

VOLUME OF HIP TO GABLE A

$$1/3 \times (1/2 \times 8.3 \text{ M} \times 3.26 \text{ M}) \times 4.15 \text{ M} = 18.72 \text{ CU.MT.}$$

VOLUME OF REAR DORMER B

$$1/2 \times 5.63 \text{ M} \times 2.79 \text{ M} \times 3.74 \text{ M} = 29.37 \text{ CU.MT.}$$

TOTAL PROPOSED ROOF VOLUME

$$= \text{VOLUME OF HIP TO GABLE} + \text{VOLUME OF REAR DORMER}$$

$$= 18.72 \text{ CU.MT.} + 29.37 \text{ CU.MT.} = 48.09 \text{ CU.MT.}$$

$\leq 50.00 \text{ CU.MT.}$ VOLUME OF ROOF EXTENSION

PERMISSIBLE UNDER PERMITTED DEVELOPMENT

FOR SEMI-DETACHED HOUSE. HENCE THE ROOF EXTENSION IS LAWFUL.

NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

ALL DIMENSIONS / LEVELS TO BE CHECKED AND VERIFIED ON SITE BEFORE COMMENCING ANY WORK AND ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY.

THIS DRAWING TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS, PROJECT WORKING DRAWINGS, SPECIFICATION, ALL CONSULTANTS / SPECIALIST DRAWINGS, DETAILS AND SPECIFICATION.

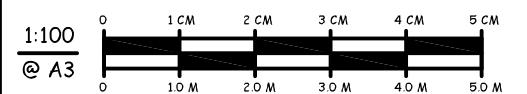
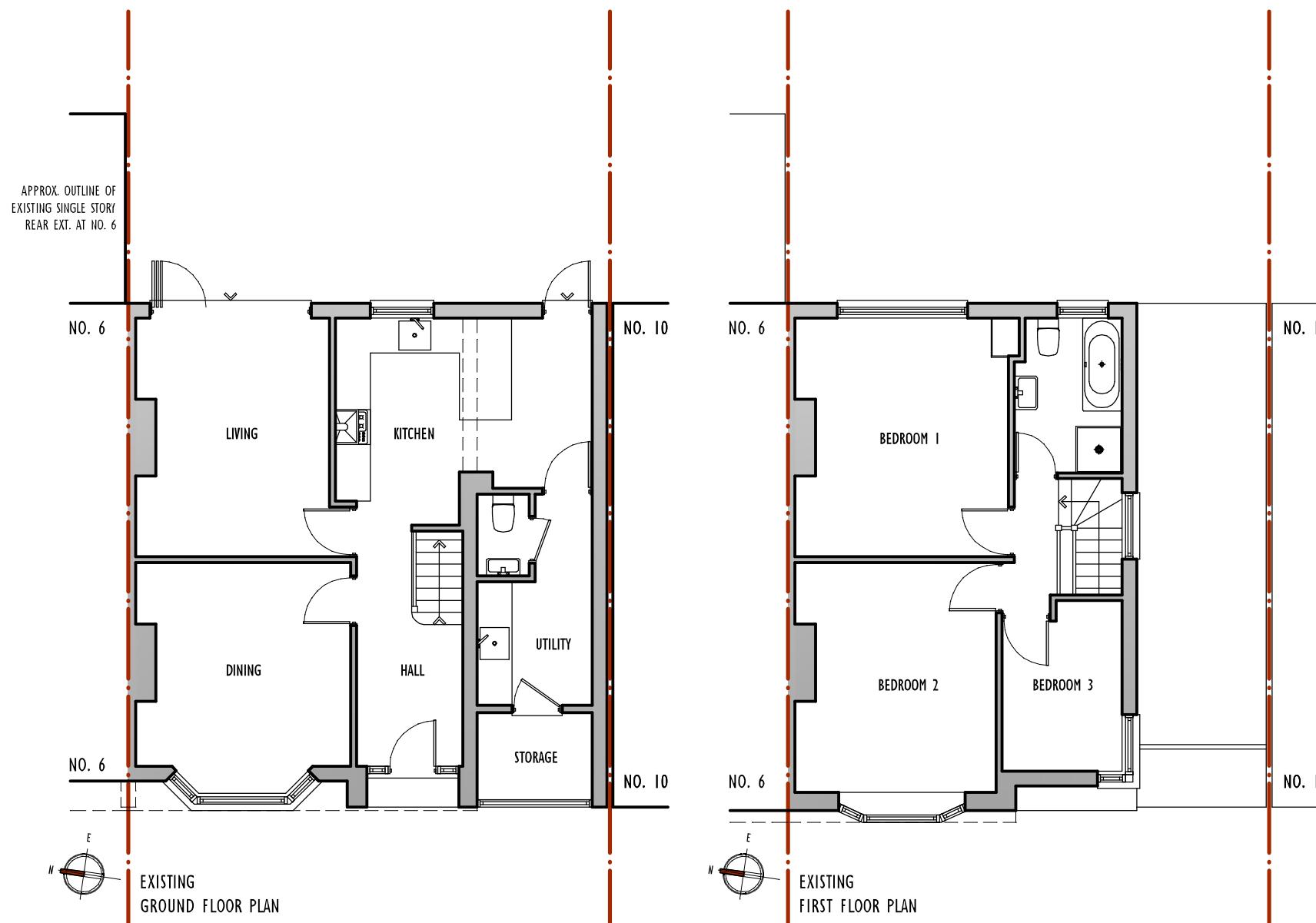
ALL MATERIALS USED IN ANY EXTERIOR WORK SHALL OF A SIMILAR APPEARANCE TO THOSE USED IN THE CONSTRUCTION OF THE EXTERIOR OF THE EXISTING BUILDING.

