

320 High Street  
 Harlington, Hayes,  
 Middlesex,  
 UB3 5DU

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**Drawing Status:**

**PLANNING**

Rev.	Description	by	Date
P1	Planning	AS	27.05.2026

Project Name  
 303 Long Drive, Ruislip, HA4 0HT

Clients Name  
 James Burke

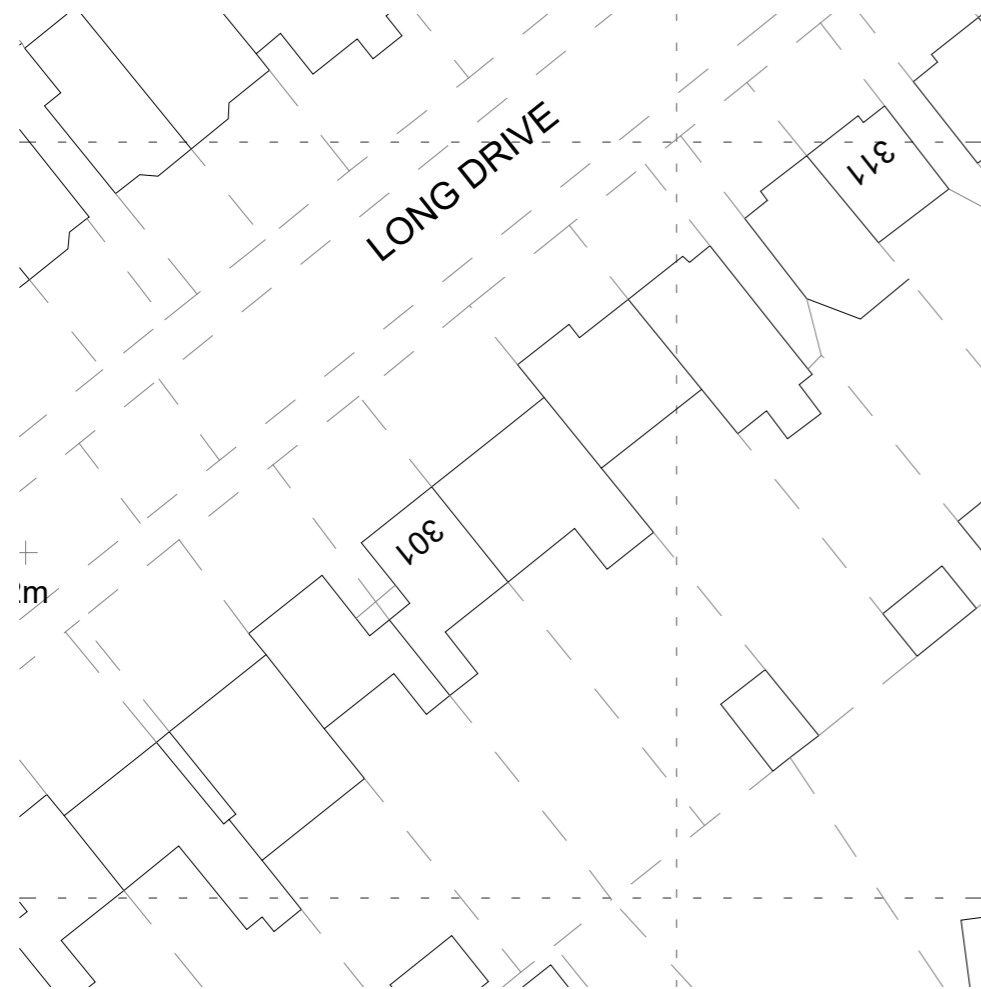
Drawing Title  
 Block Plan

Description  
 Loft Conversion

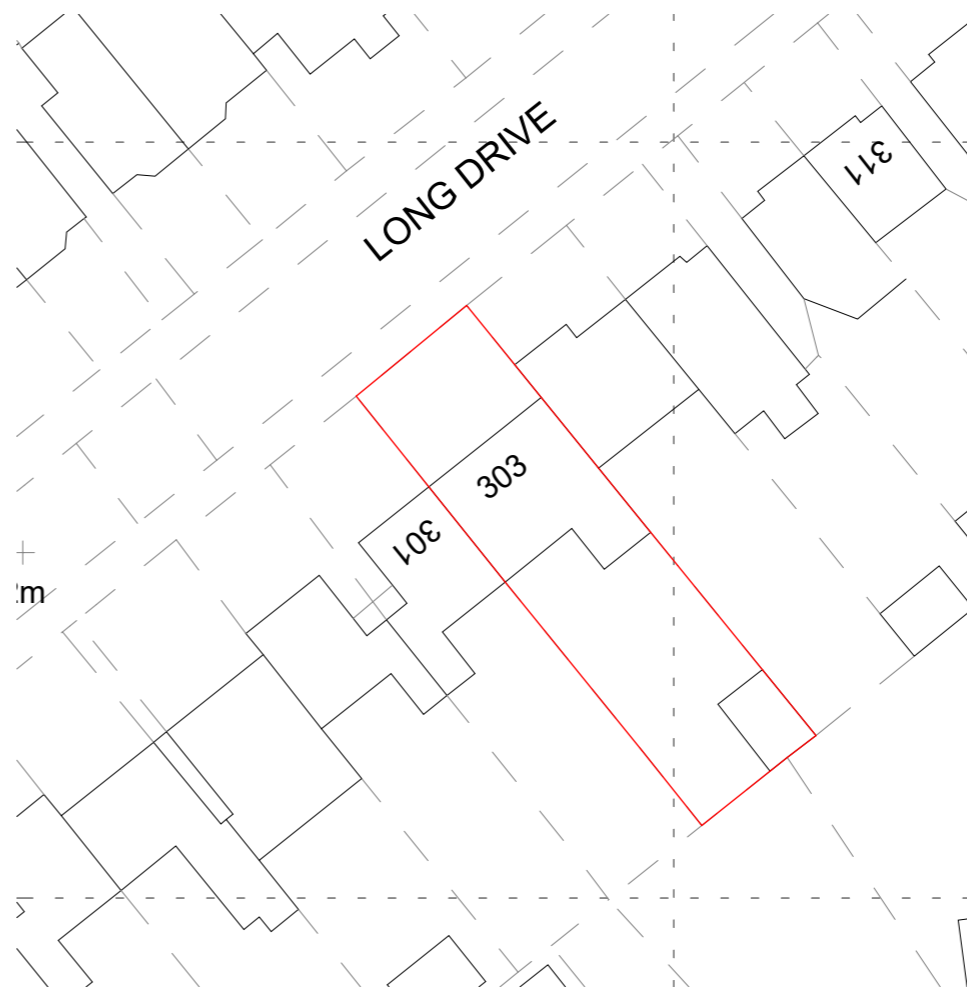
Scale 1:500@A3	Date April 2026	Drawn By AS
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Drawing Number  
 260023-PL-D 0001

Issue Date 27.05.2026	Checked PS	Revision P1
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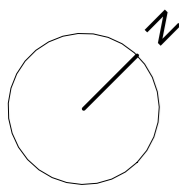
**1** Block Plan Existing  
 1 : 500



**2** Block Plan Proposed  
 1 : 500

- EXISTING
- PROPOSED
- DEMOLITION
- SITE BOUNDARY
- INDICATIVE STRUCTURE ABOVE  
(REFER TO ENGINEERS INFORMATION)





