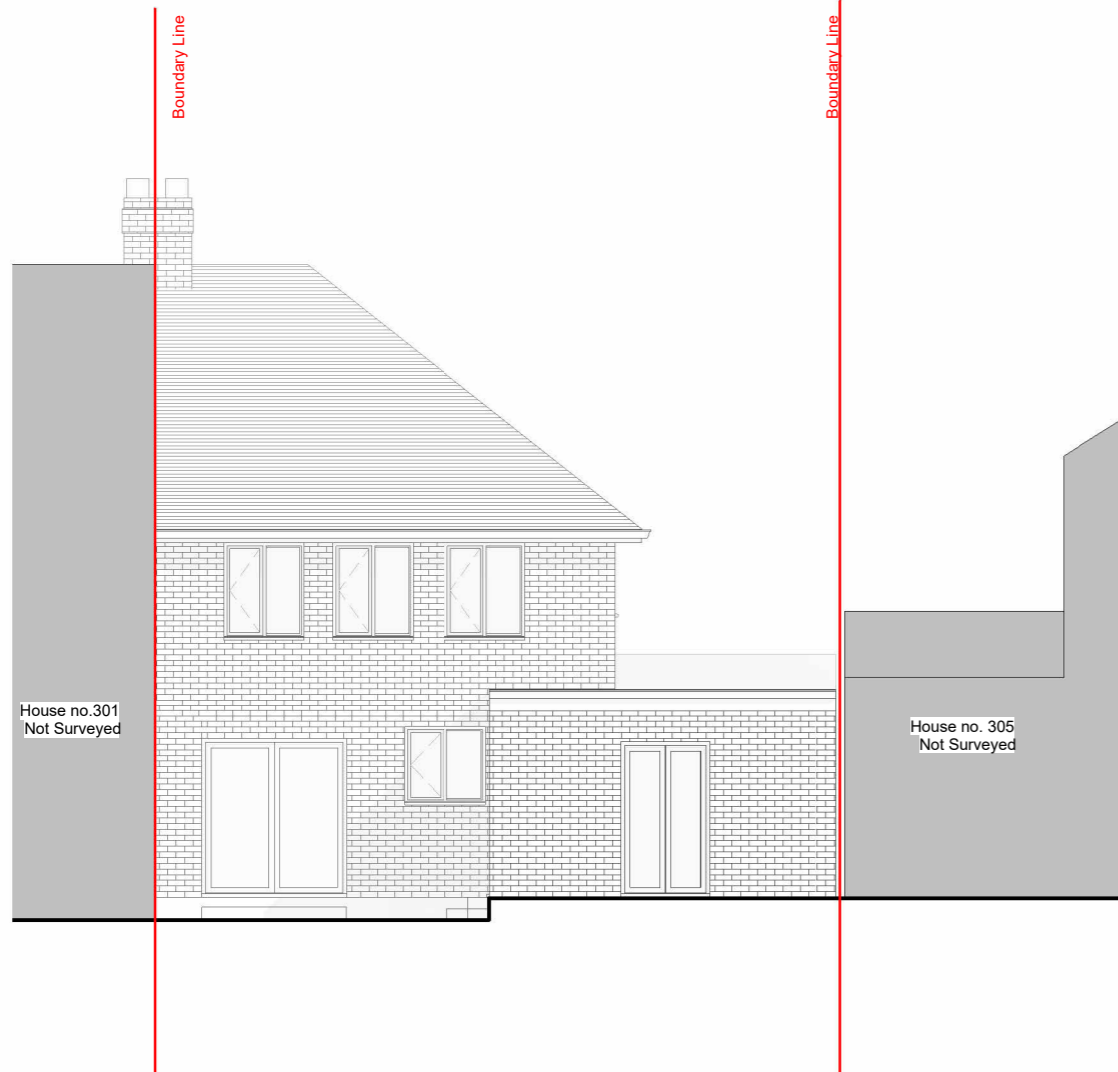
Drawing Title
 Rear Elevation

Description
 Loft Conversion

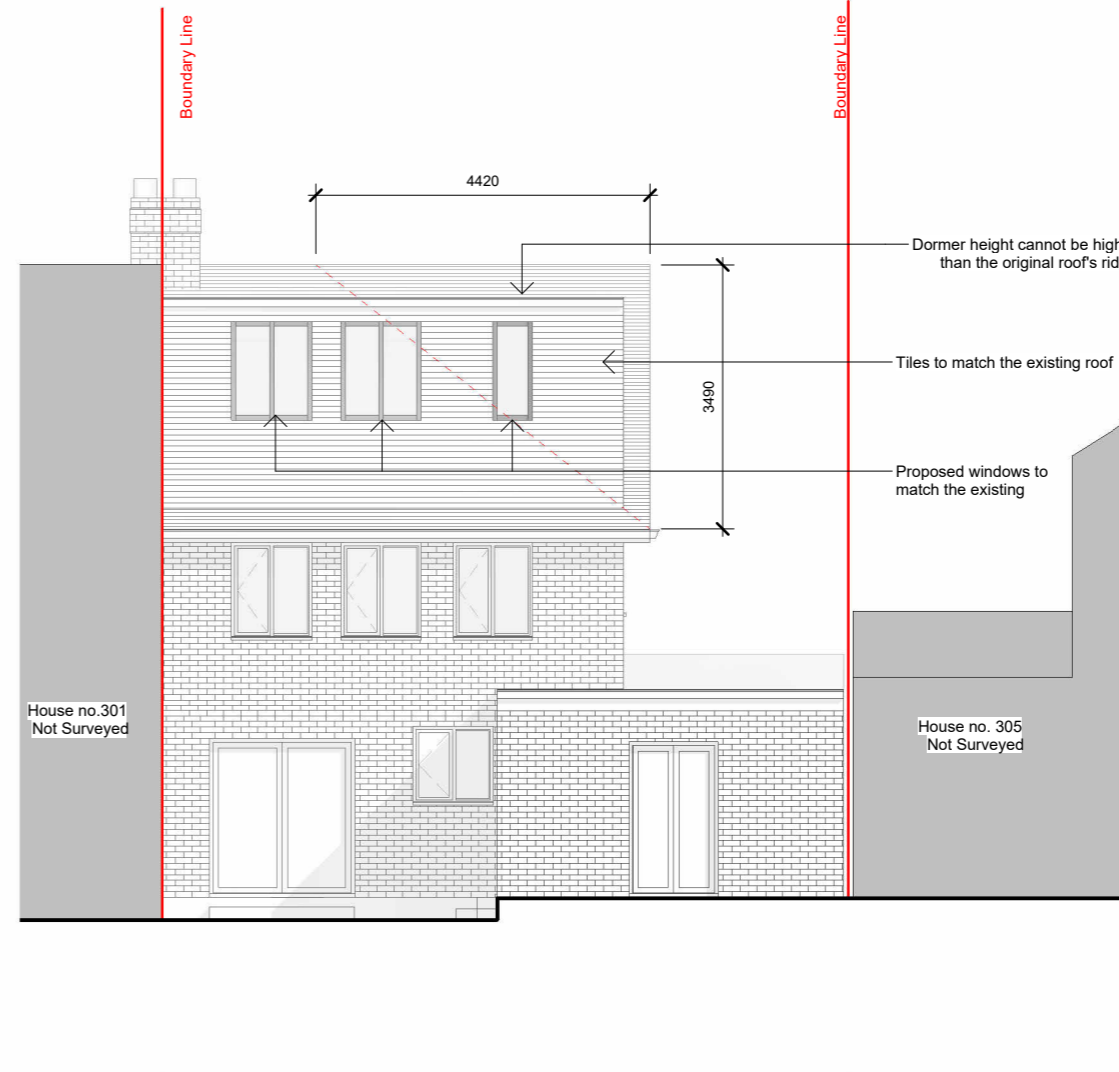
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| Scale 1:100@A3 | Date April 2026 | Drawn By AS |
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Drawing Number
 260023-PL-D 0009

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1 Rear elevation- Existing
 1 : 100

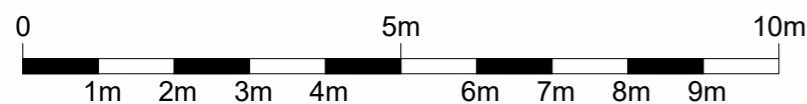


2 Rear elevation- Proposed
 1 : 100

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| Rev. | Description | by | Date |
|------|-------------|----|------------|
| P1 | Planning | AS | 27.05.2026 |
| P2 | Planning | AS | 10.06.2026 |
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Project Name
303 Long Drive, Ruislip, HA4 0HT