CLIENT IS ADVISED TO ACT AS PER "THE PARTY WALL ACT 1996" BEFORE STARTING OF ANY WORK.

THESE DRGS. ARE PREPARED FOR THE PLANNING OR PERMITTED DEVELOPMENT APPLICATION ONLY.

EXISTING BOUNDARY TO BE VERIFIED BY THE CLIENT OR BOUNDARY SURVEYOR OR CONTRACTOR.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING COMPETENCE WITH THE CDM REGULATIONS 2015 AND APPROPRIATE HEALTH & SAFETY ON SITE PRECAUTIONS.



REV: DATE: AMENDMENT:

studio infinitii
architecture & planning
23 Queen Street
Maidenhead SL6 1NB
Mo: 07506582244

CLIENT:
MR. & MRS. J. SHAH

JOB:
PROP. CONST. OF HIP TO GABLE END,
REAR DORMER, INSTALLATION OF VELUX
WINDOWS TO FRONT, WITH ASSEZ. INT. ALT.
AT 8 WARREN DRIVE RUISLIP HA4 3RD

TITLE:
EXISTING FLOOR PLANS
& VOLUME CALCULATIONS

SCALE:
1:100 @ A3

DRAWN BY:

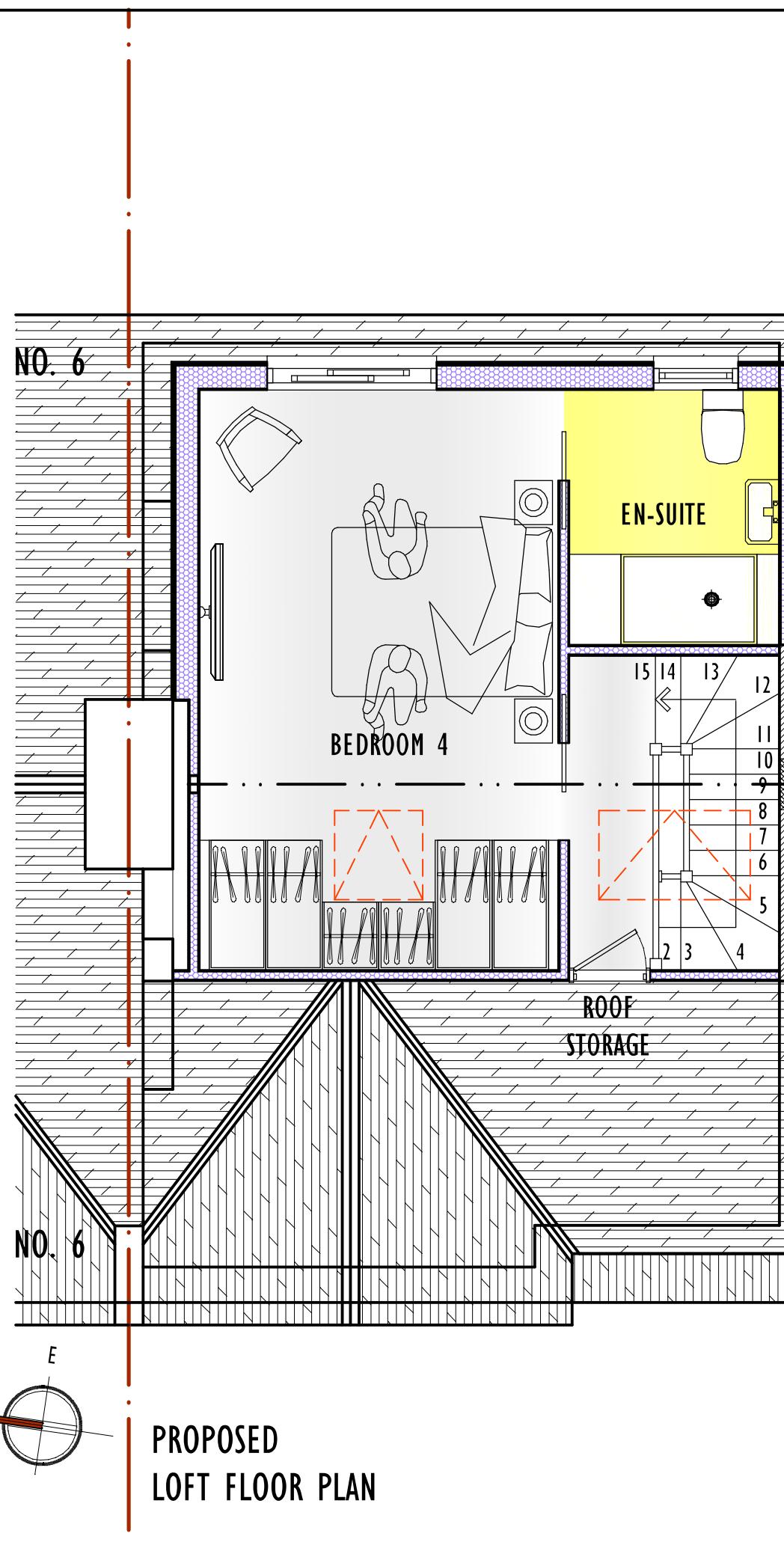
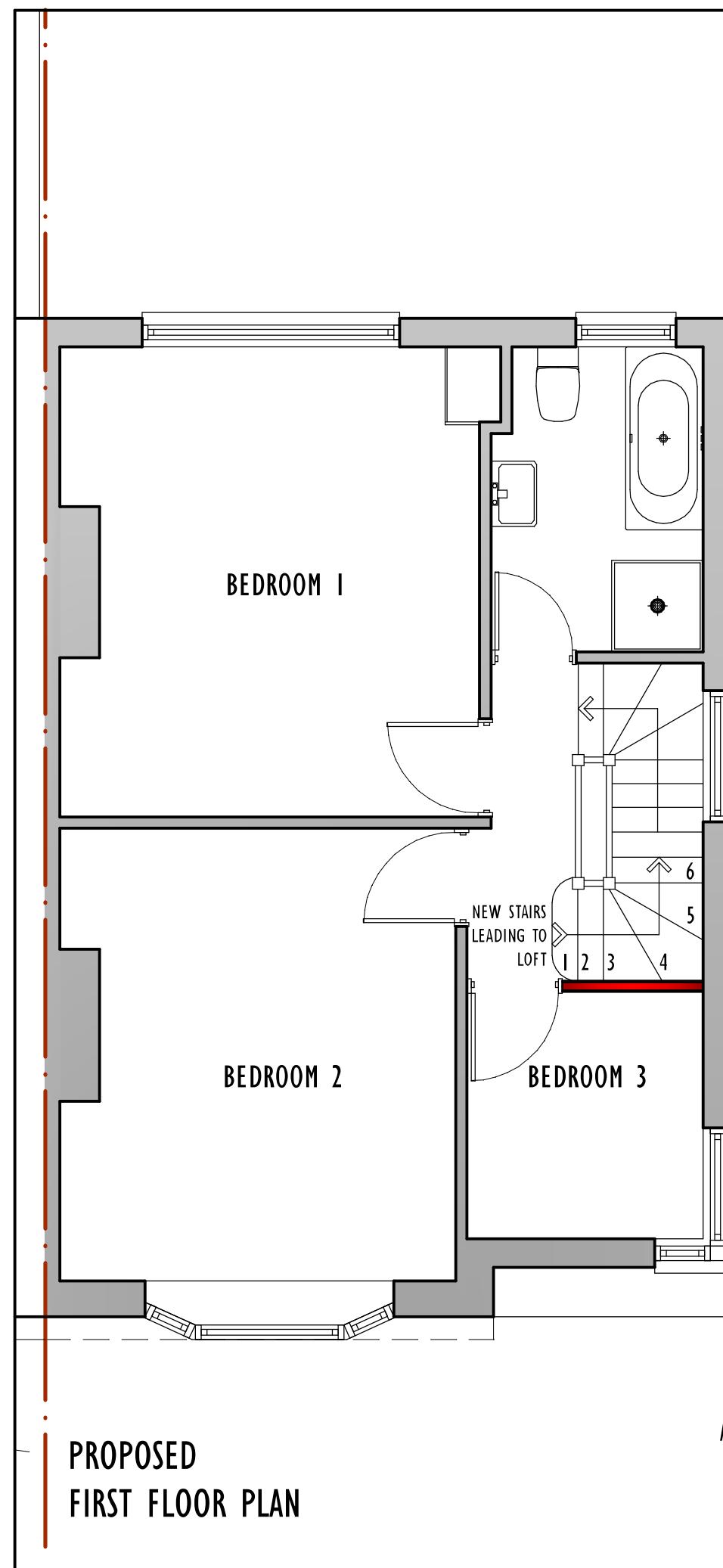
DATE:
JULY 2023