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P1	Planning	AS	27.05.2026

Project Name  
303 Long Drive, Ruislip, HA4 0HT

Clients Name  
James Burke

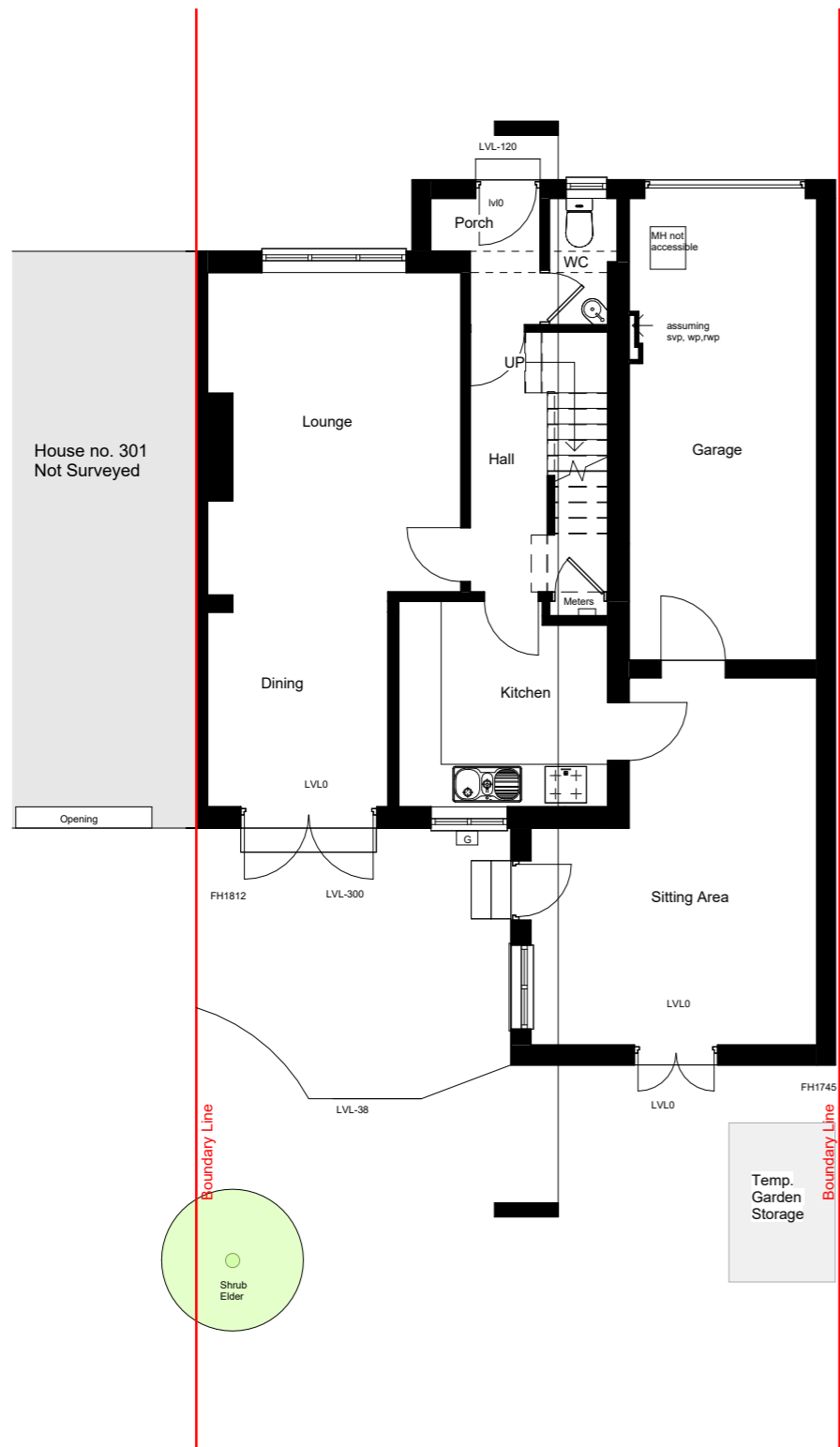
Drawing Title  
Ground Floor

Description  
Loft Conversion

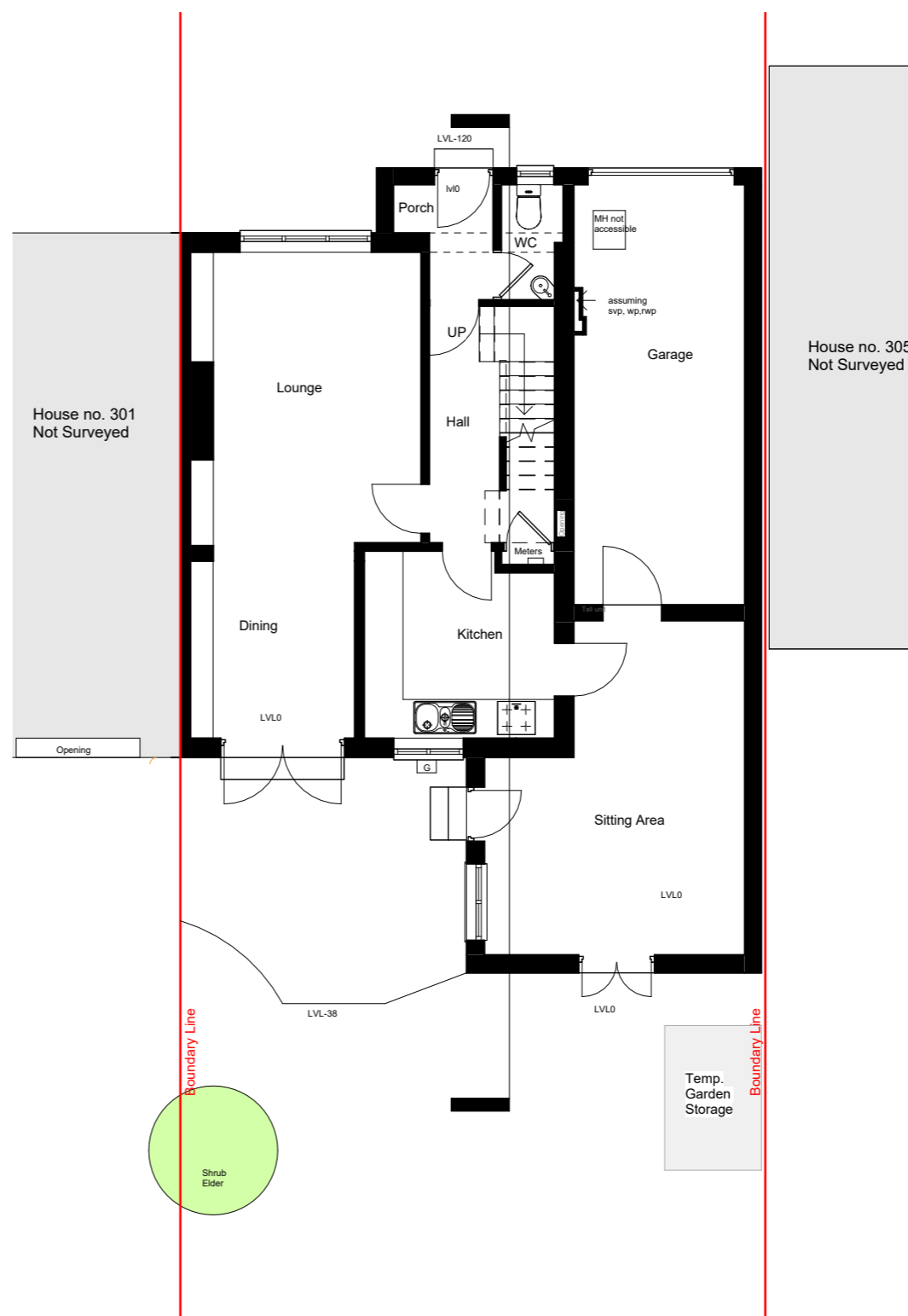
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Drawing Number  
260023-PL-D 0002

Issue Date 27.05.2026	Checked PN	Revision P1
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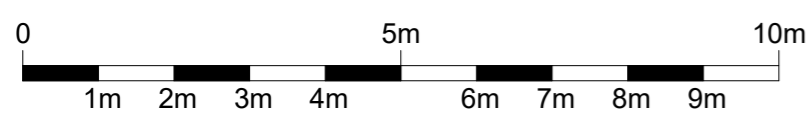


**1** 00 G.F. Existing  
1 : 100

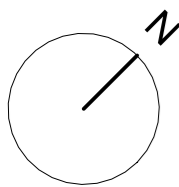


**2** 00 G.F. Proposed  
1 : 100

- EXISTING
- PROPOSED
- DEMOLITION
- SITE BOUNDARY
- INDICATIVE STRUCTURE ABOVE  
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**PLANNING**

Rev.	Description	by	Date
P1	Planning	AS	27.05.2026

Project Name  
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Clients Name  
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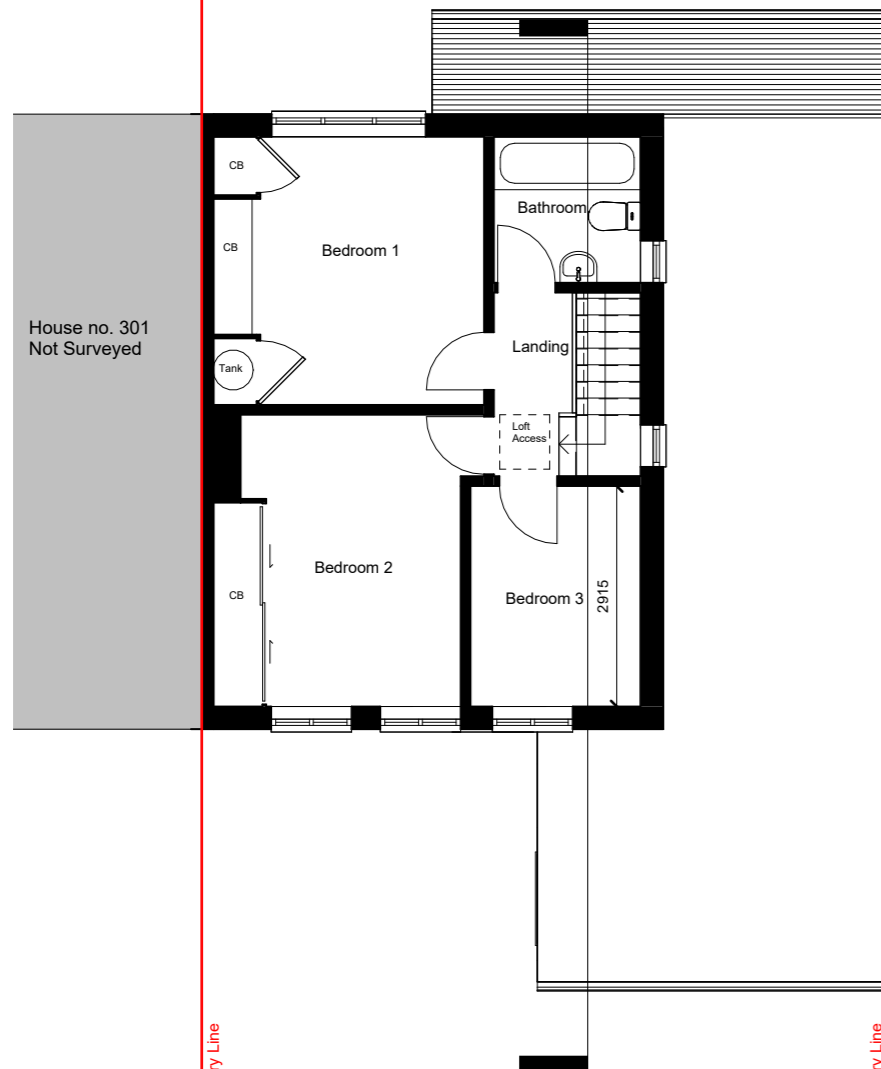
Drawing Title  
 First Floor

