

MARK ZUDINI ARCHITECTURE + DESIGN

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29 CHENEY STREET HA5 2TG

Design and Access Statement
November 2023



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1. Introduction

1.1 This statement is written in support of an application for Planning Permission for a minor side extension to the rear of the property.

Planning Permission has recently been granted for the Conversion of existing garage into habitable space, replacement of front windows and erection of a single storey side (infill) extension. Conversion of roof space to habitable use including rear dormer and 3 side roof lights. Installation of wider rear doors. Demolition of existing chimney. New hipped roof over existing rear extension (Ref. 50061/APP/2022/3667).

The proposal for the side extension in this Application will not impact the design as already approved.

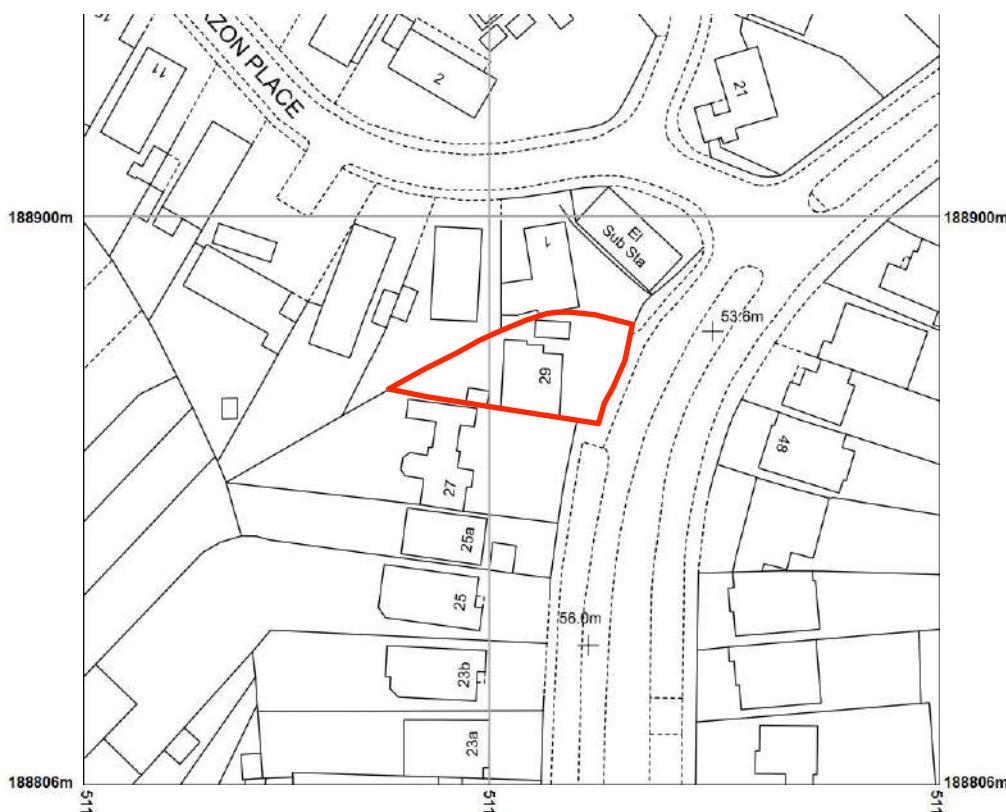
This statement should be read in conjunction with the drawings submitted as part of this application.

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2. Site Description

2.1 29 Cheney Street is a single storey bungalow located within the Eastcote Village Conservation Area. The property was built in red bricks around the late 1940s approximately. The current owner / occupier will be upgrading the fabric of the building to modern standards in order to suit the needs for their expanding family. The proposed small side extension will be part of this upgrading and will contribute significantly to improve the existing and approved space available.



THE EASTCOTE CONSERVATION AREA

The Eastcote Village Conservation Area was designated in the early 1970s and includes the historic hamlet of Eastcote and surrounding areas. The area was extended in 1989, 1999 and more recently in 2010, to include those adjoining areas that contributed positively to the setting of the Conservation Area.

The original Conservation Area included the linear development along the River Pinn and the surrounding woodlands. It also included a large number of country houses with extensive grounds, such as the sites of Eastcote House, which dates from the C16, Haydon Hall from the C17 and High Grove from the C18.

The area also includes some later well designed modern estates such as Pikes End. Overall, the character of the area is that of a high quality suburb dominated by open spaces, extensive natural landscaping and trees.

Most recently, the Conservation Area was extended to the south to include the southern part of Cheney Street. The character of this area is largely derived from its semi-rural setting and low-density housing of varied design, including large detached houses as well as bungalows. No 9 Cheney Street, the original Cheney Farmhouse, is the only listed building in the area and is listed at Grade II. It is a C17 timber-framed building with exposed framing between rendered panels. The later 1920s buildings are in red brick or rendered, with clay roof tiles. Tall chimneys and half timbered details are also common and characteristic features of the houses, giving an "Arts and Crafts" appearance to the area.