JOB NO:
SI 2305 08WD

DRAWING NO:
SI 2305 08WD 07

REV:

COPYRIGHT RESERVED



PROVIDE DOUBLE DOORS WITH GLAZED BALUSTRADE @ BEDROOM 4

BUILD GABLE END IN BLOCKS & RENDER TO MATCH

PROVIDE ECLISSE FIRE RATED SLIDING DOOR SYSTEM WITH 30 MIN. FIRE DOOR TO BEDROOM 4

PROVIDE VELUX MK04 & UK04 WINDOWS TO FRONT

NOTES	
ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.	
ALL DIMENSIONS / LEVELS TO BE CHECKED AND VERIFIED ON SITE BEFORE COMMENCING ANY WORK AND ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY.	
THIS DRAWING TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS, PROJECT WORKING DRAWINGS, SPECIFICATION, ALL CONSULTANTS / SPECIALIST DRAWINGS, DETAILS AND SPECIFICATION.	
ALL MATERIALS USED IN ANY EXTERIOR WORK SHALL OF A SIMILAR APPEARANCE TO THOSE USED IN THE CONSTRUCTION OF THE EXTERIOR OF THE EXISTING BUILDING.	
CLIENT IS ADVISED TO ACT AS PER "THE PARTY WALL ACT 1996" BEFORE STARTING OF ANY WORK.	
THESE DRGS. ARE PREPARED FOR THE PLANNING OR PERMITTED DEVELOPMENT APPLICATION ONLY.	
EXISTING BOUNDARY TO BE VERIFIED BY THE CLIENT OR BOUNDARY SURVEYOR OR CONTRACTOR.	
THE CONTRACTOR IS RESPONSIBLE FOR ENSURING COMPETENCE WITH THE CDM REGULATIONS 2015 AND APPROPRIATE HEALTH & SAFETY ON SITE PRECAUTIONS.	
1:50 @ A3	0 2 CM 4 CM 0 1.0 M 2.0 M
REV:	DATE: AMENDMENT:
 studio infinitii architecture & planning 23 Queen Street Maidenhead SL6 1NB Mo: 07506582244	
CLIENT:	MR. & MRS. J. SHAH
JOB:	PROP. CONST. OF HIP TO GABLE END, REAR DORMER, INSTALLATION OF VELUX WINDOWS TO FRONT, WITH ASSEZ. INT. ALT. AT 8 WARREN DRIVE RUISLIP HA4 3RD
TITLE:	PROPOSED FLOOR PLANS
SCALE:	1:50 @ A3
DATE:	JULY 2023
DRAWING NO:	SI 2305 08WD 08
REV:	
COPYRIGHT RESERVED	

NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

ALL DIMENSIONS / LEVELS TO BE CHECKED AND VERIFIED ON SITE BEFORE COMMENCING ANY WORK AND ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY.

THIS DRAWING TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS, PROJECT WORKING DRAWINGS, SPECIFICATION, ALL CONSULTANTS / SPECIALIST DRAWINGS, DETAILS AND SPECIFICATION.

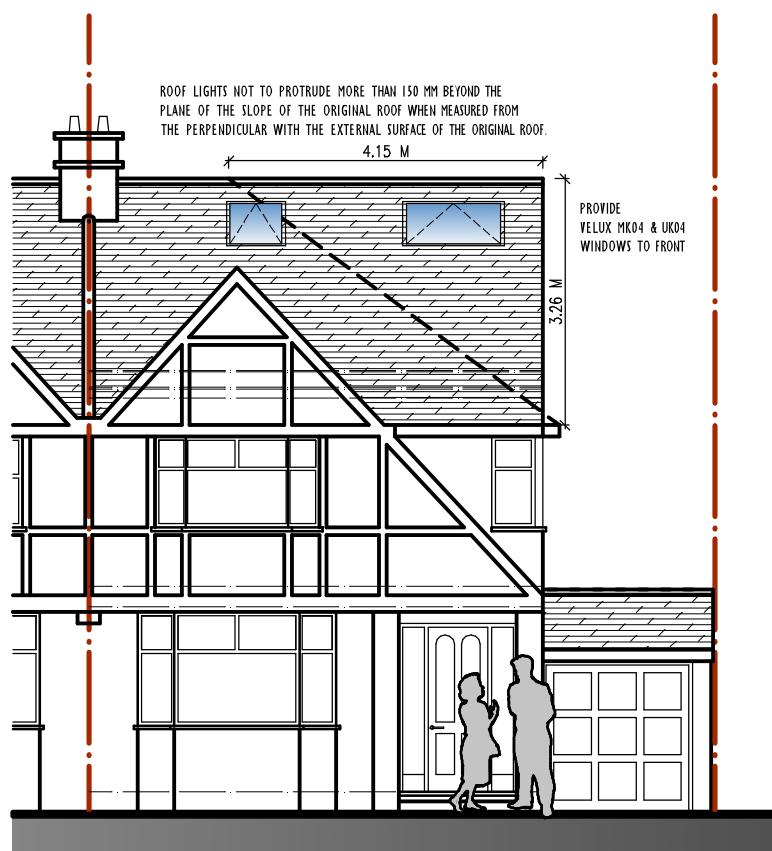
ALL MATERIALS USED IN ANY EXTERIOR WORK SHALL OF A SIMILAR APPEARANCE TO THOSE USED IN THE CONSTRUCTION OF THE EXTERIOR OF THE EXISTING BUILDING.