Description  
 Loft Conversion

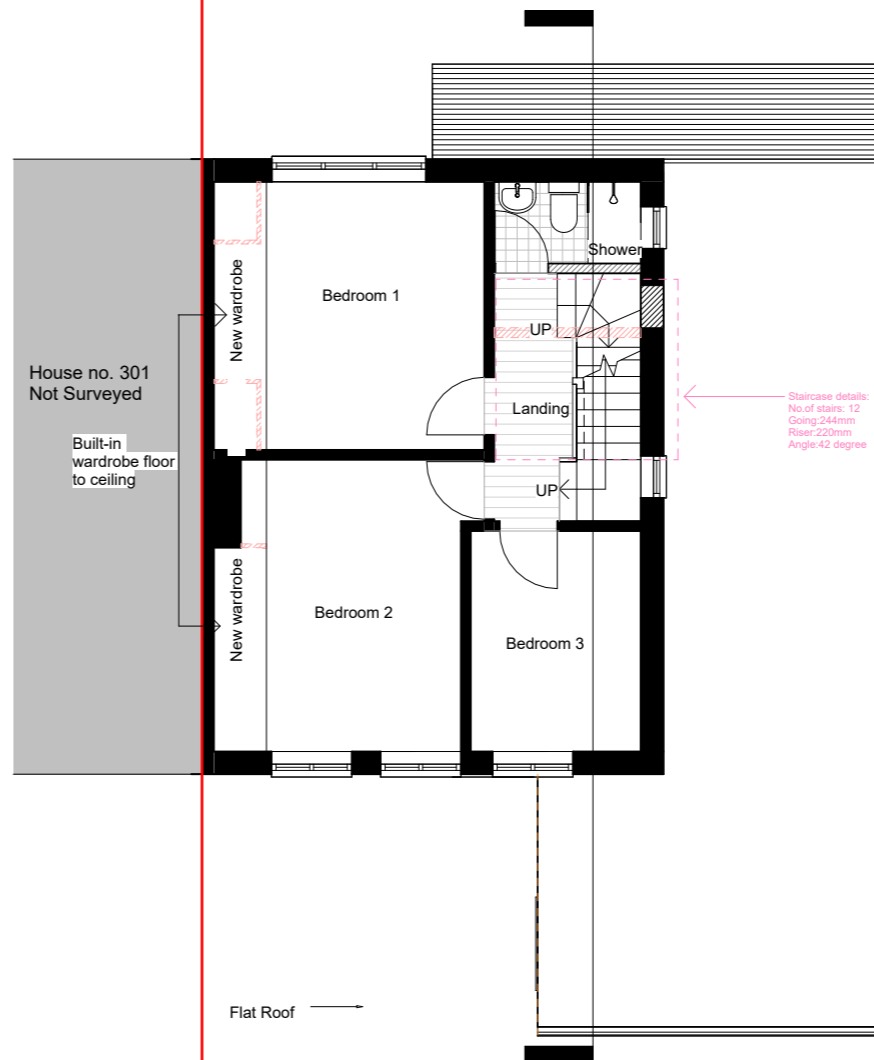
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Drawing Number  
 260023-PL-D 0003

Issue Date 27.05.2026	Checked PN	Revision P1
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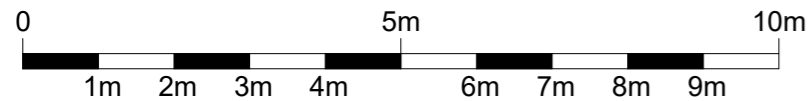


**1** 01 F.F Existing  
 1 : 100

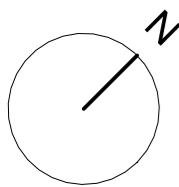


**2** 01 F.F Proposed  
 1 : 100

- EXISTING
- PROPOSED
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Project Name  
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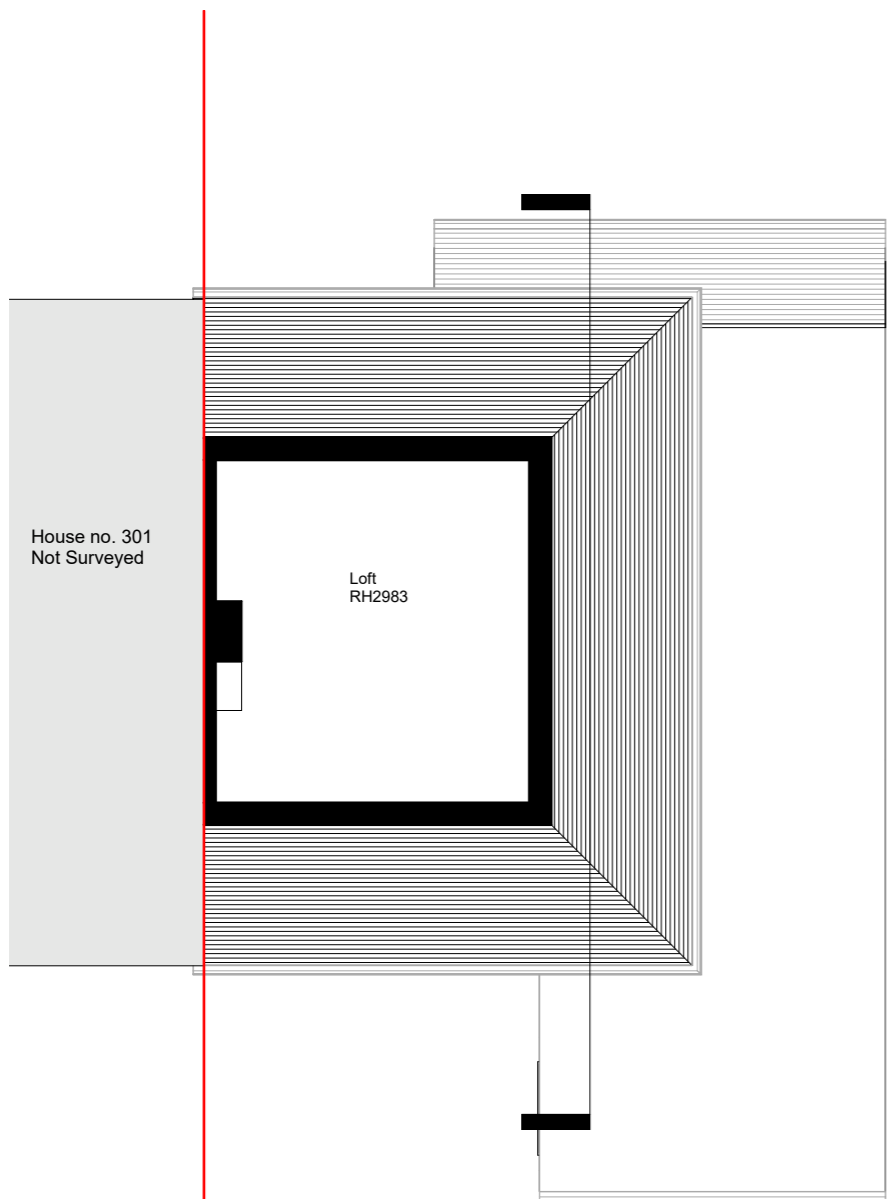
Drawing Title  
 Loft Plans

