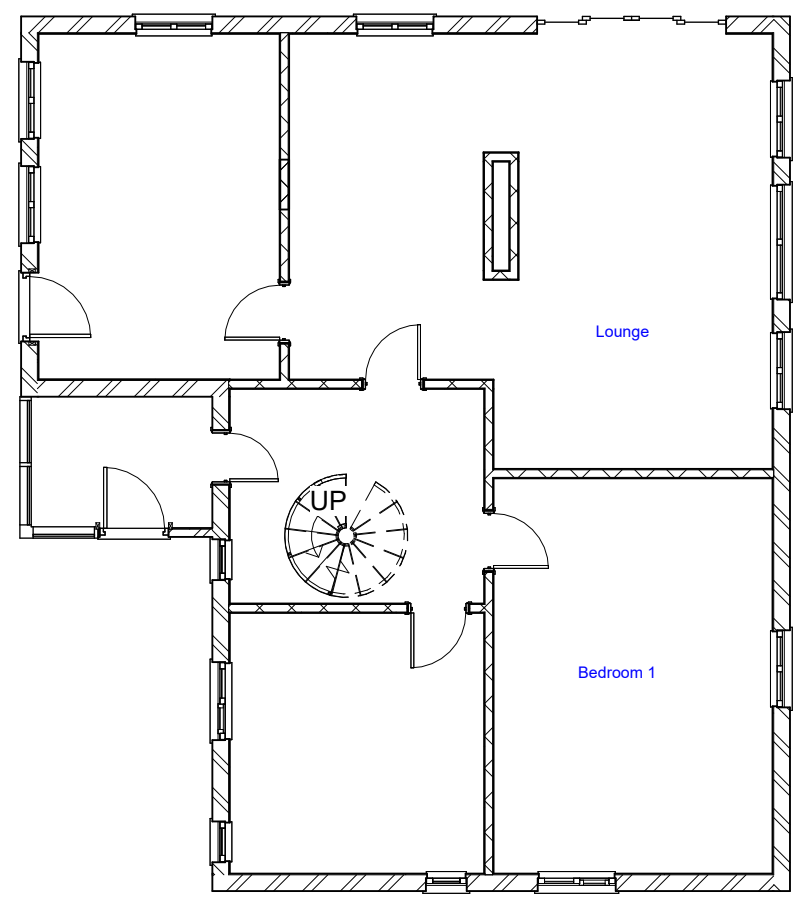
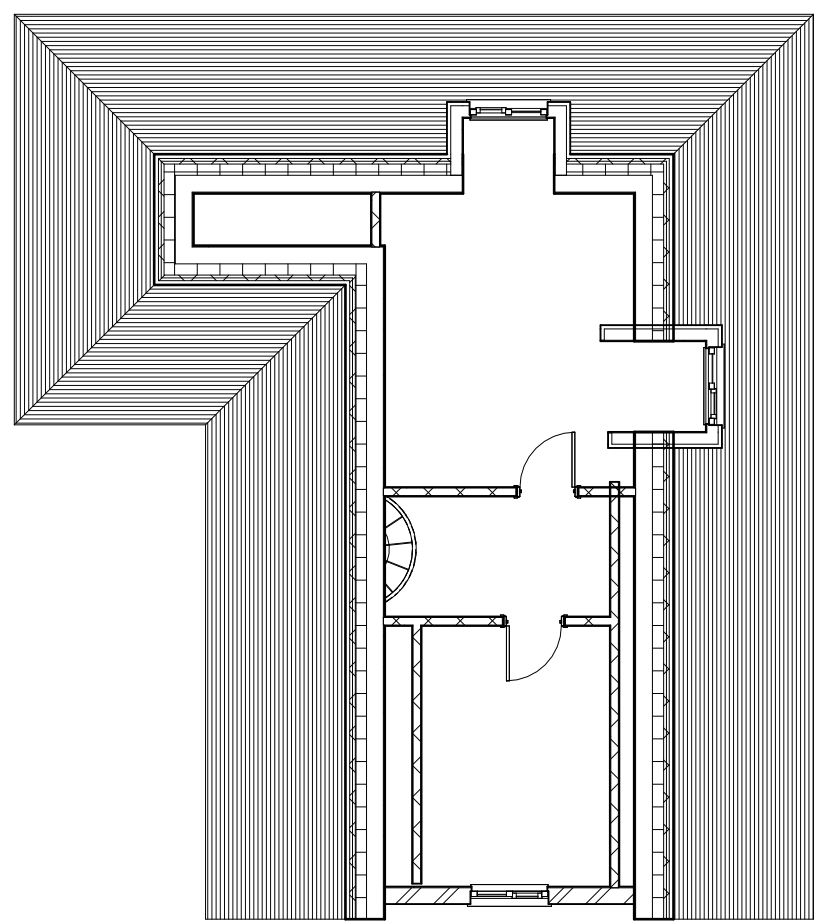