CLIENT IS ADVISED TO ACT AS PER "THE PARTY WALL ACT 1996" BEFORE STARTING OF ANY WORK.

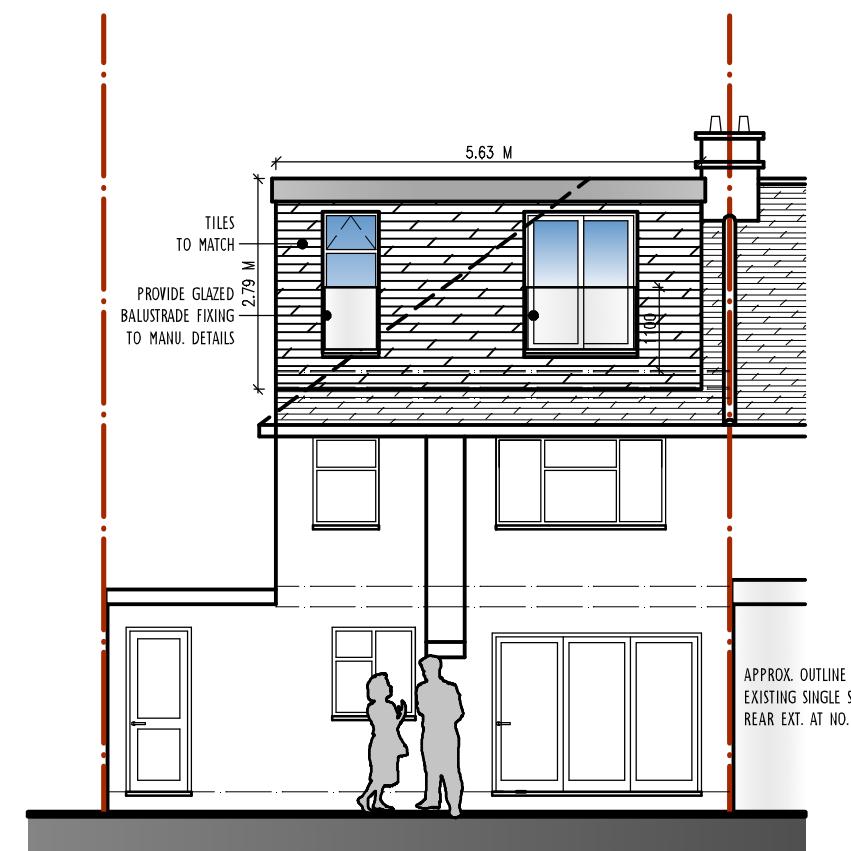
THESE DRGS. ARE PREPARED FOR THE PLANNING OR PERMITTED DEVELOPMENT APPLICATION ONLY.

EXISTING BOUNDARY TO BE VERIFIED BY THE CLIENT OR BOUNDARY SURVEYOR OR CONTRACTOR.