Description  
 Loft Conversion

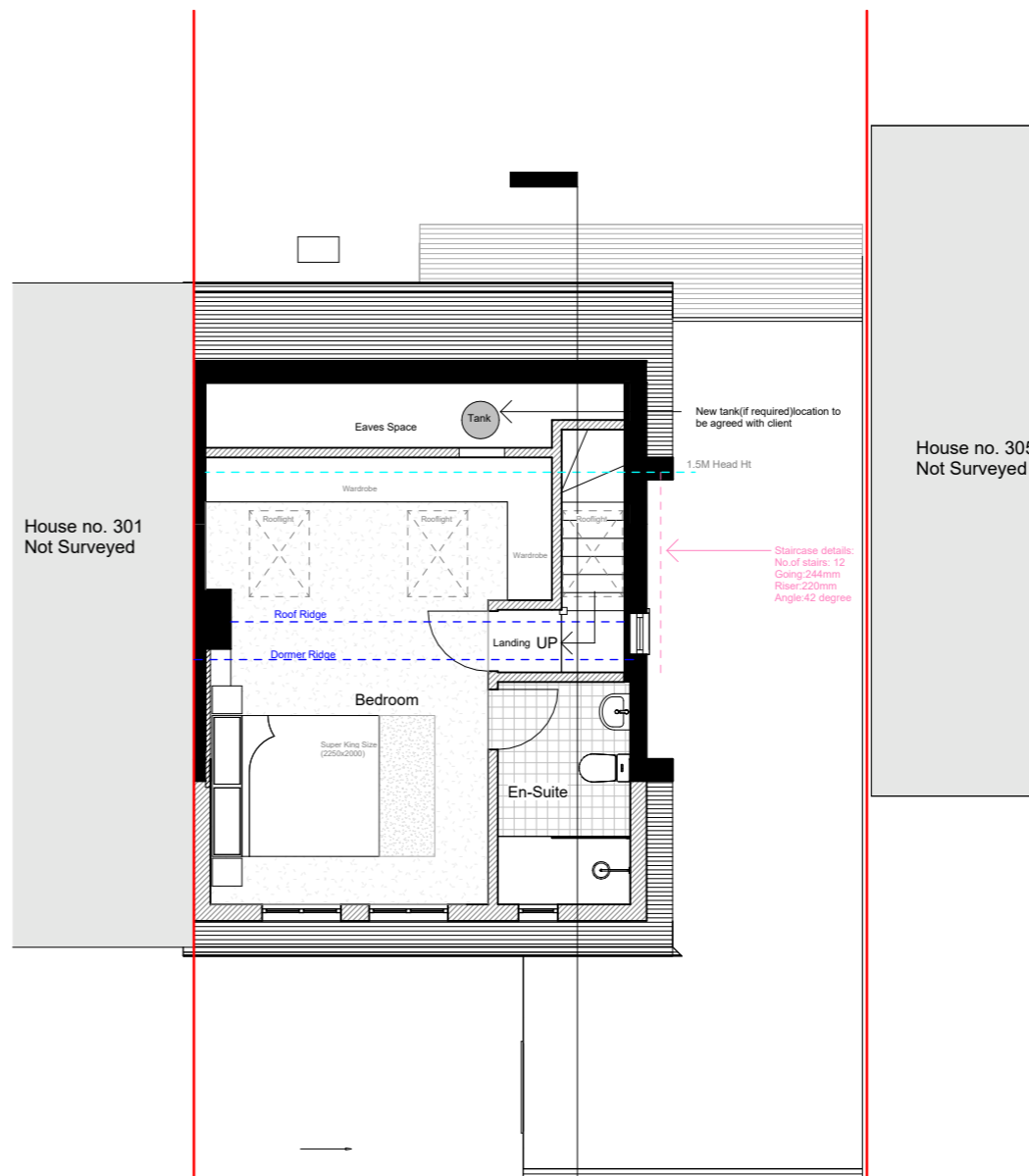
Scale 1:100@A3	Date April 2026	Drawn By AS
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Drawing Number  
 260023-PL-D 0004

Issue Date 27.05.2026	Checked PN	Revision P1
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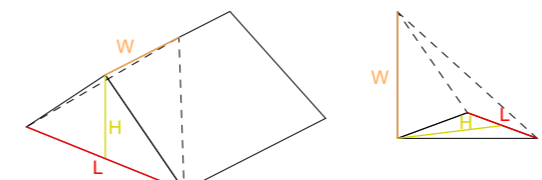
**1** 02 Loft Existing  
 1: 100



**2** 02 Loft Proposed  
 1: 100

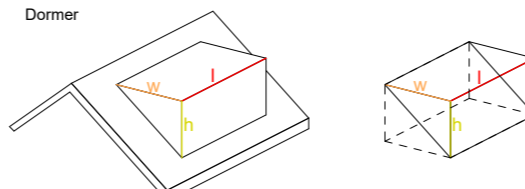
**LOFT CALCULATION**  
 V ( Volume)  
 L ( LENGTH)  
 W (WIDTH)  
 H (HEIGHT)

Hip to Gable



Volume of pyramid = 1/3 Base Area x height  
 $V = 1/3 [(H \times L)/2] \times W = (L \times W \times H)/6 \text{ m}^3$   
 $V = 8.1 \times 4.4 \times 3.4/6 = 20.19 \text{ m}^3$

Dormer



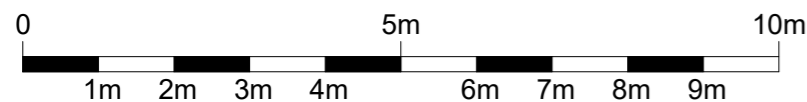
Volume of cube = l x w x h  
 $V = (l \times w \times h)/2$   
 $V = 6.1 \times 3.5 \times 2.7/2 = 28.8 \text{ m}^3$

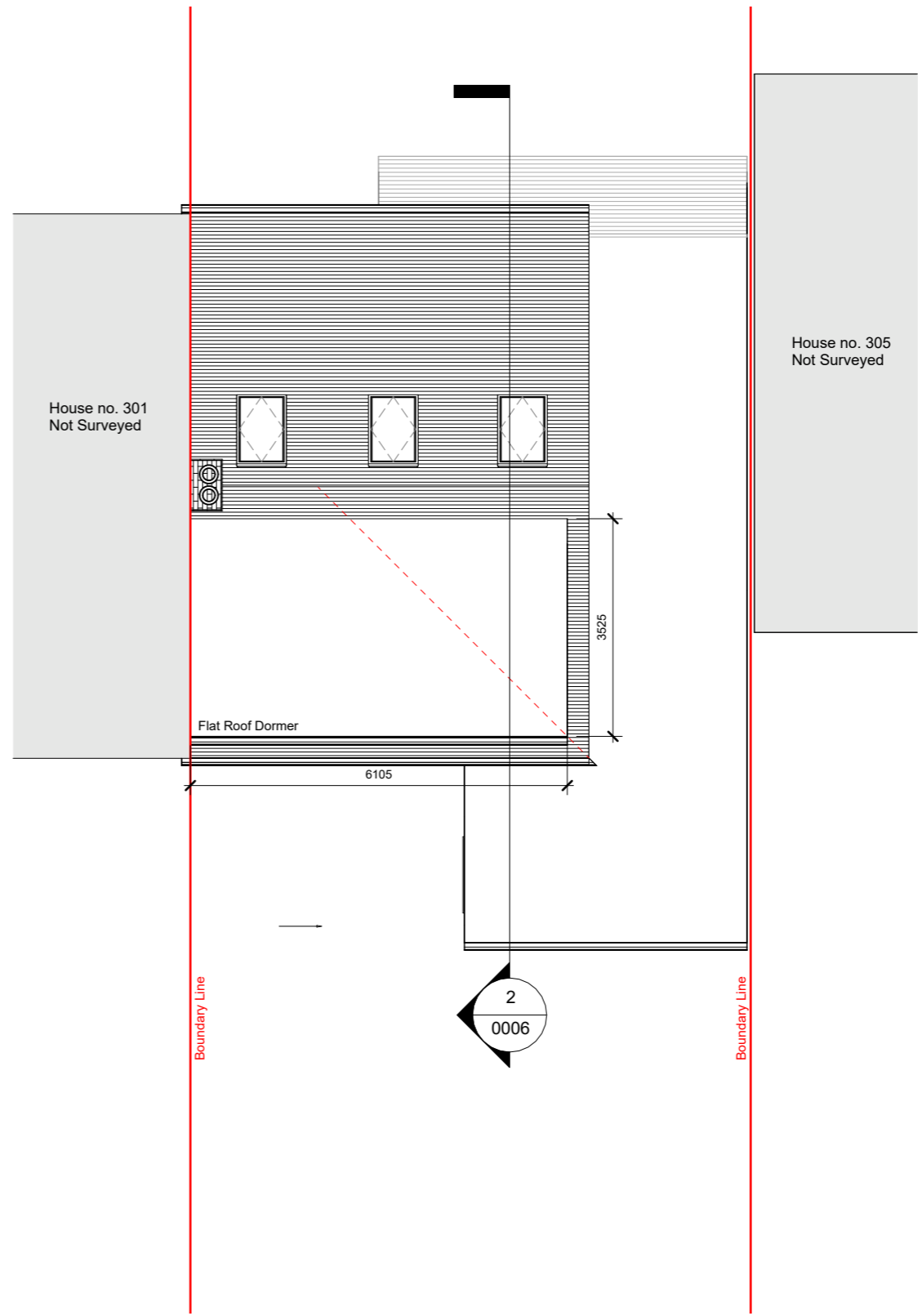
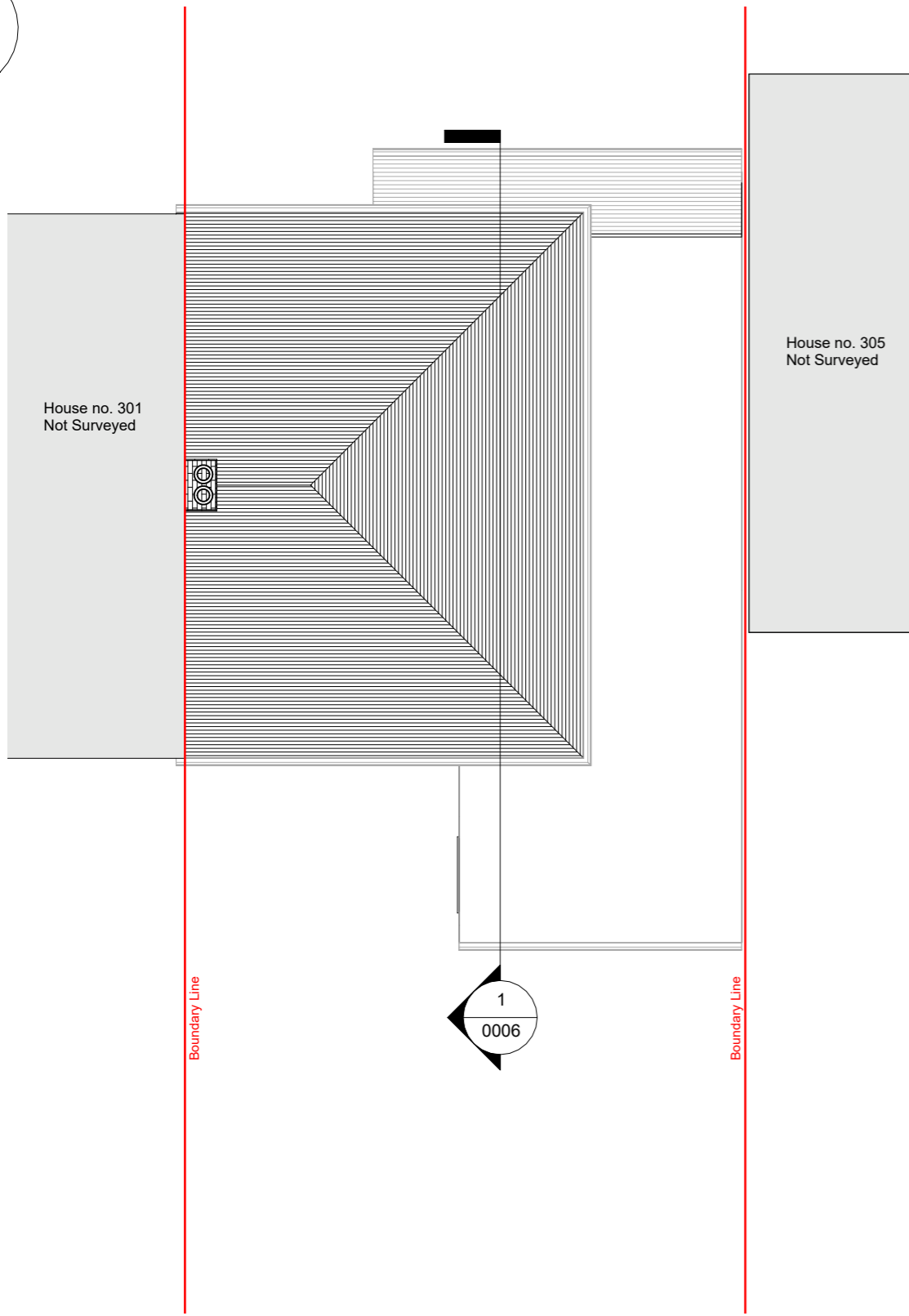
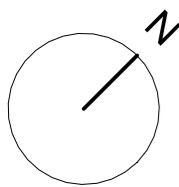
Total Volume = Hip to Gable + Dormer  
 $V = 20.19 + 28.80$   
 $V = 49.01 \text{ m}^3$