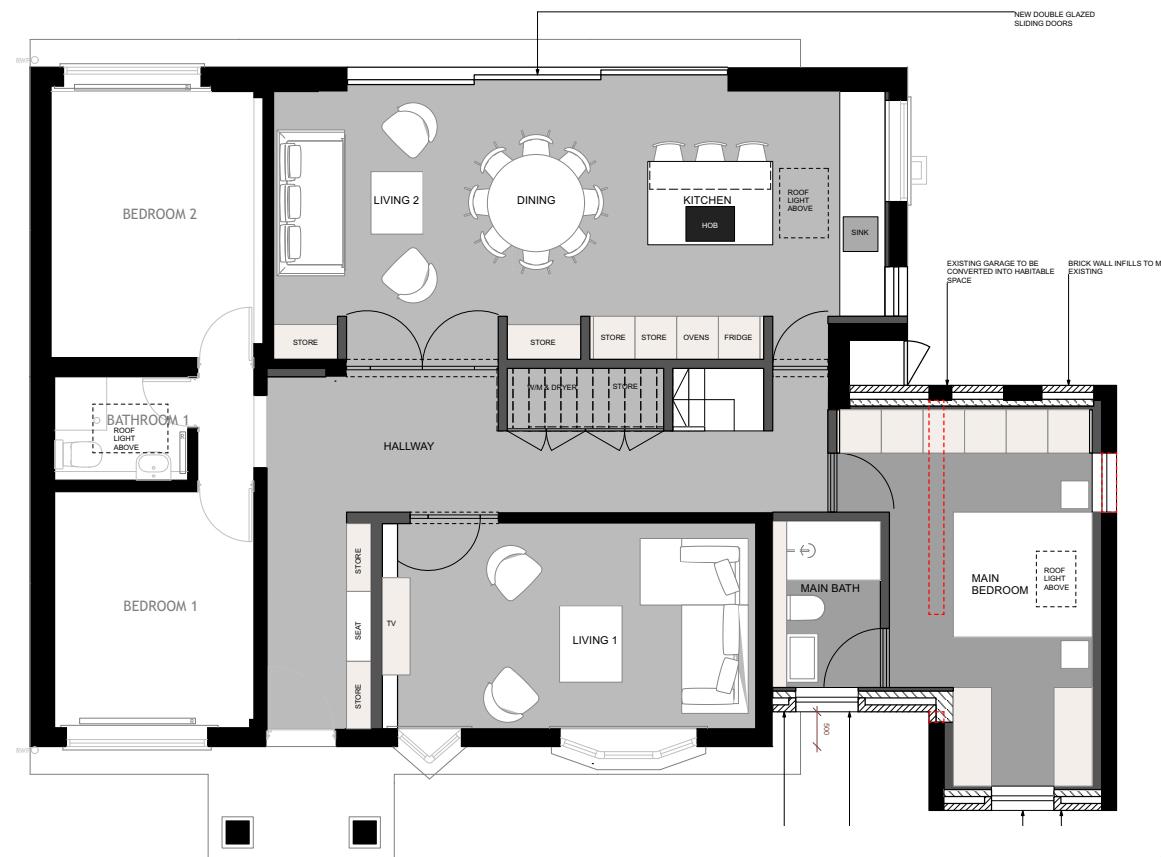
LOCATION PLAN (NTS)

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6. Planning History - Page 3

Planning Permission (ref. 50061/APP/2022/3667) has been recently granted for the Conversion of existing garage into habitable space, replacement of front windows and erection of a single storey side (infill) extension. Conversion of roof space to habitable use including rear dormer and 3 side roof lights. Installation of wider rear doors. Demolition of existing chimney. New hipped roof over existing rear extension.



APPROVED GROUND FLOOR PLAN
(NOT TO SCALE) Ref. 50061/APP/2022/3667

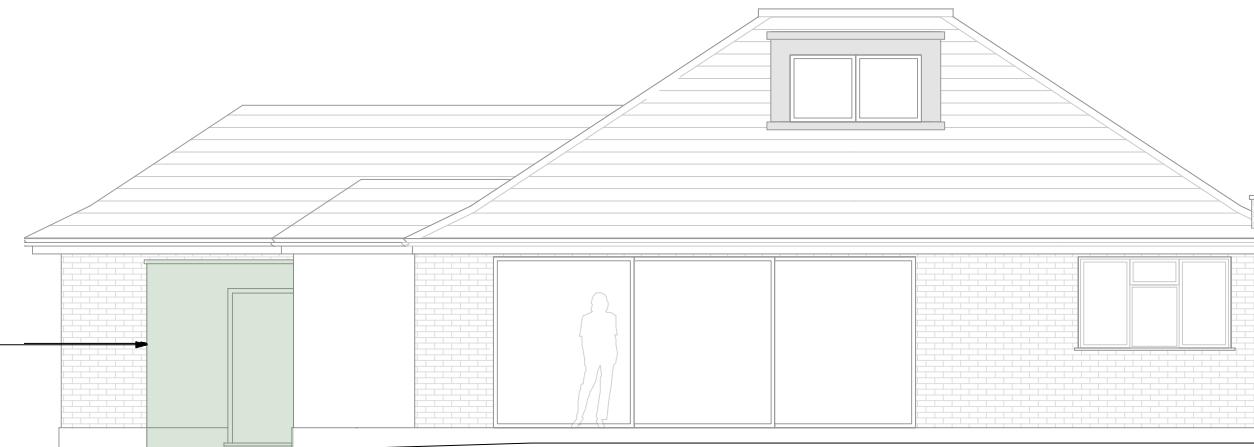
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7.2 Application Proposal - Proposed Rear Elevation