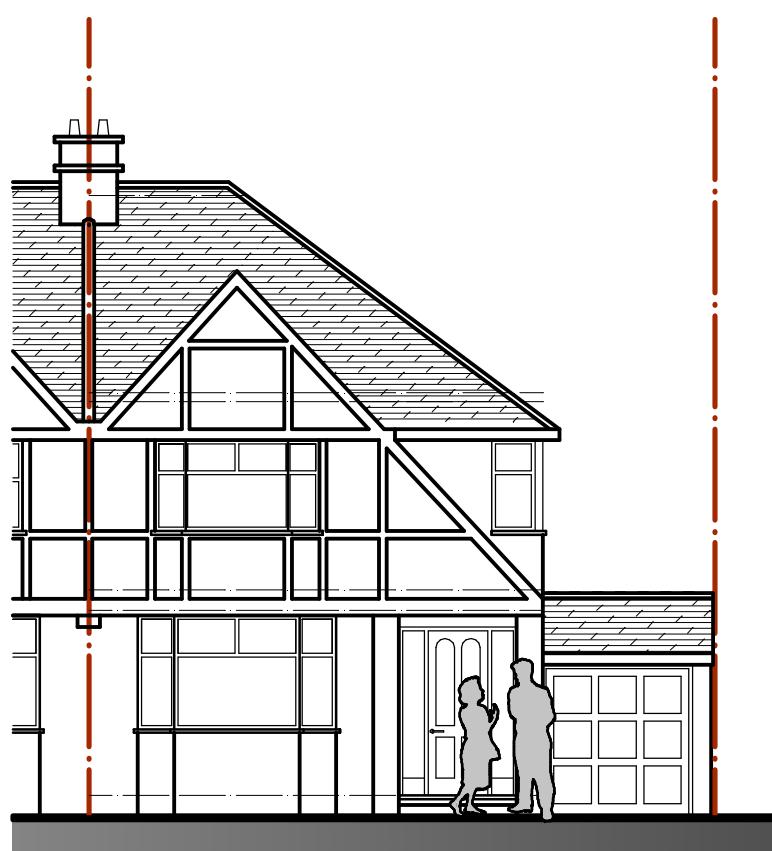
THE CONTRACTOR IS RESPONSIBLE FOR ENSURING COMPETENCE WITH THE CDM REGULATIONS 2015 AND APPROPRIATE HEALTH & SAFETY ON SITE PRECAUTIONS.