- Loft Conversion-**
1. Roof space created must not exceed these volume allowance of 50 cubic metres for semi-detached houses.
  2. Materials to be similar in appearance to the existing house.
  3. No part of the extension is higher than the highest part of the existing roof.
  4. Side-Facing windows are obscure glazed and non-opening unless the parts which can be opened are more than 1.7 metres above the floor of the room in which it is installed.
  5. Roof extensions apart from hip to gable ones to be set back as far as is practicable at least 20cm from the original eaves. The 20cm distance is measured along the roof plane. The roof enlargement cannot overhang the outer face of the wall of the original house.
  6. Rooflights not to project over 150mm beyond the line of roof tile

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- EXISTING
- PROPOSED
- DEMOLITION
- SITE BOUNDARY
- INDICATIVE STRUCTURE ABOVE (REFER TO ENGINEERS INFORMATION)

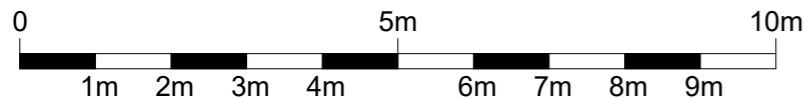




- EXISTING
- PROPOSED
- DEMOLITION
- SITE BOUNDARY
- INDICATIVE STRUCTURE ABOVE
- (REFER TO ENGINEERS INFORMATION)

**1** 03 Roof Existing  
1 : 100

**2** 03 Roof Proposed  
1 : 100



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Rev.	Description	by	Date
P1	Planning	AS	27.05.2026

Project Name  
303 Long Drive, Ruislip, HA4 0HT

Clients Name  
James Burke

Drawing Title  
Roof Plans

Description  
Loft Conversion

Scale 1:100@A3	Date April 2026	Drawn By AS
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Drawing Number  
260023-PL-D 0005

Issue Date 27.05.2026	Checked PN	Revision P1
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**PLANNING**

Rev.	Description	by	Date
P1	Planning	AS	27.05.2026

Project Name  
303 Long Drive, Ruislip, HA4 0HT

Clients Name  
James Burke

Drawing Title  
Section 1

Description  
Loft Conversion

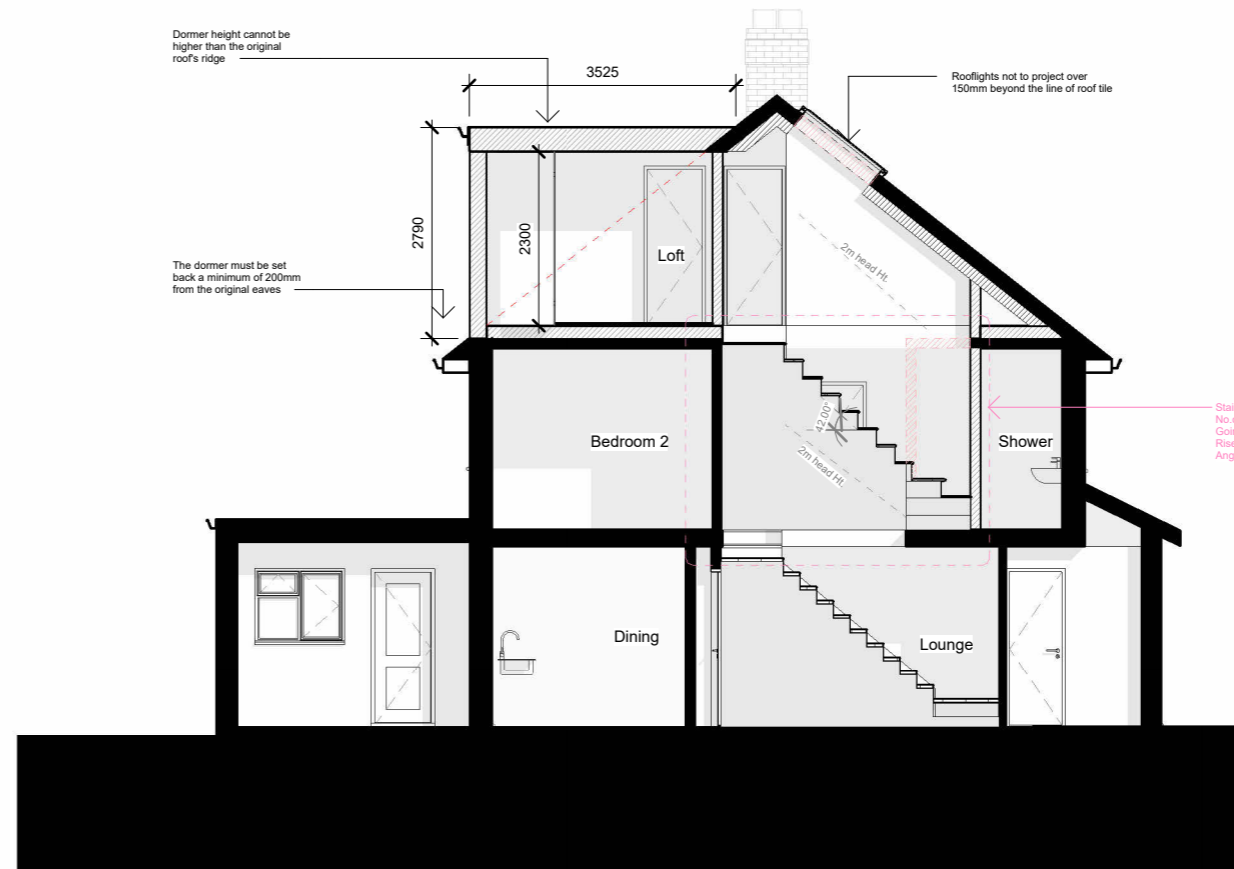
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Drawing Number  
260023-PL-D 0006

Issue Date 27.05.2026	Checked PN	Revision P1
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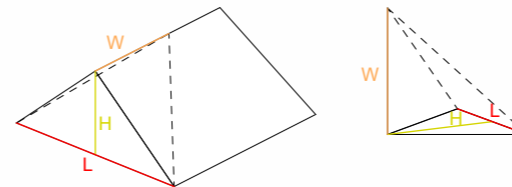
1 Section 1 - Existing  
1:100



2 Section 1 - Proposed  
1:100

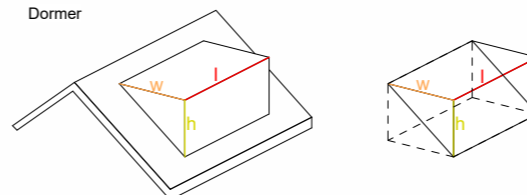
LOFT CALCULATION  
V ( Volume)  
L ( LENGTH)  
W ( WIDTH)  
H ( HEIGHT)

Hip to Gable



Volume of pyramid = 1/3 Base Area x height  
 $V = 1/3 [(H \times L)/2] \times W = (L \times W \times H)/6 \text{ m}^3$   
 $V = 8.1 \times 4.4 \times 3.4/6 = 20.19 \text{ m}^3$

Dormer



Volume of cube = l x w x h  
 $V = (l \times w \times h)/2$   
 $V = 6.1 \times 3.5 \times 2.7/2 = 28.8 \text{ m}^3$

