

- Notes:
1. Do not scale this drawing
  2. All dimensions to be verified on site and any discrepancy reported to the client
  3. This drawing to be read in conjunction with all relevant drawings

Proposed Single Storey  
Summer House & Garden  
Store  
(Internal Gross  
Covered Area = 44.40m<sup>2</sup>)

23

All New Facing  
Brickwork / Render, Flat Roof  
To Match Existing Dwelling  
Final Position Of New Doors &  
Windows To Clients Requirements  
Rain Water Guttering, Eaves &  
Foundations Not  
To Encroach Neighbours  
Property

Out Building: Not To Be Used  
For Habitable Purposes

All Setting Out Of Works By Principal  
Builder & We undertake No  
Responsibilities Of Any Matters  
Arising From The Above

(Land Scapping To Suit  
Natural Ground Profile)

Final Position &  
Size Of Proposed  
Washroom To Clients  
Requirements  
With Obscure Glass

Window Pane  
Non Opening

All Drawings Created  
Under The Instructions  
Of The Home Owner & Or  
Principal Builder.

Proposed Ground Floor Layout -  
Out Building  
(25)

8000

8000

23

Garden Fence

Rear Garden

Flat Roof  
(Laid To Falls)

Garden Fence

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Client/Builder To Liaise With  
Local Water Board For Any New Works  
On Or Within The Public Sewer Or Drain Runs  
And Obtain Approval From The Local Authority  
Prior To Commencement Of Any Works  
Existing Lintel sizes to be checked  
and confirmed by BC officer for  
additional floor loading before construction.  
Contractor is responsible for all  
temporary works  
and stability of building during  
demolition and construction.

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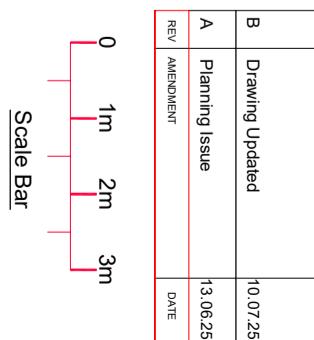
3. This drawing to be read in conjunction with all relevant drawings

Owners To Serve Party Wall Act Notice  
On Owners Of Adjacent Property And  
Obtain Written Agreement, Prior To  
Commencement Of Any Works

Client/Builder To Obtain All  
Planning Permission Approvals  
From The Relevant Authority.  
Commencement Of Building Works  
Prior To The Planning &  
Building Control Approvals  
Is To Client/Builders Own Risk

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Total: 73.50m<sup>2</sup>

Garden Space After All Proposal:  
Total Garden Space Remaining After Approved 3.6m Rear Extension &  
Outbuilding = 73.50m<sup>2</sup> < 93.00m<sup>2</sup>

Hence Proposal Falls Within Permitted Development Rights

| REV | AMENDMENT       | DATE     | CHKED |
|-----|-----------------|----------|-------|
| B   | Drawing Updated | 10.07.25 | RS    |
| A   | Planning Issue  | 13.06.25 | RS    |

| CLIENT            | Hema Anantharajah          |
|-------------------|----------------------------|
| PROJECT           |                            |
| 25 Camden Avenue  |                            |
| Hayes - Middlesex |                            |
| UB4 0PN           |                            |
| DRAWING TITLE     | Proposed OutBuilding       |
| DRAWING NUMBER    | Floor Layouts & Elevations |
| Sheet 1           |                            |