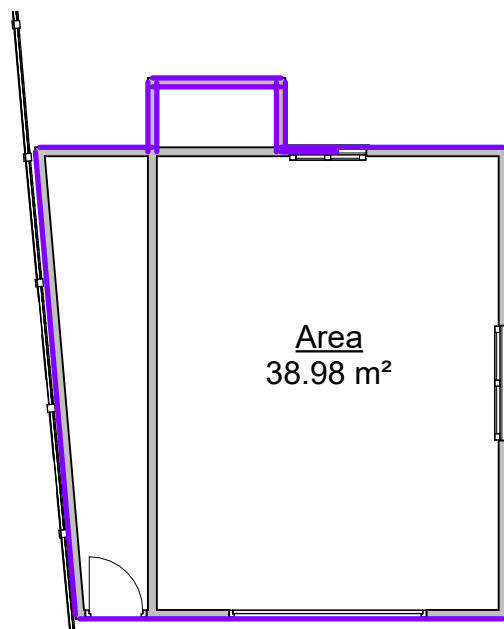
1 Site Plan
1 : 200



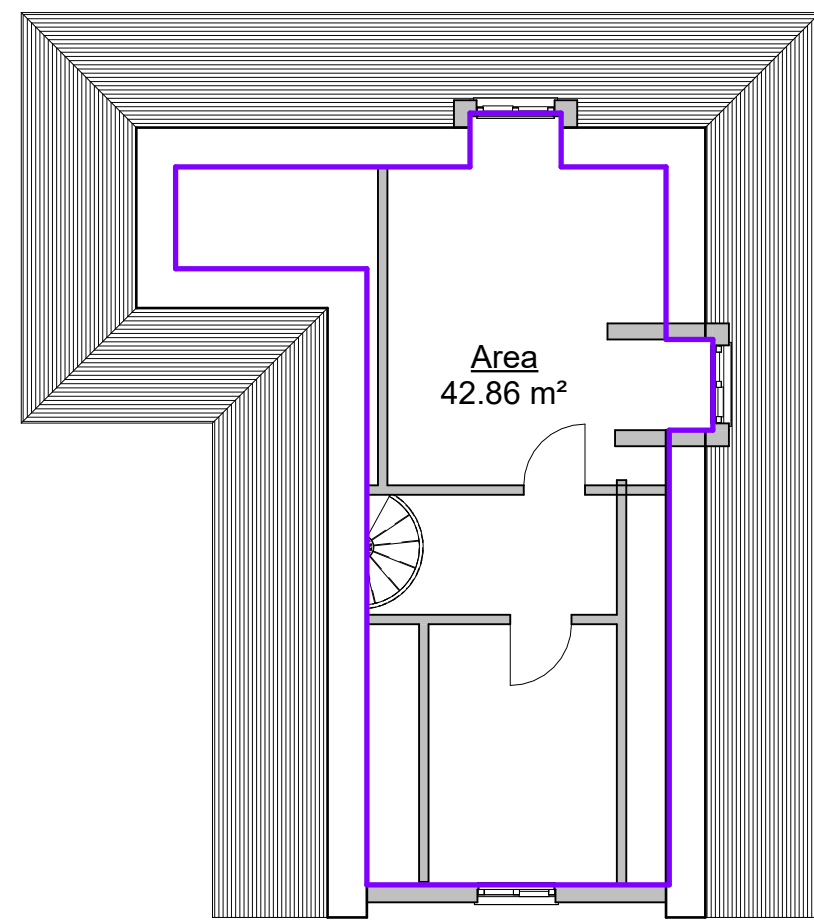
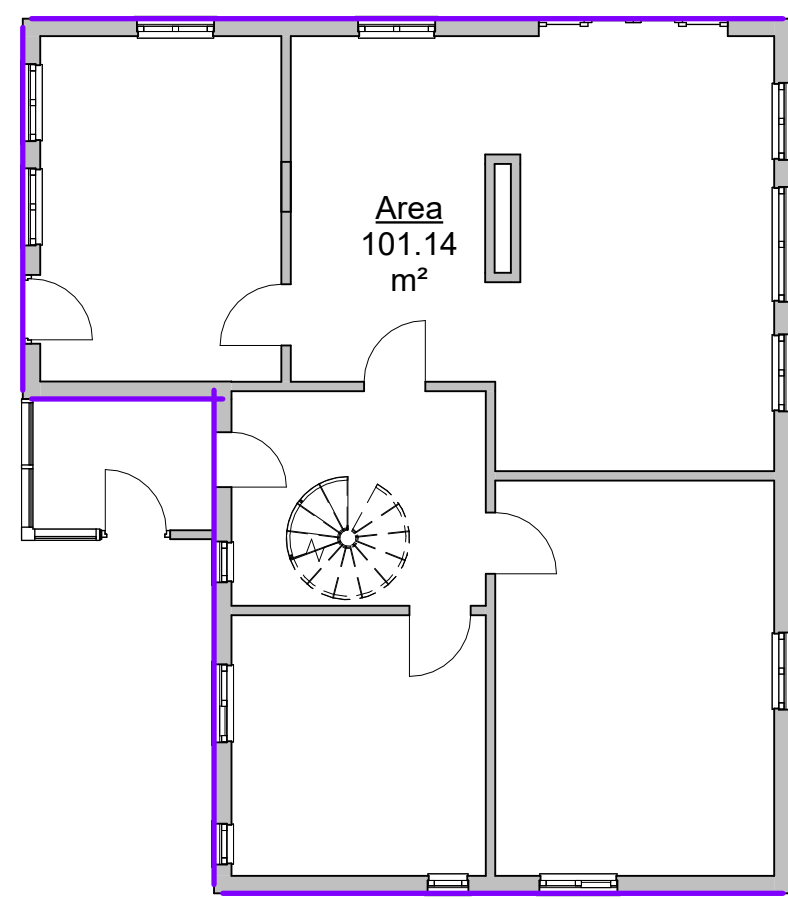
2 Ground Floor
1 : 100