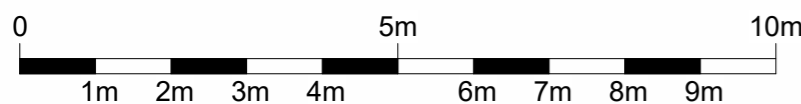
Total Volume = Hip to Gable + Dormer  
 $V = 20.19 + 28.80$   
 $V = 49.01 \text{ m}^3$

Loft Conversion-

1. Roof space created must not exceed these volume allowance of 50 cubic metres for semi-detached houses.
2. Materials to be similar in appearance to the existing house.
3. No part of the extension is higher than the highest part of the existing roof.
4. Side-Facing windows are obscure glazed and non-opening unless the parts which can be opened are more than 1.7 metres above the floor of the room in which it is installed.
5. Roof extensions apart from hip to gable ones to be set back as far as is practicable at least 20cm from the original eaves. The 20cm distance is measured along the roof plane. The roof enlargement cannot overhang the outer face of the wall of the original house.
6. Rooflights not to project over 150mm beyond the line of roof tile

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- EXISTING
- PROPOSED
- DEMOLITION
- SITE BOUNDARY
- INDICATIVE STRUCTURE ABOVE (REFER TO ENGINEERS INFORMATION)



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P1	Planning	AS	27.05.2026

Project Name  
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Clients Name  
James Burke

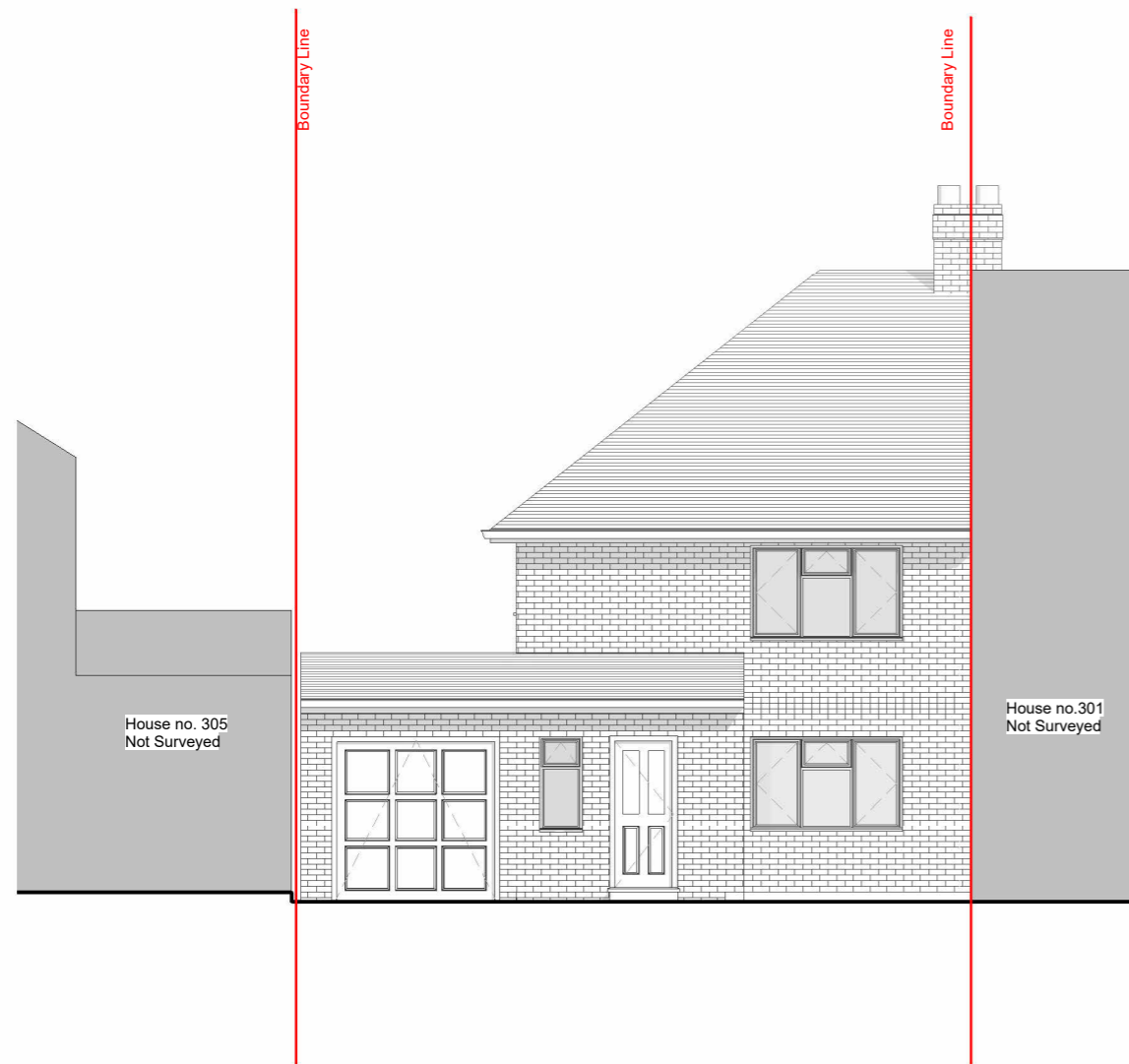
Drawing Title  
Front Elevation

Description  
Loft Conversion

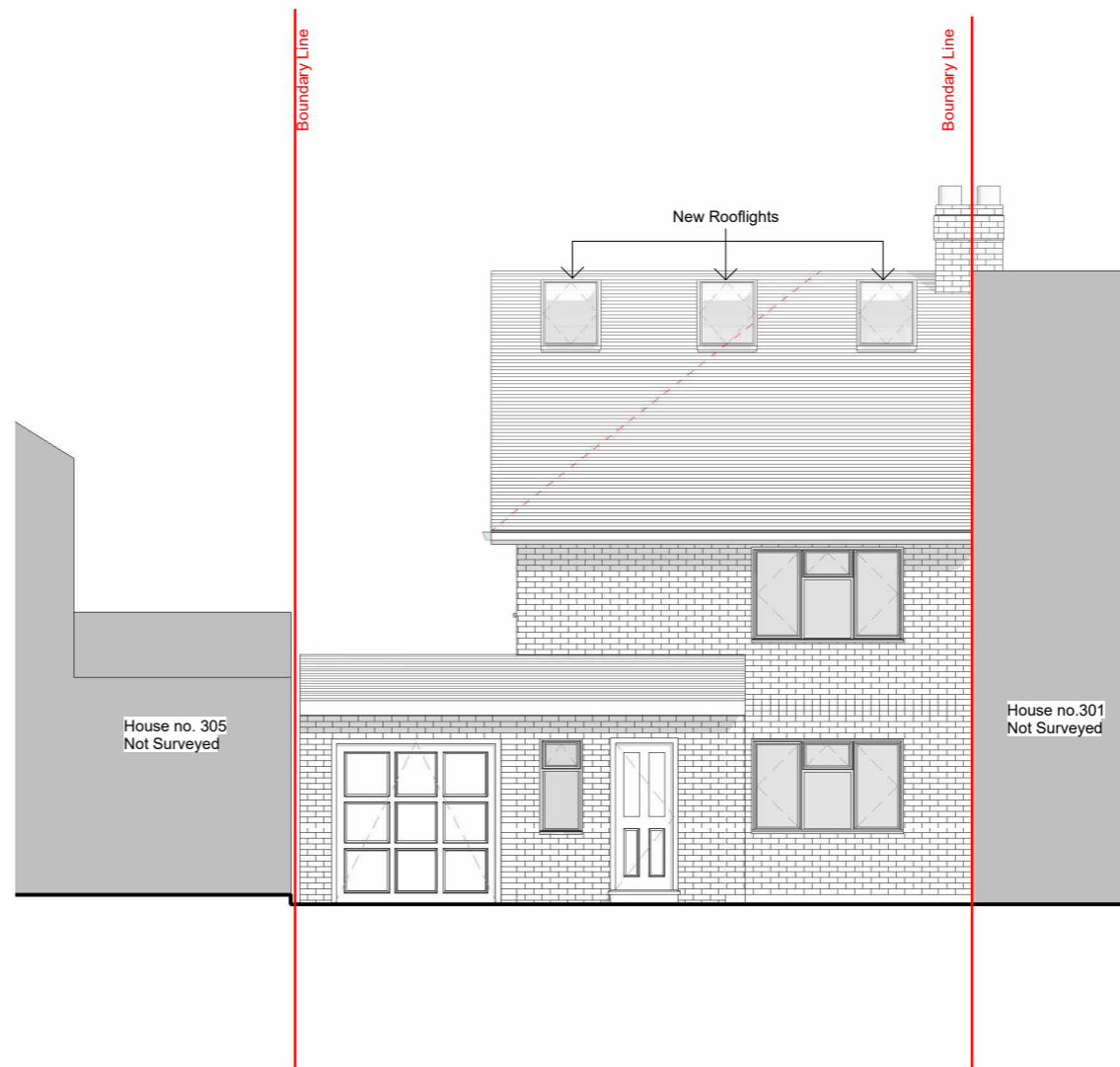
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Drawing Number  
260023-PL-D 0008

Issue Date 27.05.2026	Checked PN	Revision P1
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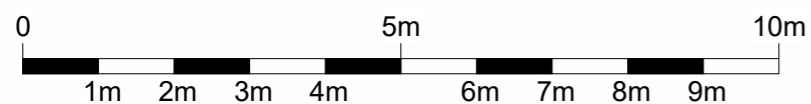


