

Notes:  
1. Do not scale this drawing

2. All dimensions to be verified on site and any discrepancy reported to the client

3. This drawing to be read in conjunction with all relevant drawings

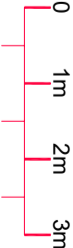
Owners To Serve Party Wall Act Notice On Owners Of Adjacent Property And Obtain Written Agreement, Prior To Commencement Of Any Works

Client/Builder To Obtain All Planning Permission Approvals From The Relevant Authority, Commencement Of Building Works Prior To The Planning & Building Control Approvals Is To Client/Builders Own Risk

Client/Builder To Liaise With Local Water Board For Any New Works On Or Within The Public Sewer Or Drain Runs And Obtain Approval From The Local Authority Prior To Commencement Of Any Works

Existing Lintel sizes to be checked and confirmed by BC officer for additional floor loading before construction. Contractor is responsible for all temporary works and stability of building during demolition and construction.

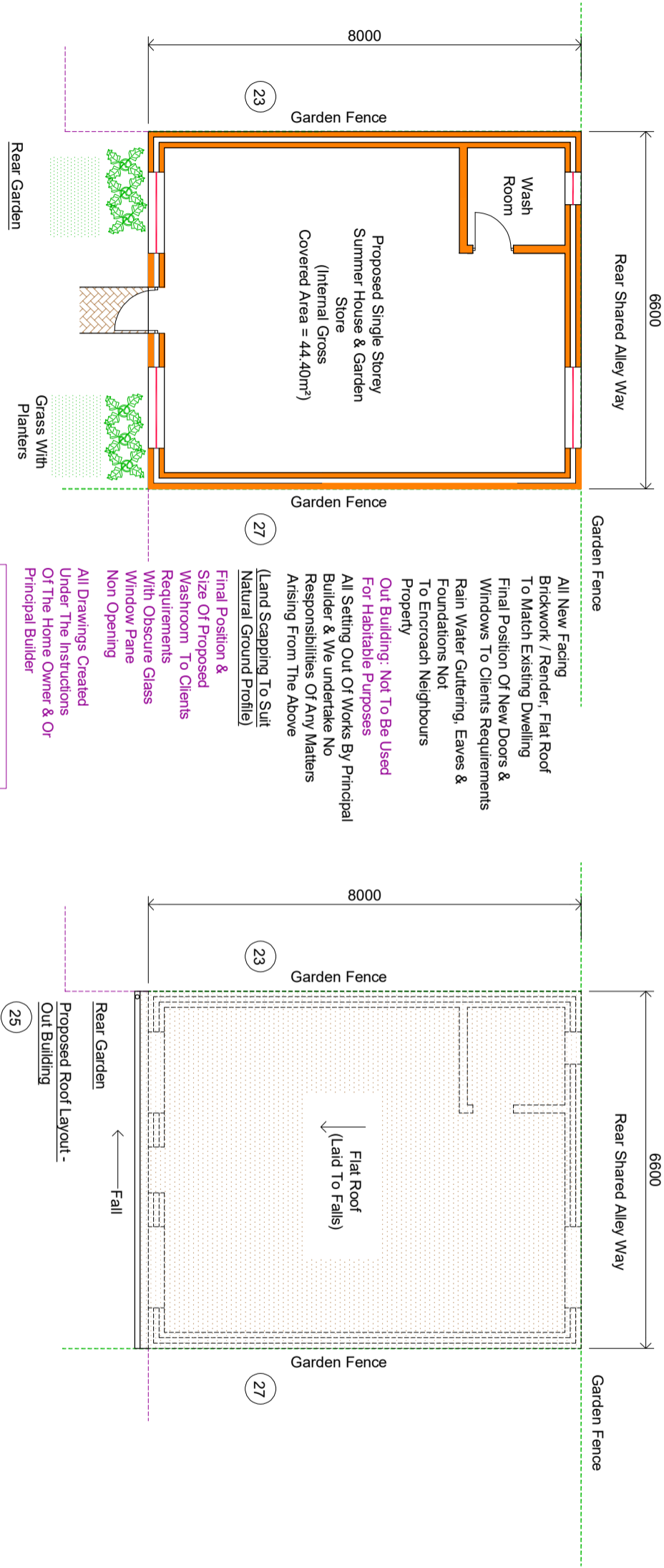
B	Drawing Updated	10.07.25	RS
A	Planning Issue	13.06.25	RS
REV	AMENDMENT	DATE	CHD



Scale Bar

CLIENT	Hema Anantharajah
PROJECT	25 Camden Avenue Hayes - Middlesex UB4 0PN
DRAWING TITLE	Proposed Outbuilding Floor Layouts & Elevations Sheet 1

SCALE	DRAWN BY	CHECKED	DATE
1:50 @ A1	RS	RS	13.06.25
1:100 @ A3			
DRAWING NUMBER	2025 - 63 - 01	REVISION	B



non open able unless parts of the flank window which can be opened are more than 1.7m above the floor of the room in which the window is installed (obscure glass window)

All Drawings Created Under The Instructions Of The Home Owner & Or Principal Builder

Window Pane Non Opening

Requirements With Obscure Glass

Washroom To Clients

Size Of Proposed

Final Position & Natural Ground Profile)

(Land Scapping To Suit

Responsibilities Of Any Matters Arising From The Above

Builder & We undertake No

All Setting Out Of Works By Principal

For Habitable Purposes

Out Building: Not To Be Used

To Encroach Neighbours

Foundations Not

Rain Water Guttering, Eaves &

Windows To Clients Requirements

Final Position Of New Doors &

To Match Existing Dwelling

Brickwork / Render, Flat Roof

All New Fading

Original Garden Area: 186.00m2

Garden 50%: 93.00m2

Area Of 3.6m Rear Extension: 22.00m2

Area Of Proposed Outbuilding: 51.50m2

Total: 73.50m2

Garden Space After All Proposal:

Total Garden Space Remaining After Approved 3.6m Rear Extension & Outbuilding = 73.50.0m2 < 93.00m2

Hence Proposal Falls Within Permitted Development Rights