3 First Floor
1 : 100



10 Area Plan
1 : 100



11 1.20 First Floor Existing
1 : 100



4 Front Elevation
1 : 100



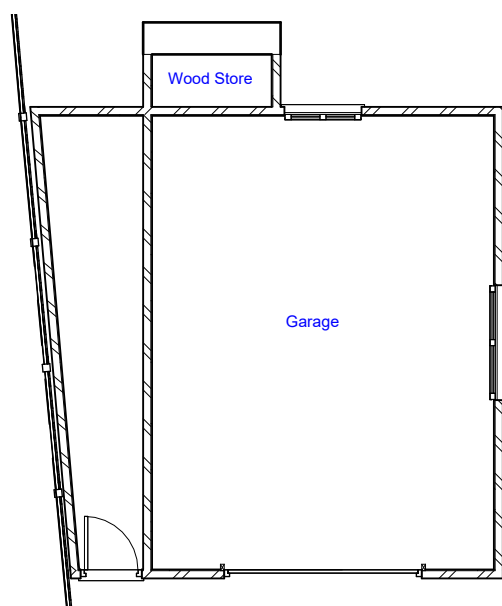
5 Left Elevation
1 : 100



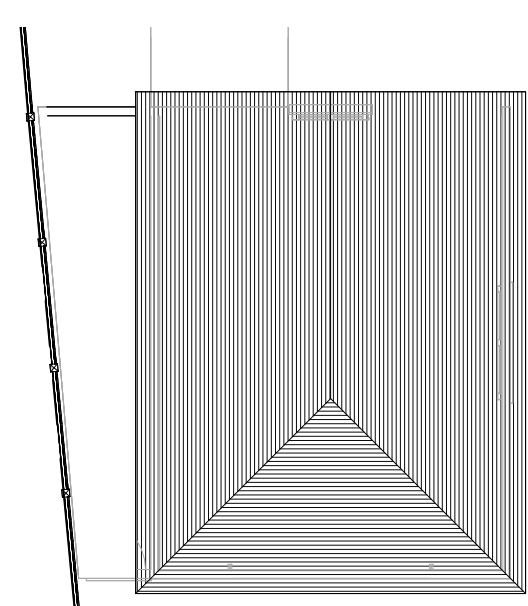
6 Rear Elevatin
1 : 100



7 Right Elevation
1 : 100



8 Garage
1 : 100



9 Garage Roof
1 : 100

Total Existing Area - 182.98m2
50% = 91.49
Total proposed area to be built -
Existing + 50% increase = 274.47m2



