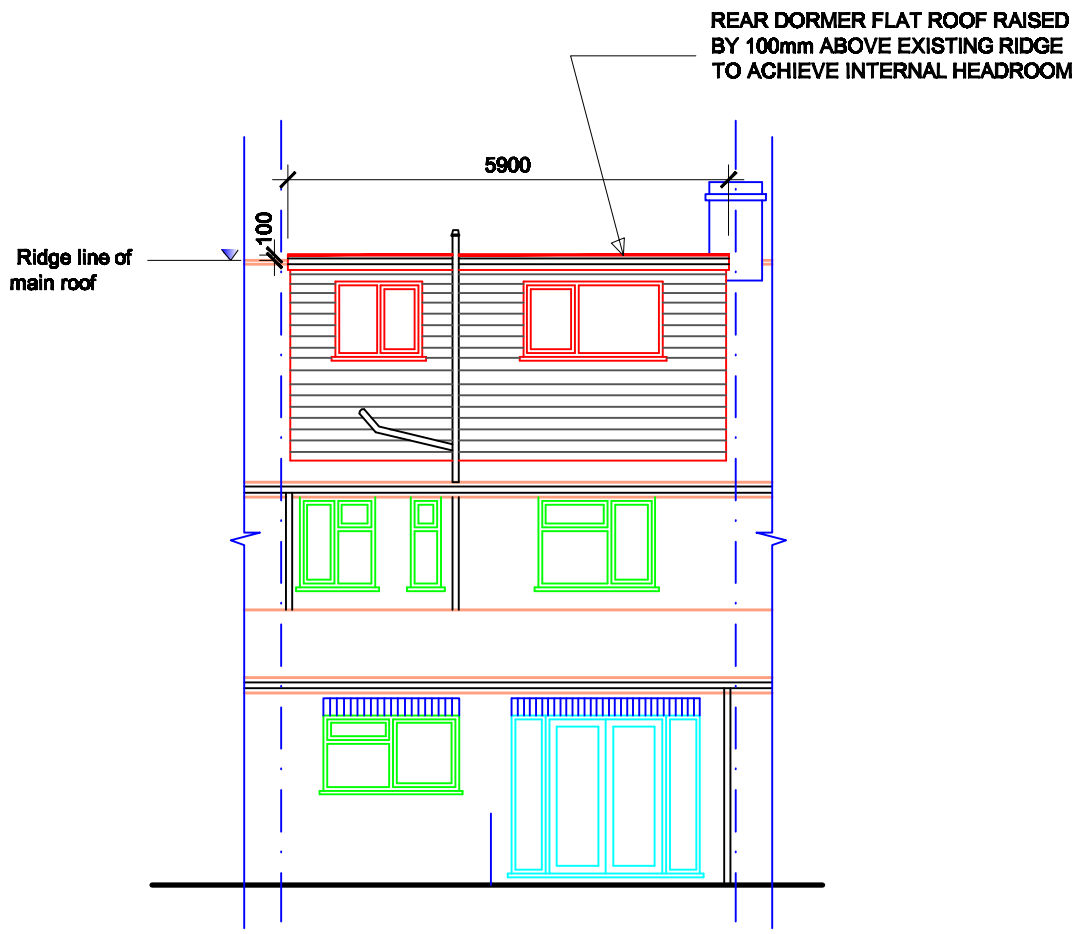
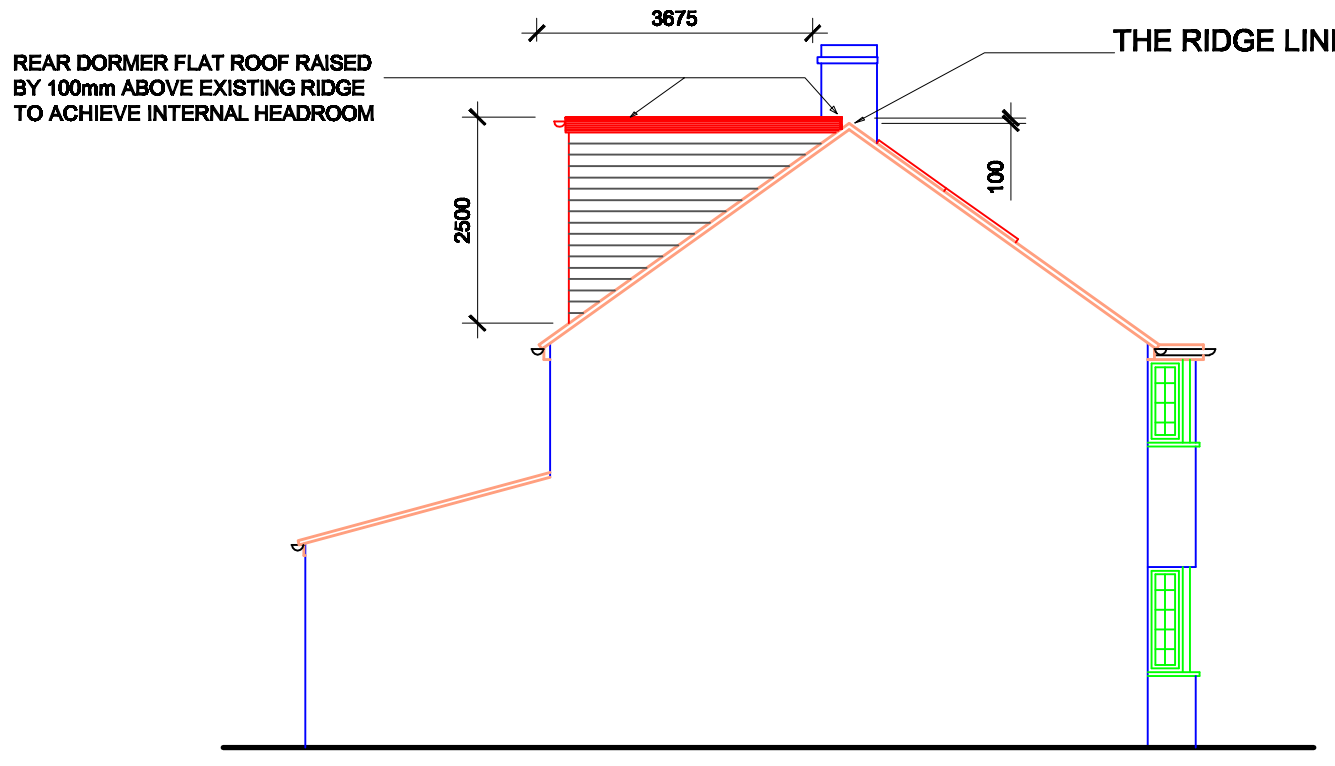
PROPOSED FRONT ELEVATION (As Built)