**1** Front elevation - Existing  
1 : 100



**2** Front elevation - Proposed  
1 : 100

- EXISTING
- PROPOSED
- DEMOLITION
- SITE BOUNDARY
- INDICATIVE STRUCTURE ABOVE
- (REFER TO ENGINEERS INFORMATION)



- Loft Conversion-
1. Roof space created must not exceed these volume allowance of 50 cubic metres for semi-detached houses.
  2. Materials to be similar in appearance to the existing house.
  3. No part of the extension is higher than the highest part of the existing roof.
  4. Side-Facing windows are obscure glazed and non-opening unless the parts which can be opened are more than 1.7 metres above the floor of the room in which it is installed.
  5. Roof extensions apart from hip to gable ones to be set back as far as is practicable at least 20cm from the original eaves. The 20cm distance is measured along the roof plane. The roof enlargement cannot overhang the outer face of the wall of the original house.
  6. Rooflights not to project over 150mm beyond the line of roof tile

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Project Name  
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Clients Name  
James Burke

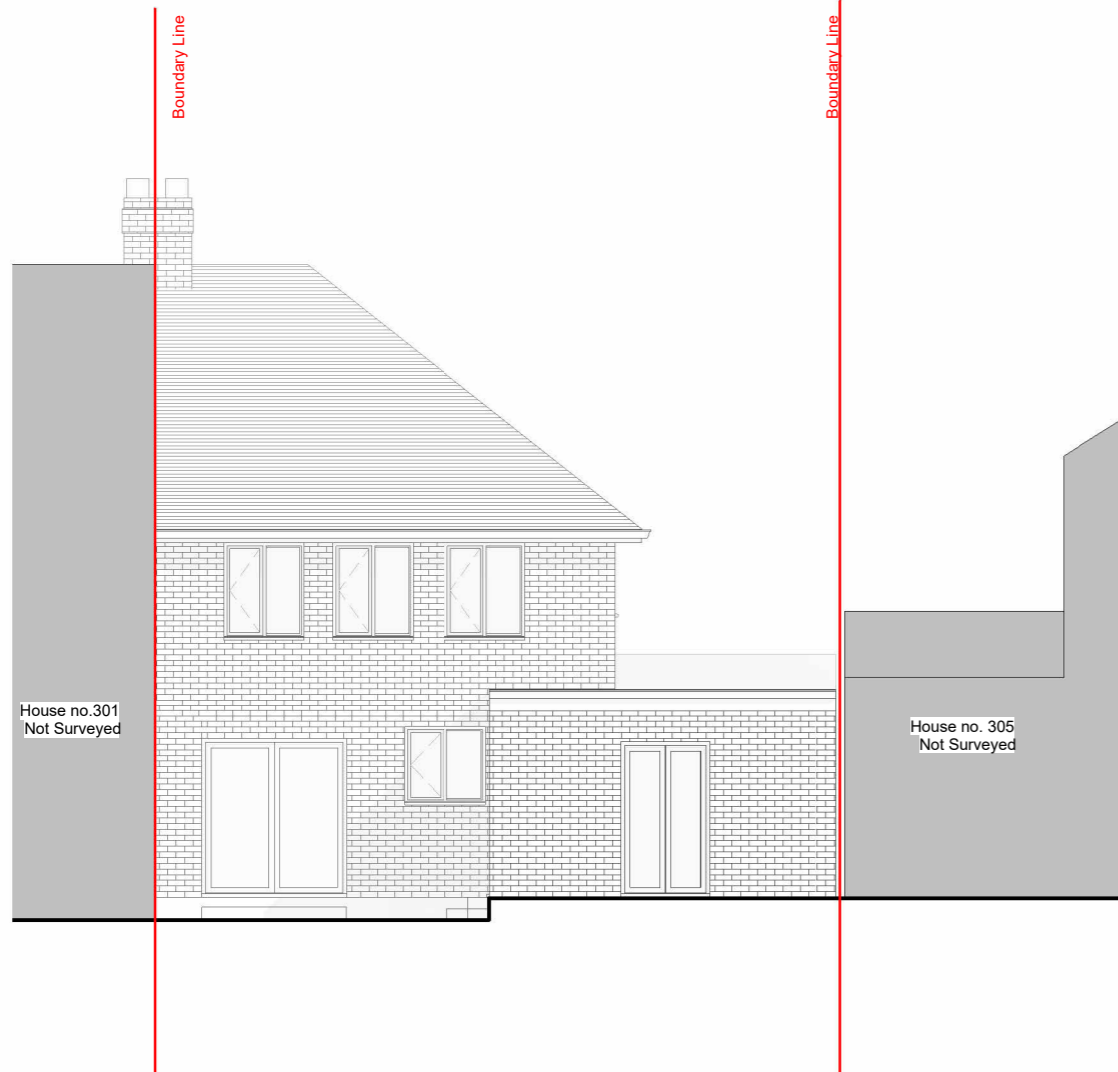
Drawing Title  
Rear Elevation

Description  
Loft Conversion

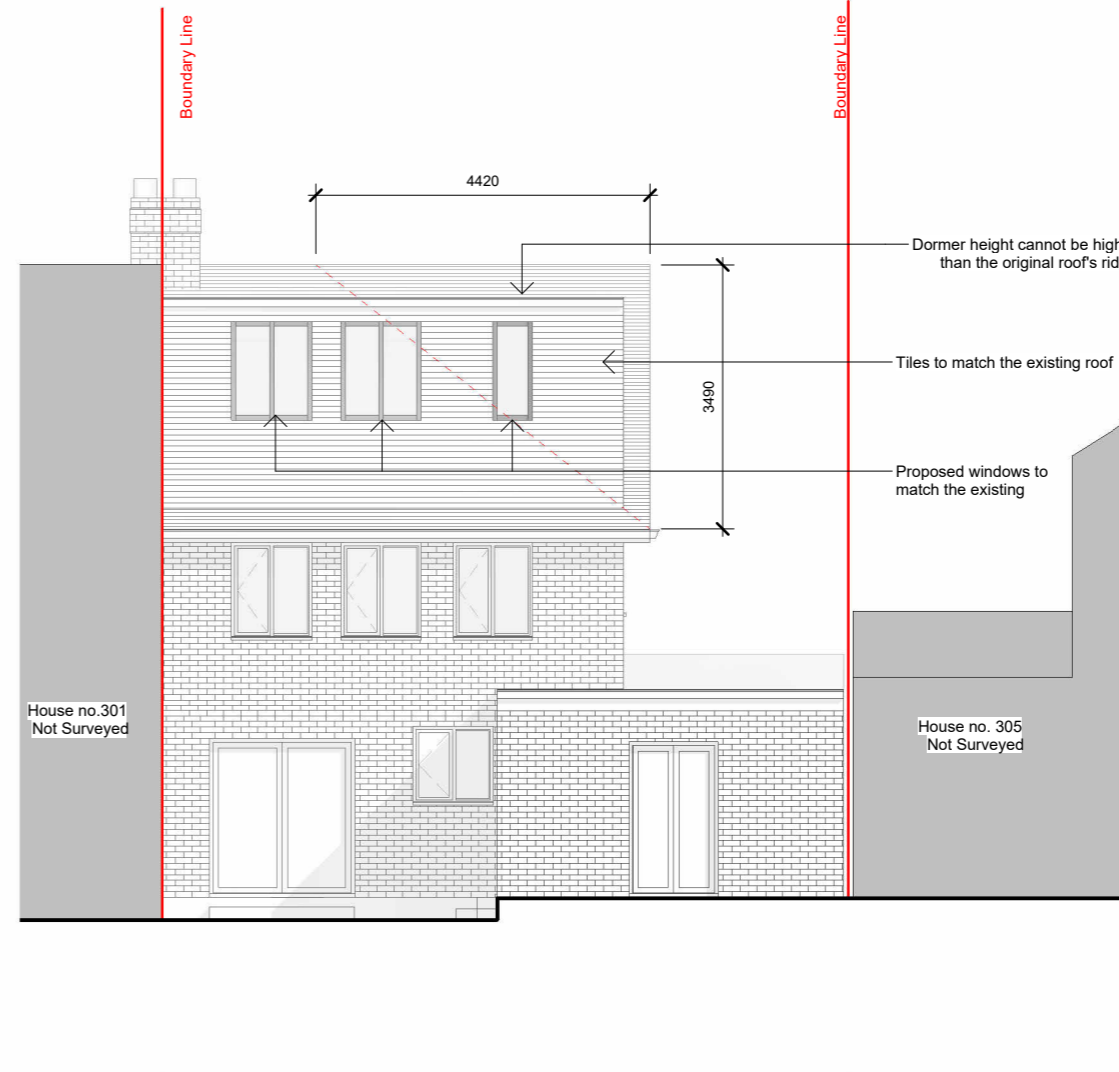
Scale 1:100@A3	Date April 2026	Drawn By AS
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Drawing Number  
260023-PL-D 0009

Issue Date 27.05.2026	Checked PN	Revision P1
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**1** Rear elevation- Existing  
1 : 100