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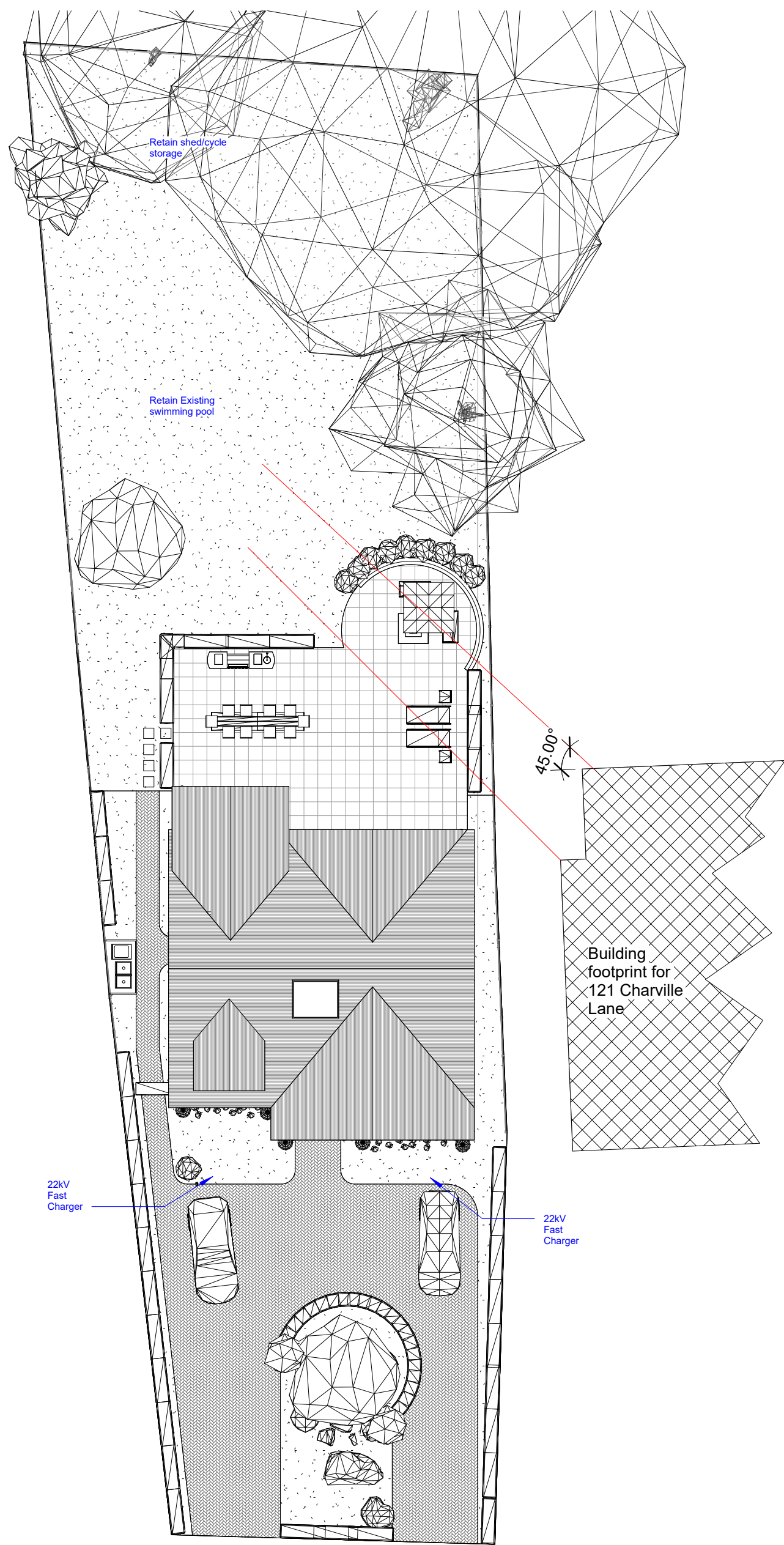
Nawab
119 Charville Lane