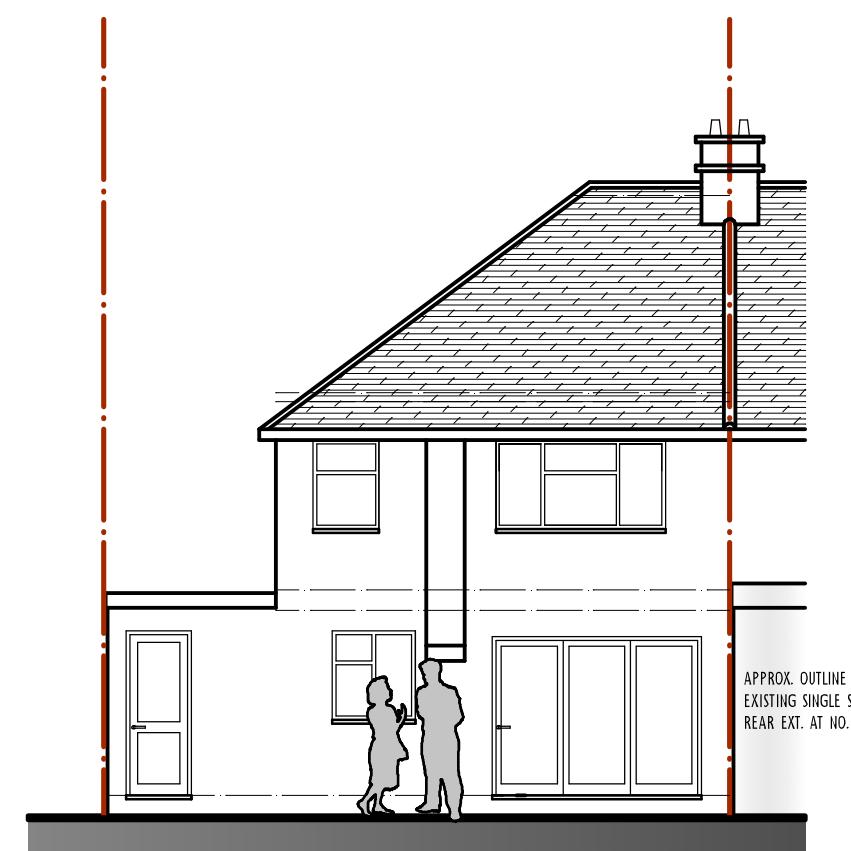
PROPOSED
FRONT ELEVATION



PROPOSED
REAR ELEVATION



EXISTING
FRONT ELEVATION



EXISTING
REAR ELEVATION

1:100
@ A3

0 1 CM 2 CM 3 CM 4 CM 5 CM
0 10 M 20 M 30 M 40 M 50 M

REV: DATE: AMENDMENT:

studio infinitii
architecture & planning
23 Queen Street
Maidenhead SL6 1NB
Mo: 07506582244

CLIENT:
MR. & MRS. J. SHAH

JOB:
PROP. CONST. OF HIP TO GABLE END,
REAR DORMER, INSTALLATION OF VELUX
WINDOWS TO FRONT WITH ASSEZ. INT. ALT.
AT 8 WARREN DRIVE RUISLIP HA4 3RD

TITLE:
EXISTING & PROPOSED
FRONT AND REAR ELEVATIONS

SCALE:
1:100 @ A3

DRAWN BY:

DATE:
JULY 2023

JOB NO:
SI 2305 08WD

DRAWING NO:
SI 2305 08WD 09

REV:

COPYRIGHT RESERVED

NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

ALL DIMENSIONS / LEVELS TO BE CHECKED AND VERIFIED ON SITE BEFORE COMMENCING ANY WORK AND ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY.

THIS DRAWING TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS, PROJECT WORKING DRAWINGS, SPECIFICATION, ALL CONSULTANTS / SPECIALIST DRAWINGS, DETAILS AND SPECIFICATION.