Clients Name
James Burke

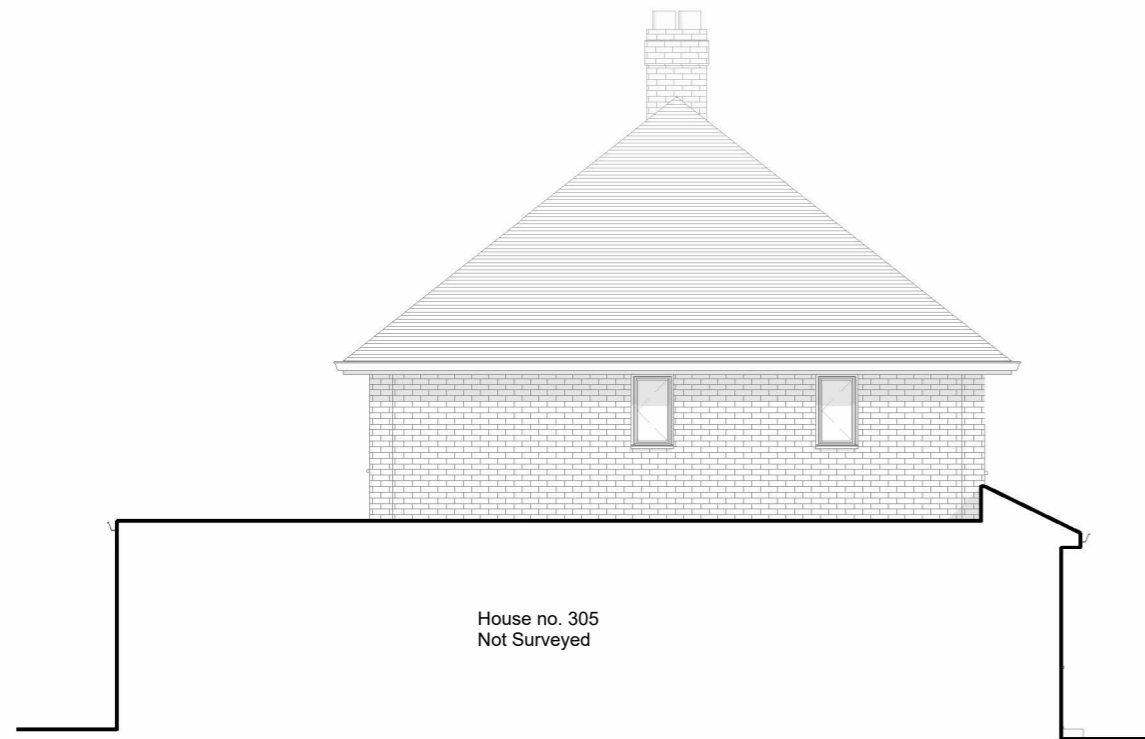
Drawing Title
Side Elevation 1

Description
Loft Conversion

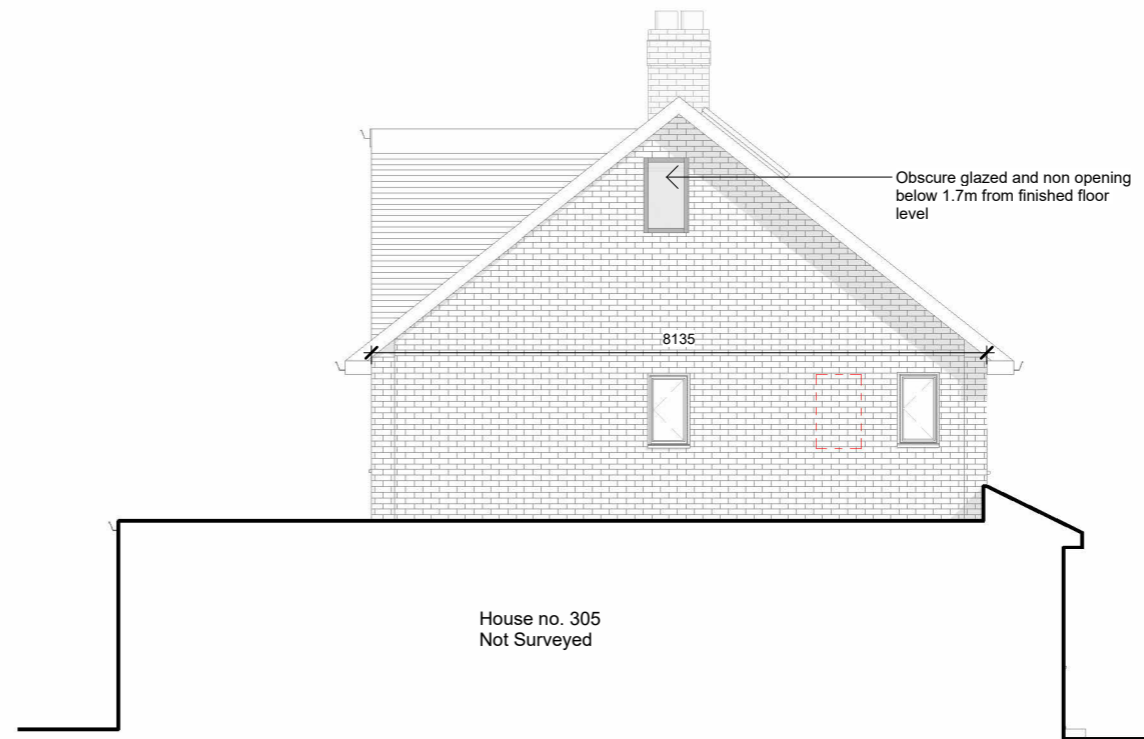
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|-------------------|--------------------|----------------|
| Scale 1:100@A3 | Date April 2026 | Drawn By AS |
|-------------------|--------------------|----------------|