PROPOSED REAR ELEVATION (As Built)



PROPOSED LEFT SIDE ELEVATION (As Built)

VOLUME OF DORMER =
0.5 x 2.50 x 3.70 x 5.90= 27.28

Total Volume 27.28 cubic metres

PERMITTED DEVELOPMENT CRITERIA

All new external materials to match existing materials.

Proprietary rooflights to front roof slope not to project 150mm beyond the roof covering

No part of the New works to exceed the height of the originalroof/encroach the boundaries

Party Wall Agreements are deemed to be the responsiblity of the client. Party Wall Agreement MUST be put in place prior to commencement of works. All notices to be in accordance with The Party Wall Act 1996. AParty Wall Surveyor may be appointed.

Existing structures including walls foundations, beams and lintels carrying new,altered and additional loads must be checked for its adequacy.The area must be exposed and checked and verified with the BC Officer.

The workmanship and materials must comply with the relvant British Standards,Codes of Practice, BBA certificates and relevant manufacturers instructions.

Dormer Construction with Tile Hanging. Form timber frame with 100x50mm noggins,studs,head and sole plate.Studs to be maximum 300ctrs and covered externally with 12mm external ply with bitumised breather paper externally.Timber frame to be insulatedwith 100mm celotex insulation boards.. Cover internally with 12.5mm plaster board and set on polythene vapour barrier. Provide vertical tiling on 38x25mm tanalised battens on breather felt membrane fixed to external face of ply. Lead soakers to be provided at junction of roof and dormer cheeks.

Revisions

All dimensions and particulars are to be checked on site before work commences and any discrepancy to be reported to THE SURVEYOR.
DO NOT SCALE off this drawing, use written dimensions only.

Project
PROPOSED LOFT CONVERSION AT No. 35 BERWICK AV HAYES, MIDDLESEX UB4 0NG

Drawing
PROPOSED ELEVATIONS (As Built)

Number
2021/JS/105

Revisions

Date
AUG. 2022

Scale
1:100 @A3

Client
MR. JASPAL SINGH SANDHU