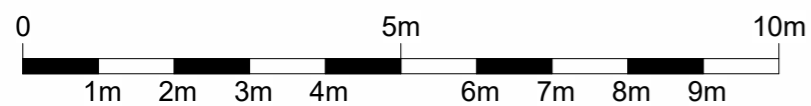


**2** Rear elevation- Proposed  
1 : 100

- Loft Conversion-
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  2. Materials to be similar in appearance to the existing house.
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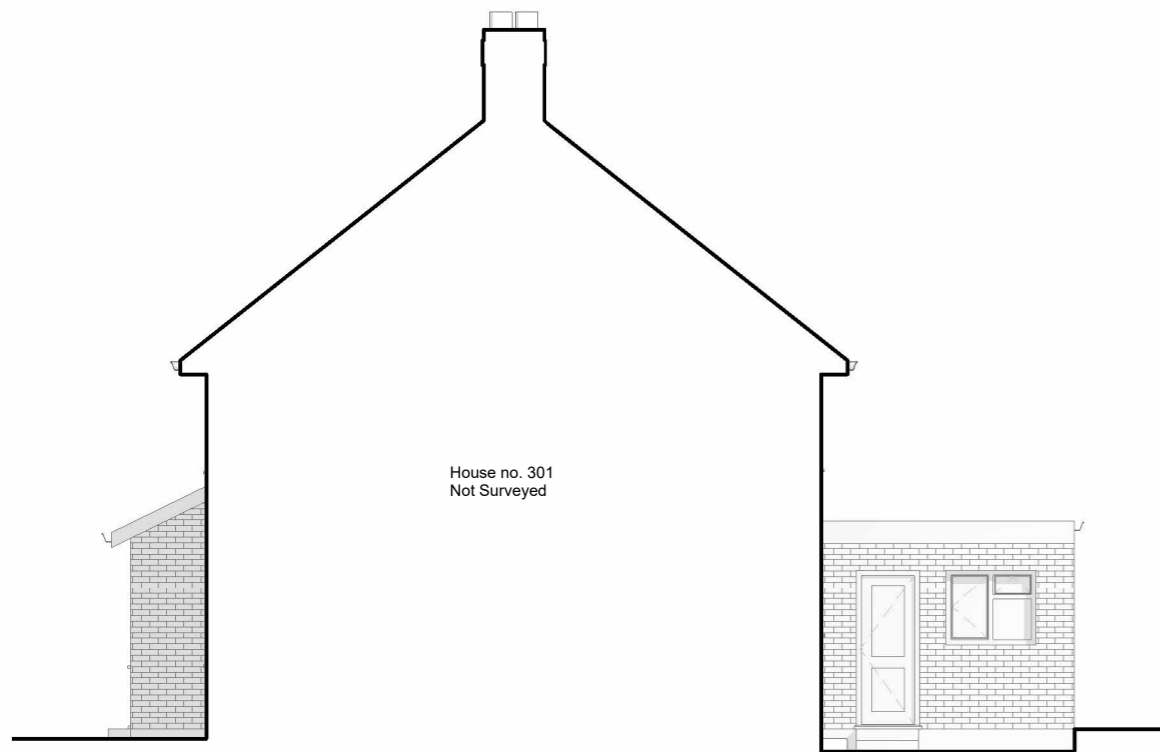
Drawing Title  
Side Elevation 2

Description  
Loft Conversion

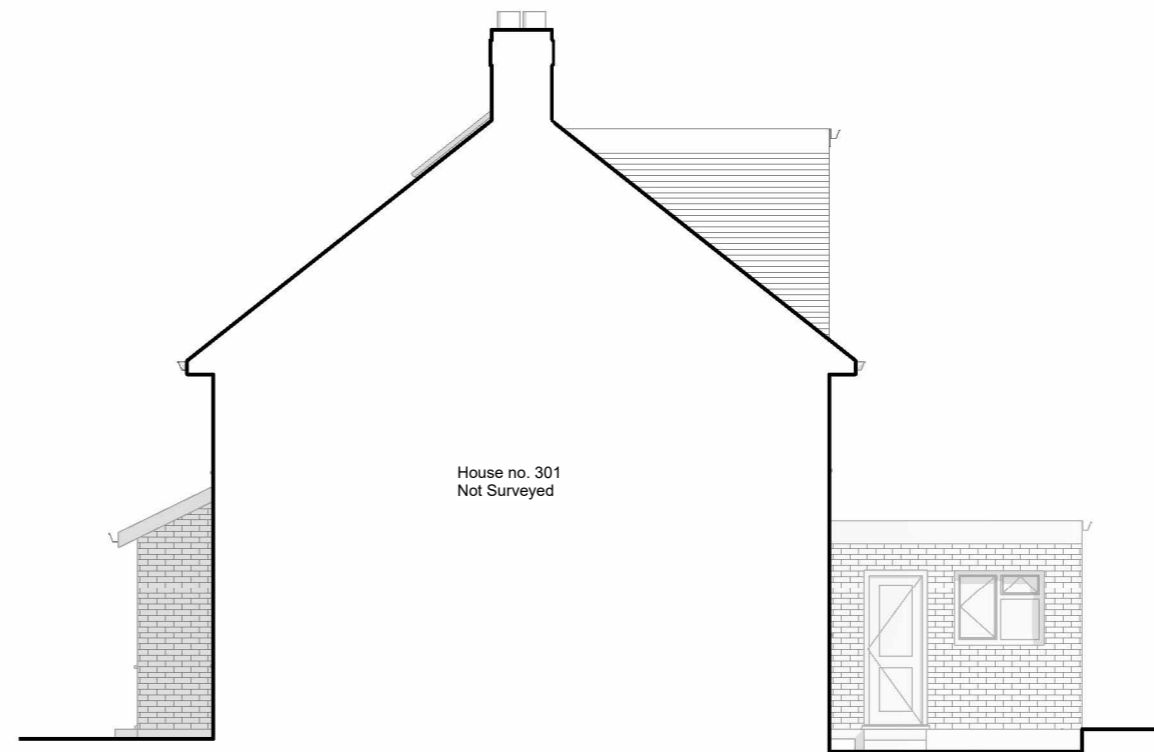
Scale 1:100@A3	Date April 2026	Drawn By AS
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Drawing Number  
260023-PL-D 0011

Issue Date 27.05.2026	Checked PN	Revision P1
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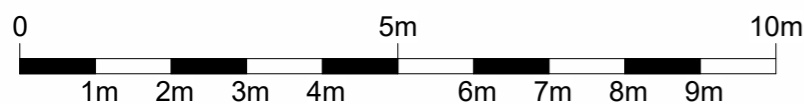


**1** Side elevation 2 - Existing  
1 : 100



**2** Side elevation 2 - Proposed  
1 : 100

- EXISTING
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- DEMOLITION
- SITE BOUNDARY
- INDICATIVE STRUCTURE ABOVE  
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- Loft Conversion-
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**General Notes:**

Copyright The Market Design & Build. No implied licence exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on the site by the contractor and such dimensions to be their responsibility. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect. To be read in conjunction with Architect's specification and other consultant information. All fixed furniture drawn is for guidance only. Refer to separate drawings and schedules.

**Drawing Status:**

**PLANNING**

Rev.	Description	by	Date
P1	Planning	AS	27.05.2026

Project Name  
303 Long Drive, Ruislip, HA4 0HT

Clients Name  
James Burke

Drawing Title  
3D View

Description  
Loft Conversion

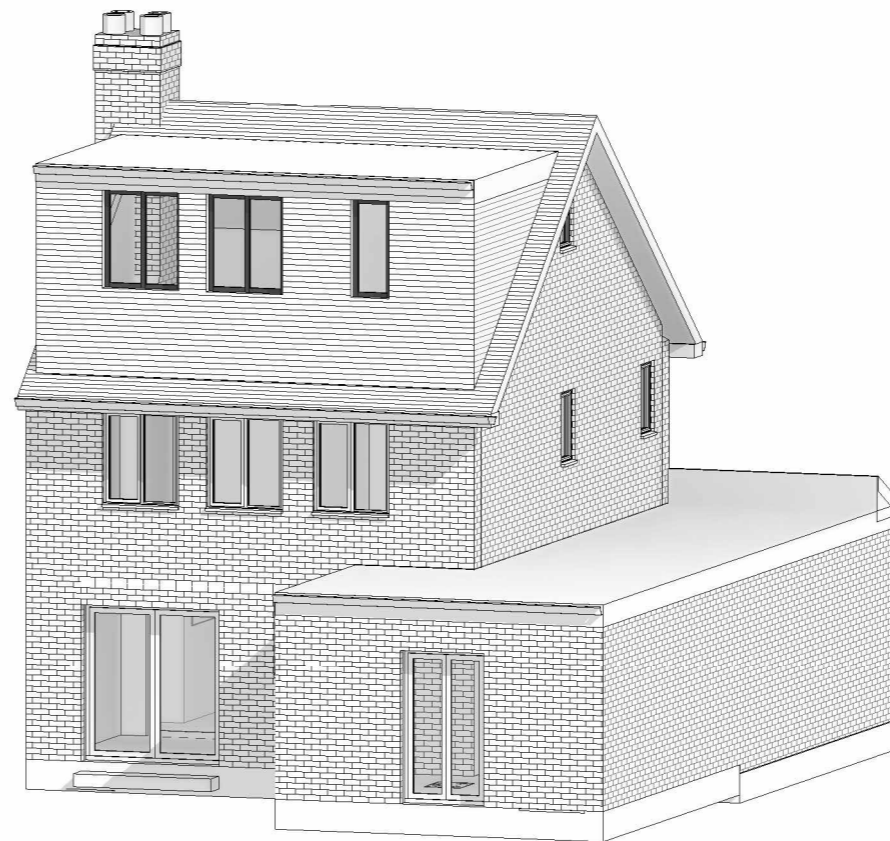
Scale 1:100@A3	Date April 2026	Drawn By AS
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Drawing Number  
260023-PL-D 0012

Issue Date 27.05.2026	Checked PN	Revision P1
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1 3D Existing



2 3D Proposed