Existing

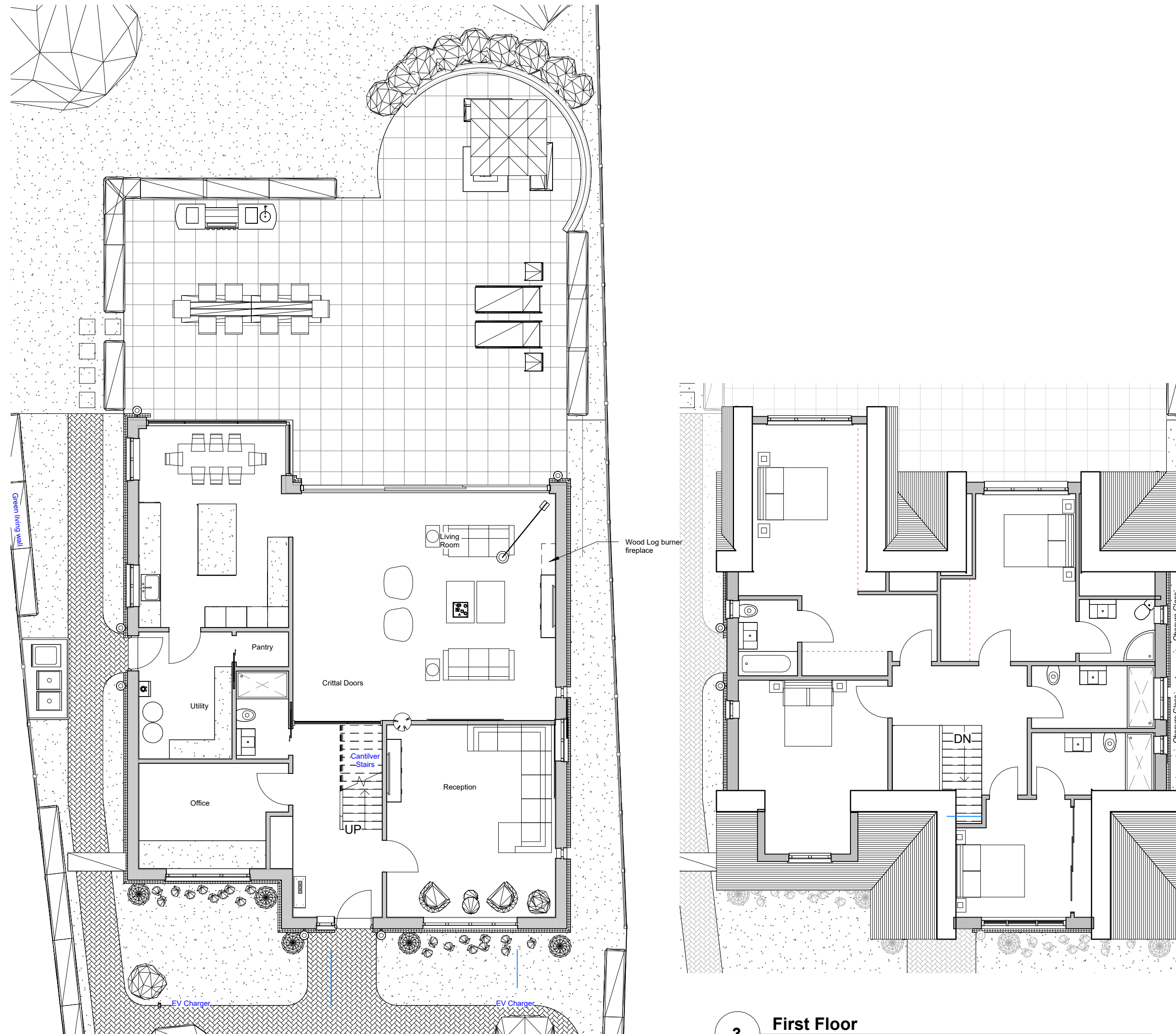
15/07/2022 09:45:51 AMA101

Scale (iso - A1)
1:500 0 2.5 5 m
1:100 0 5 10 m
1:200 0 10 20 m

General Notes
The contractor must check all dimensions on site before commencing work and discrepancies must be immediately brought to the attention of Origin Custom Homes.
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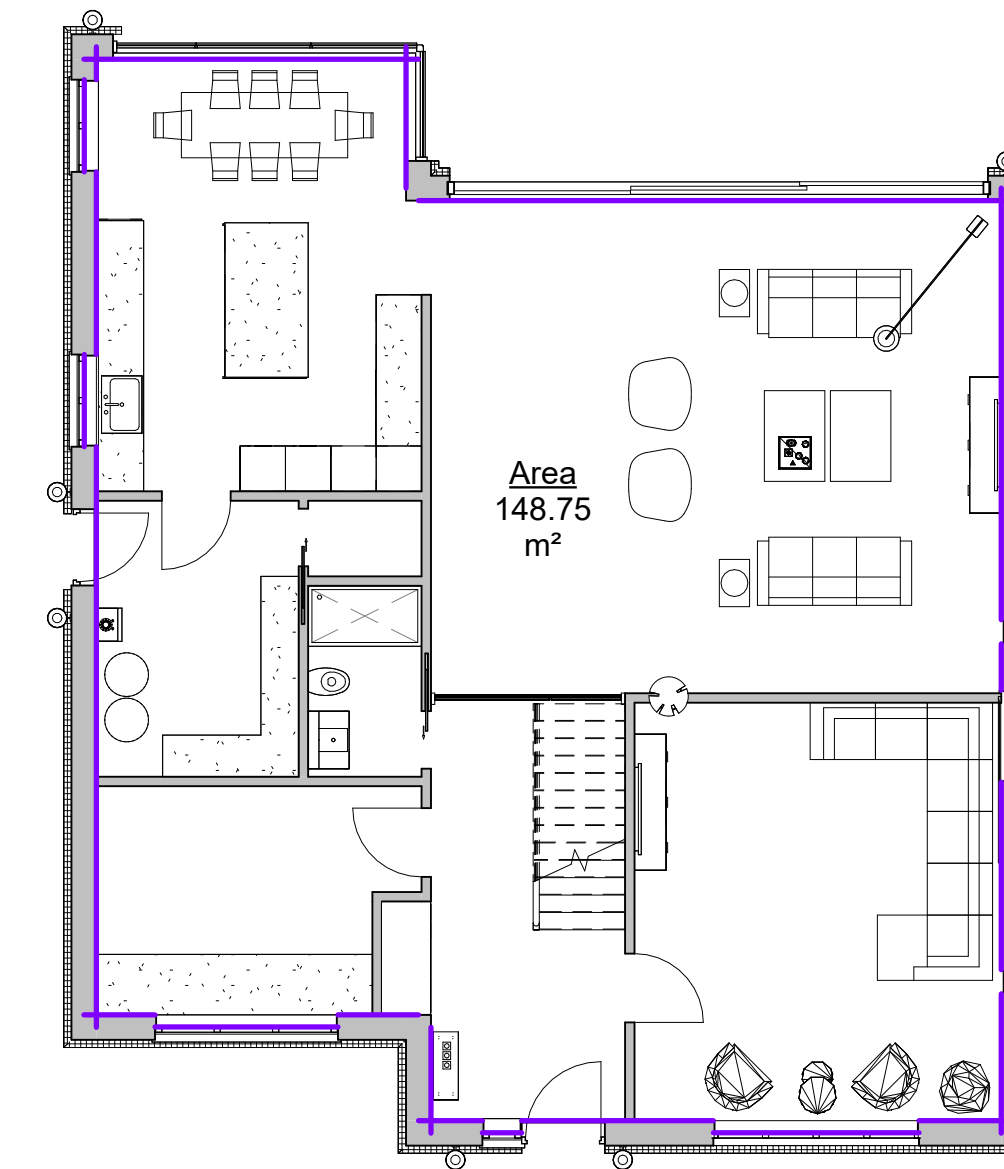