Drawing Number
260023-PL-D 0010

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| Issue Date 10.06.2026 | Checked PN | Revision P2 |
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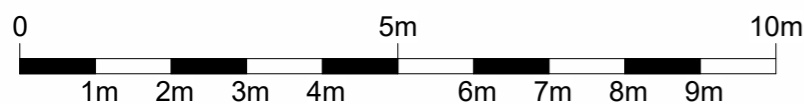


1 Side elevation 1 - Existing
1 : 100



2 Side elevation 1 (South Elevation) - Proposed
1 : 100

- EXISTING
- PROPOSED
- DEMOLITION
- SITE BOUNDARY
- INDICATIVE STRUCTURE ABOVE
(REFER TO ENGINEERS INFORMATION)



- Loft Conversion-
1. Roof space created must not exceed these volume allowance of 50 cubic metres for semi-detached houses.
 2. Materials to be similar in appearance to the existing house.
 3. No part of the extension is higher than the highest part of the existing roof.
 4. Side-Facing windows are obscure glazed and non-opening unless the parts which can be opened are more than 1.7 metres above the floor of the room in which it is installed.
 5. Roof extensions apart from hip to gable ones to be set back as far as is practicable at least 20cm from the original eaves. The 20cm distance is measured along the roof plane. The roof enlargement cannot overhang the outer face of the wall of the original house.
 6. Rooflights not to project over 150mm beyond the line of roof tile

All dimensions are approximate only have been added for information purposes only.
Dimensions should be checked prior to construction or manufacture

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General Notes:

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Drawing Status:

PLANNING

| Rev. | Description | by | Date |
|------|-------------|----|------------|
| P1 | Planning | AS | 27.05.2026 |
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Project Name
303 Long Drive, Ruislip, HA4 0HT