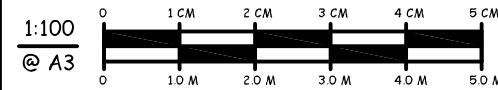
ALL MATERIALS USED IN ANY EXTERIOR WORK SHALL OF A SIMILAR APPEARANCE TO THOSE USED IN THE CONSTRUCTION OF THE EXTERIOR OF THE EXISTING BUILDING.

CLIENT IS ADVISED TO ACT AS PER "THE PARTY WALL ACT 1996" BEFORE STARTING OF ANY WORK.

THESE DRGS. ARE PREPARED FOR THE PLANNING OR PERMITTED DEVELOPMENT APPLICATION ONLY.

EXISTING BOUNDARY TO BE VERIFIED BY THE CLIENT OR BOUNDARY SURVEYOR OR CONTRACTOR.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING COMPETENCE WITH THE CDM REGULATIONS 2015 AND APPROPRIATE HEALTH & SAFETY ON SITE PRECAUTIONS.



REV: DATE: AMENDMENT:

studio infinitii
architecture & planning
23 Queen Street
Maidenhead SL6 1NB
Mo: 07506582244

CLIENT:
MR. & MRS. J. SHAH

JOB:
PROP. CONST. OF HIP TO GABLE END,
REAR DORMER, INSTALLATION OF VELUX
WINDOWS TO FRONT, WITH ASSEZ. INT. ALT.
AT 8 WARREN DRIVE RUISLIP HA4 3RD

TITLE:
EXISTING AND PROPOSED
SIDE & OTHER-SIDE ELEVATIONS

SCALE:
1:100 @ A3 DRAWN BY:

DATE:
JULY 2023 JOB NO:
SI 2305 08WD

DRAWING NO:
SI 2305 08WD 10 REV:

COPYRIGHT RESERVED