1 Site Plan
1:200

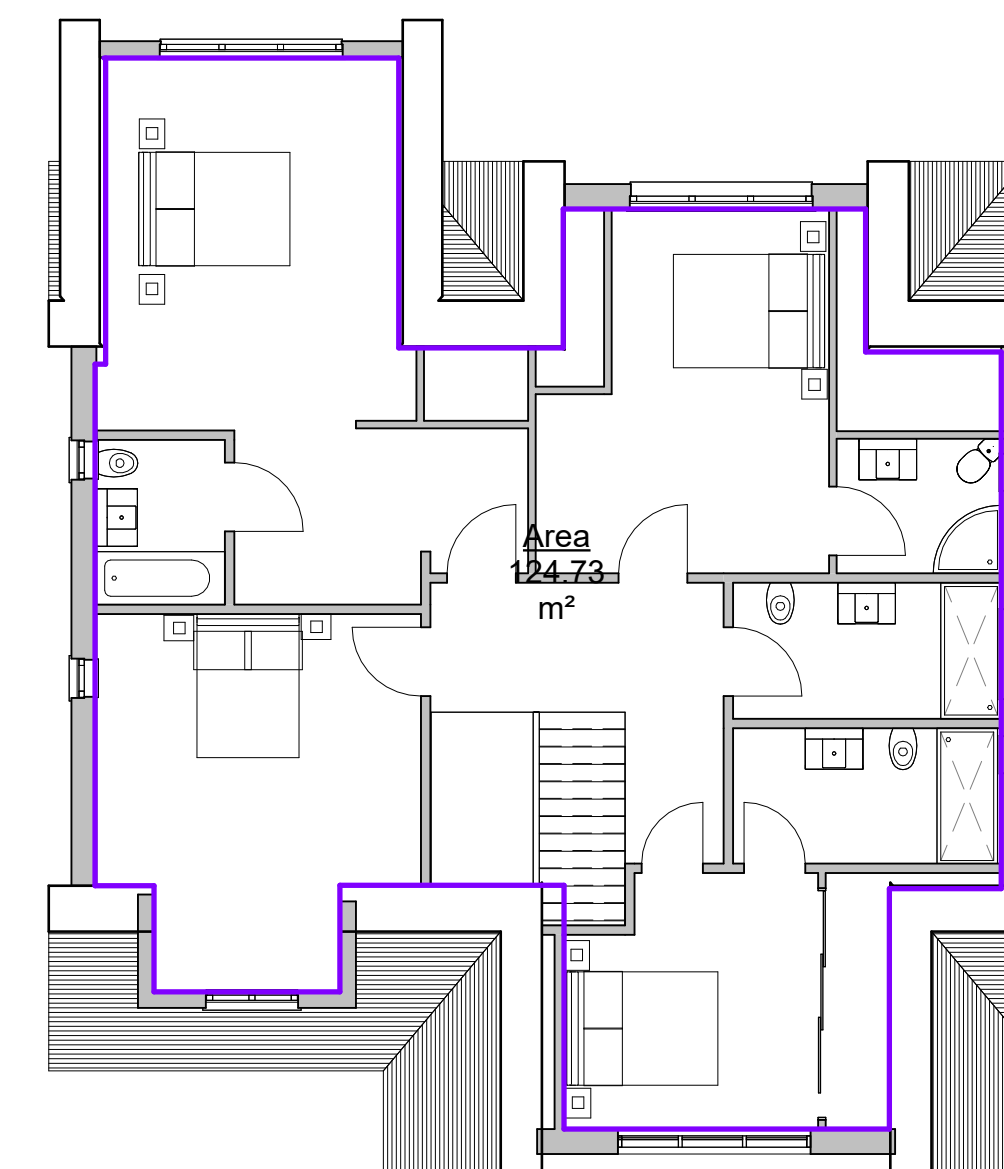


2 Ground Floor
1:100

3 First Floor
1:100



4 Ground Floor Area
1:100

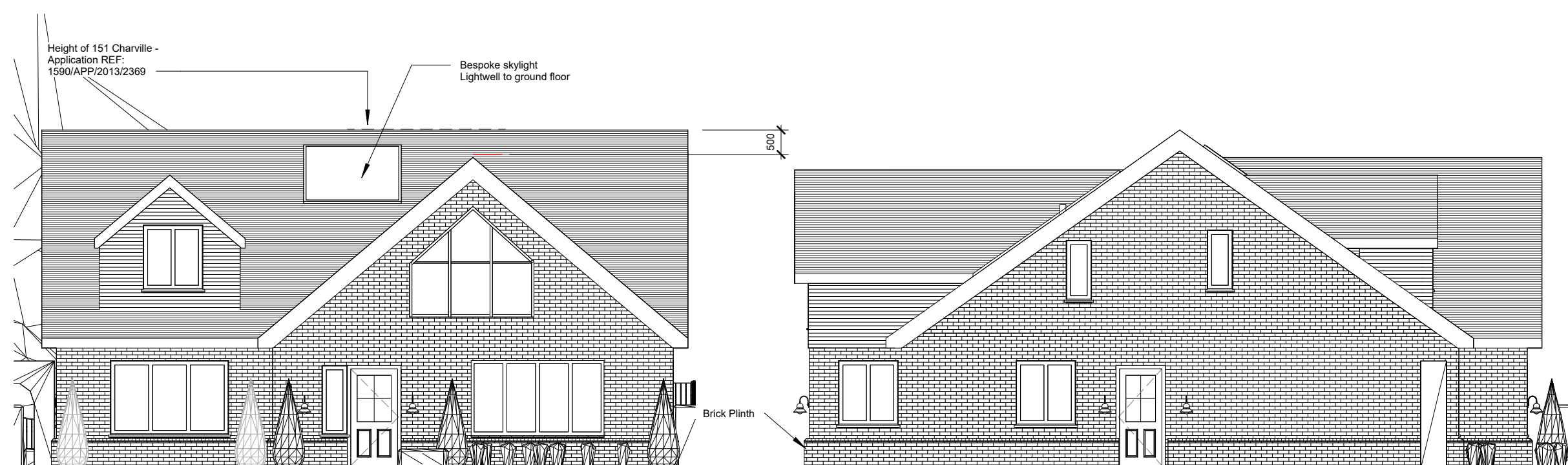


9 First Floor Area
1:100

Total built allowance based on 50% increase: 274.47m²

Total Combined Area = 273.68m²

Approx - 0.79m² below the threshold.