Clients Name
James Burke

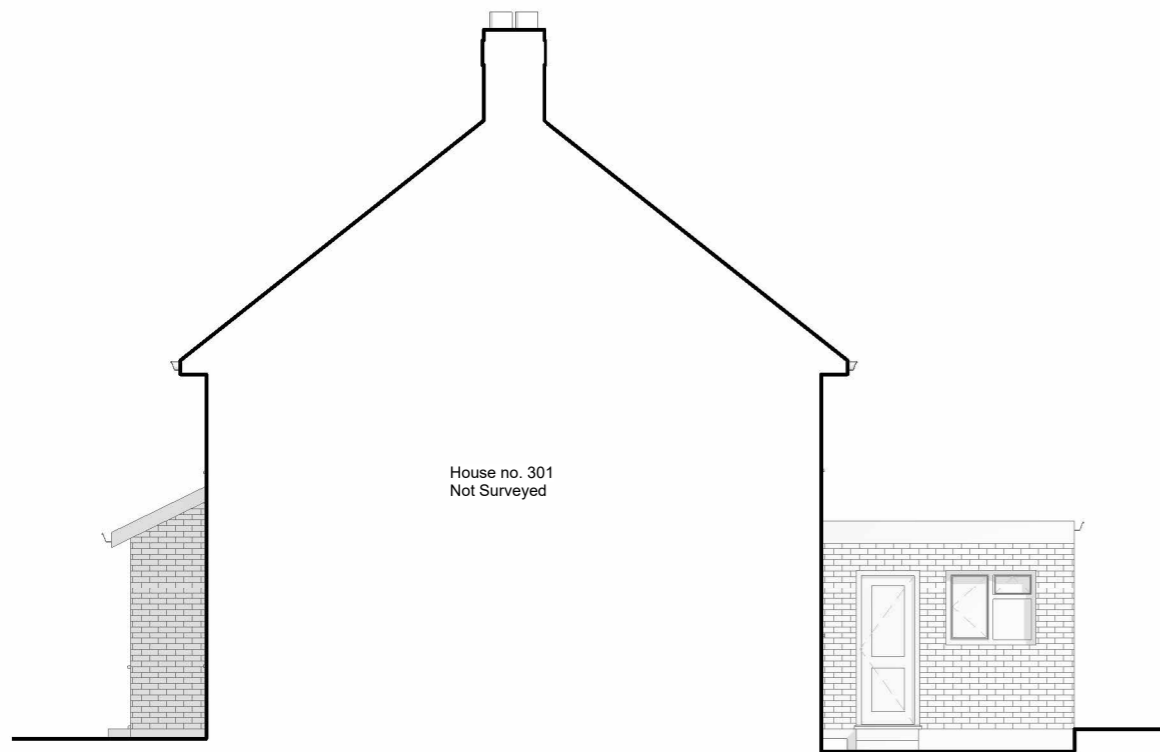
Drawing Title
Side Elevation 2

Description
Loft Conversion

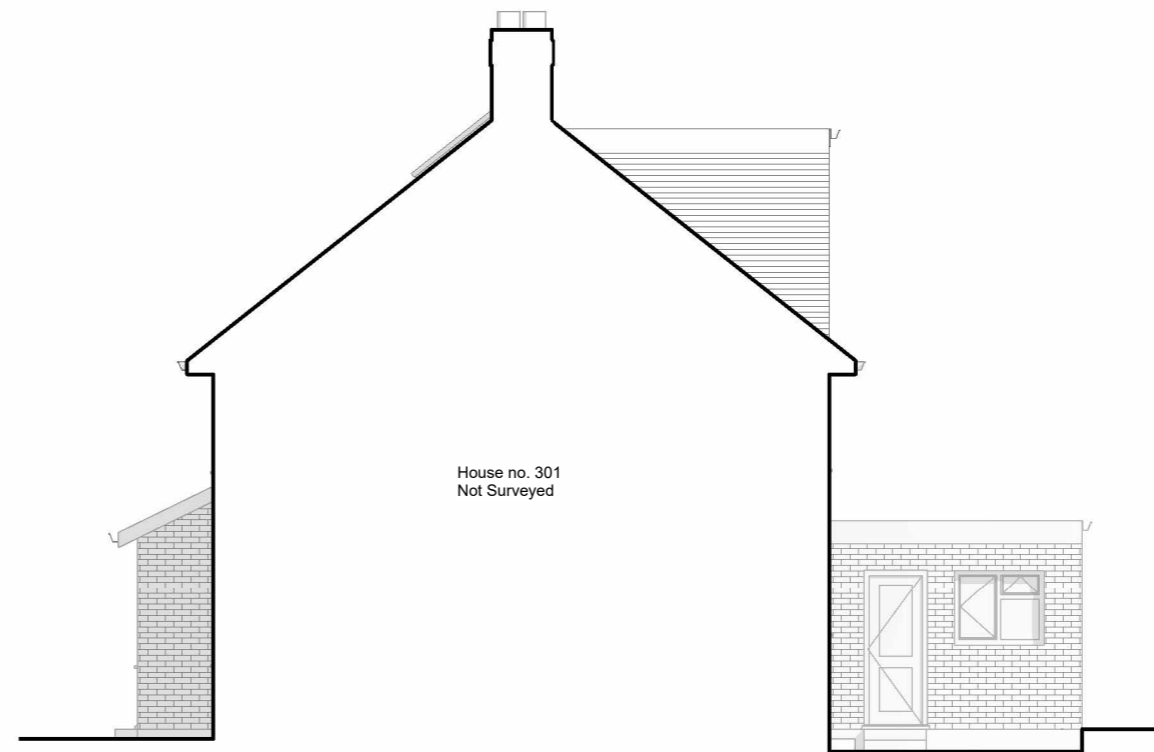
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|-------------------|--------------------|----------------|
| Scale 1:100@A3 | Date April 2026 | Drawn By AS |
|-------------------|--------------------|----------------|

Drawing Number
260023-PL-D 0011

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| Issue Date 27.05.2026 | Checked PN | Revision P1 |
|--------------------------|---------------|----------------|

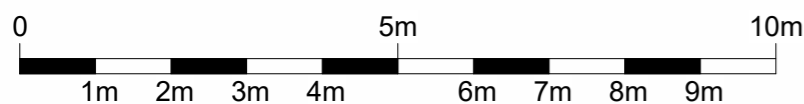


1 Side elevation 2 - Existing
1 : 100



2 Side elevation 2 - Proposed
1 : 100

- EXISTING
- PROPOSED
- DEMOLITION
- SITE BOUNDARY
- INDICATIVE STRUCTURE ABOVE
(REFER TO ENGINEERS INFORMATION)



- Loft Conversion-
1. Roof space created must not exceed these volume allowance of 50 cubic metres for semi-detached houses.
 2. Materials to be similar in appearance to the existing house.
 3. No part of the extension is higher than the highest part of the existing roof.
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 6. Rooflights not to project over 150mm beyond the line of roof tile

All dimensions are approximate only have been added for information purposes only. Dimensions should be checked prior to construction or manufacture

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Drawing Status:

PLANNING

| Rev. | Description | by | Date |
|------|-------------|----|------------|
| P1 | Planning | AS | 27.05.2026 |
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Project Name
303 Long Drive, Ruislip, HA4 0HT

Clients Name
James Burke

Drawing Title
3D View

Description
Loft Conversion

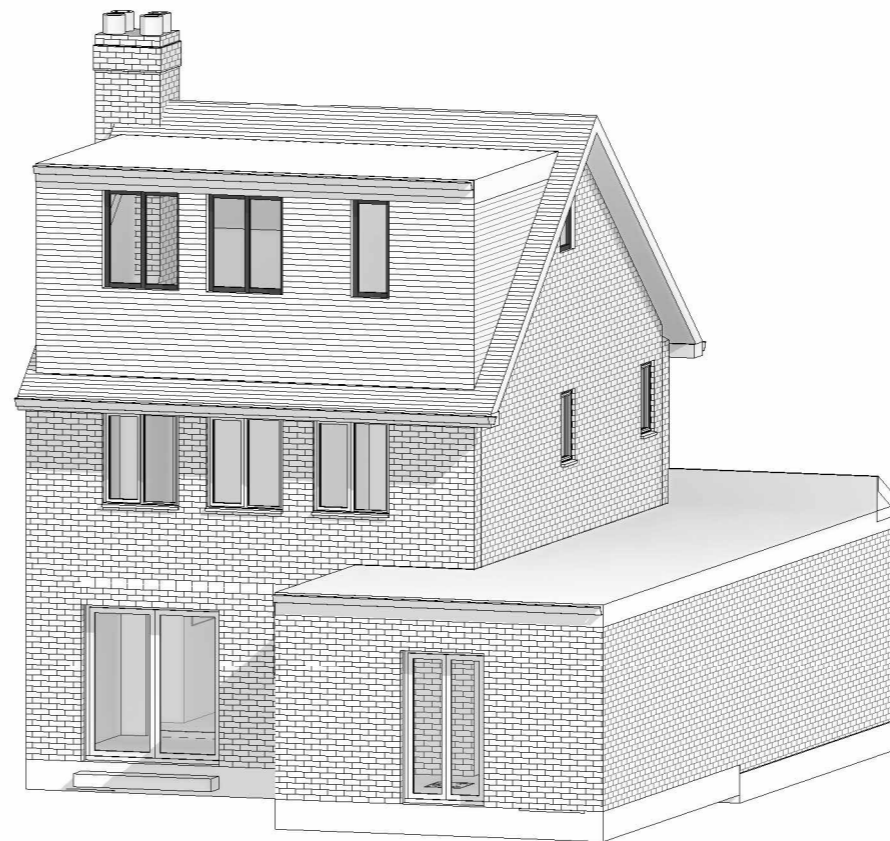
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| Scale 1:100@A3 | Date April 2026 | Drawn By AS |
|-------------------|--------------------|----------------|

Drawing Number
260023-PL-D 0012

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|--------------------------|---------------|----------------|
| Issue Date 27.05.2026 | Checked PN | Revision P1 |
|--------------------------|---------------|----------------|



1 3D Existing



2 3D Proposed