5 Front Elevation
1:100

6 Left Elevation
1:100



7 Rear Elevation
1:100

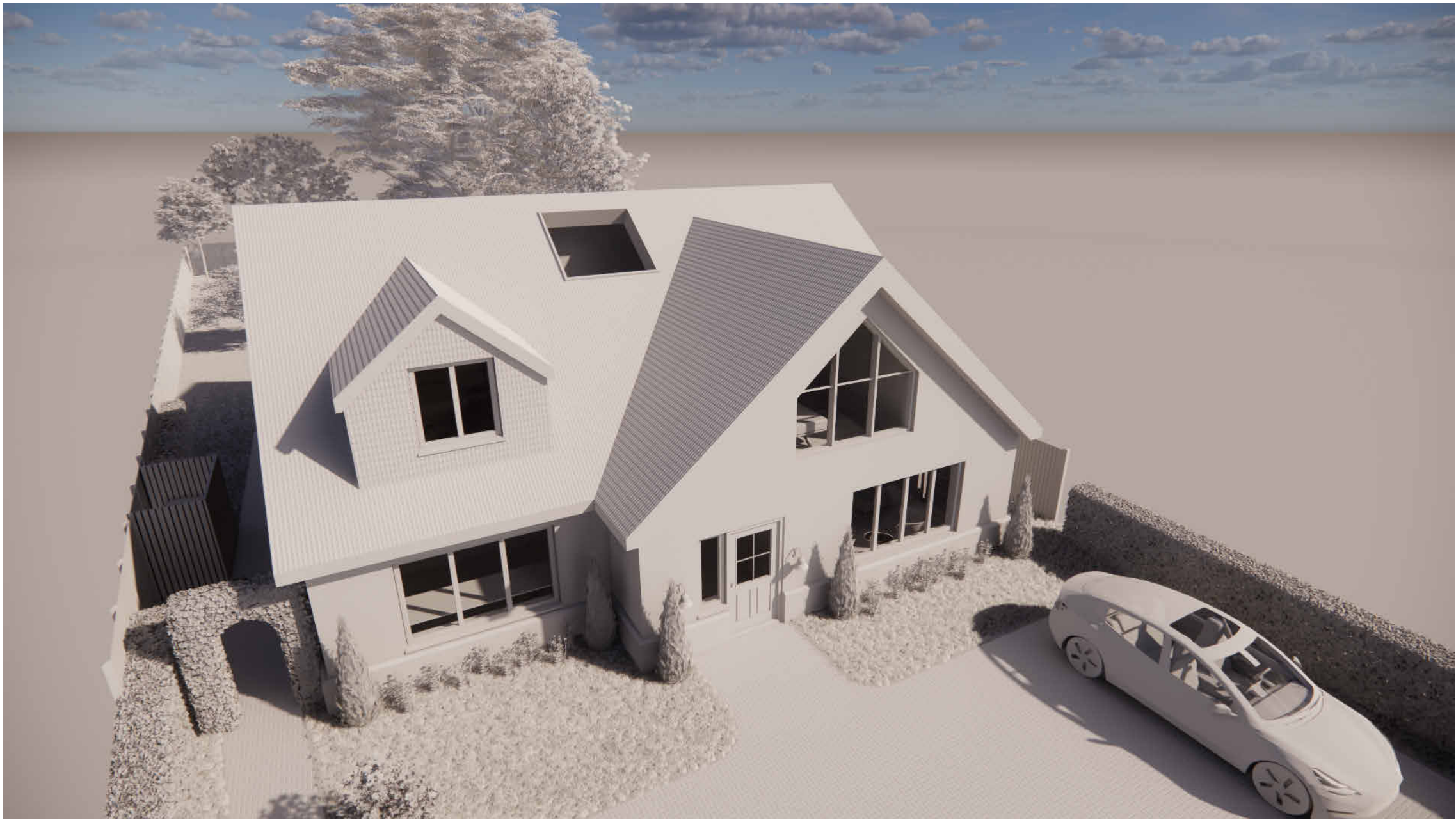


8 Right Elevation
1:100

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Nawab	
119 Charville Lane	
Proposed	
15/07/2022 09:45:54 AM	A102
Scale (iso - A1)	
1:500	0 2.5 5 m
1:100	0 5 10 m
1:200	0 10 20 m

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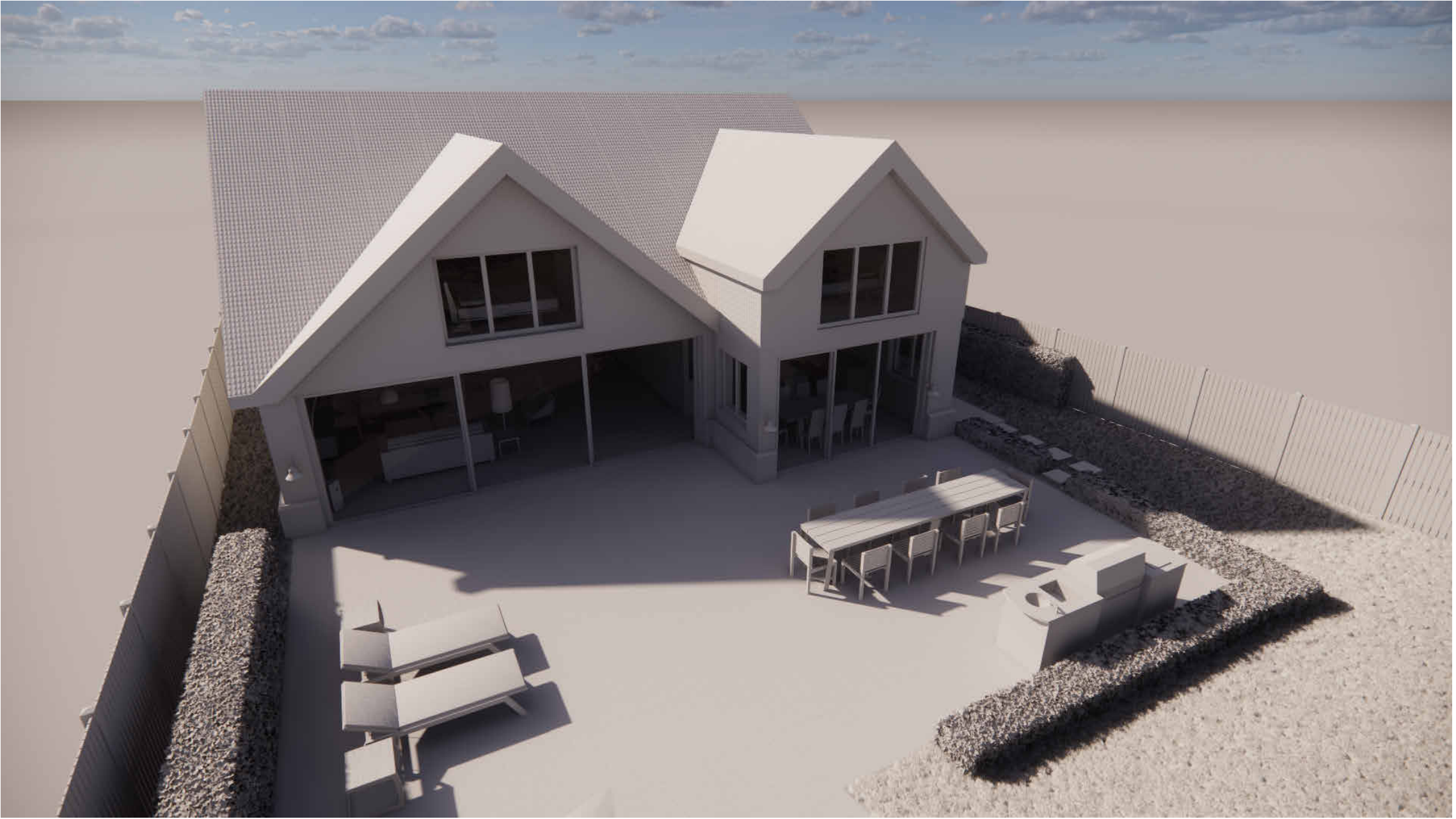
1 Front perspective
1:1



3 Rear Perspective
1:1



2 Front perspective ground
1:1



4 Rear Perspective
1:1



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Nawab	
119 Charville Lane	
Visual Perspectives	
15/07/2022 09:45:55 AM	A103
Scale (iso - A1)	
1:500	0 2.5 5 m
1:100	0 5 10 m
1:200	0 10 20 m