The proposal is for a very small side extension to the rear of the house. This will be significantly lower than the approved roof of the house. It is a very small addition to the rear corner of the house and will not be visible. What is more, its scale will keep the proportions of the existing house unaltered.

PROPOSED SIDE EXTENSION



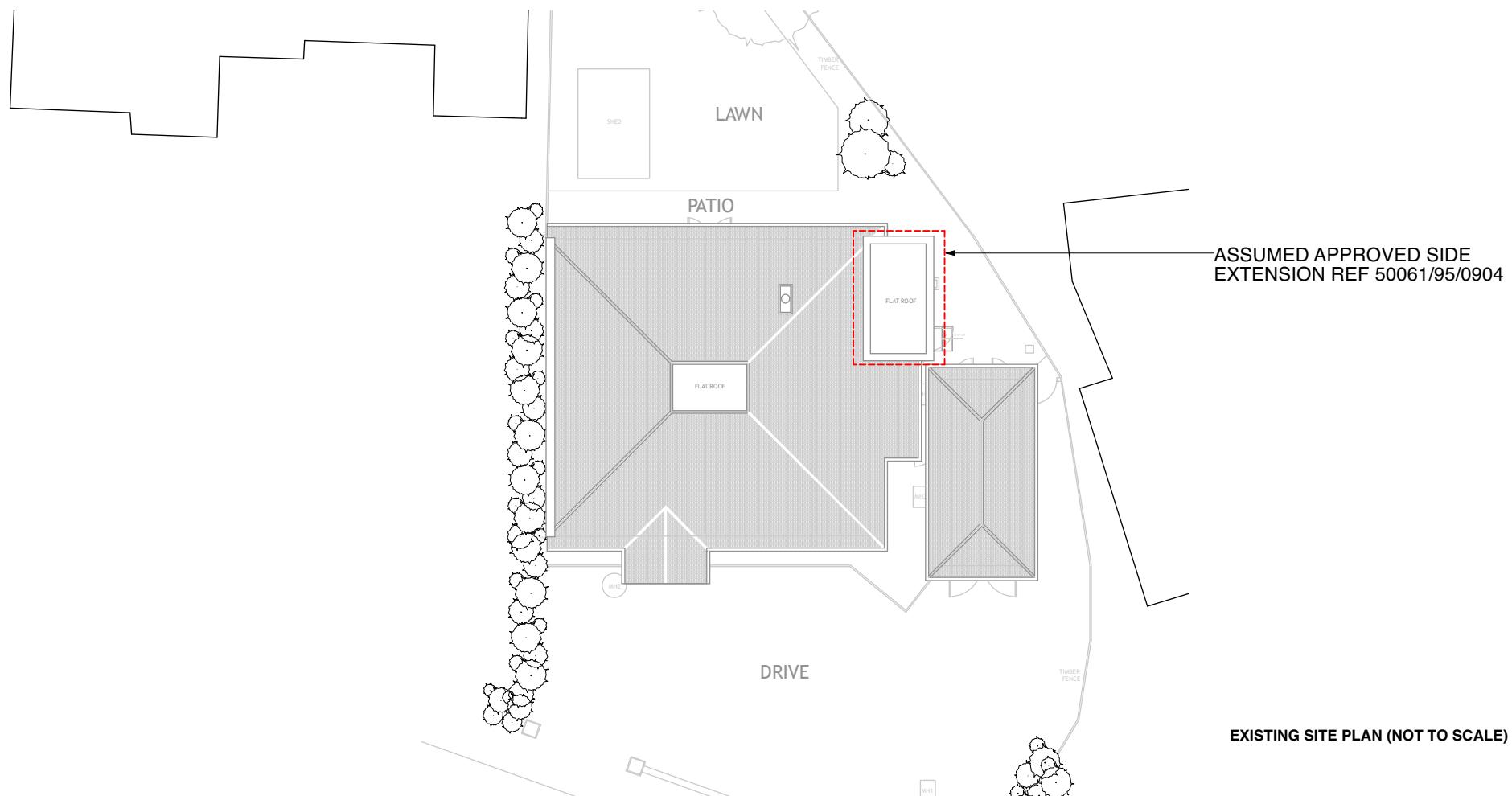
PROPOSED REAR ELEVATION (NOT TO SCALE)

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6. Planning History - Page 1

Planning permission was granted on the 2nd of November 1995 (ref. 50061/95/0904) for the erection of a single storey side extension. No drawings are available on the Council website.

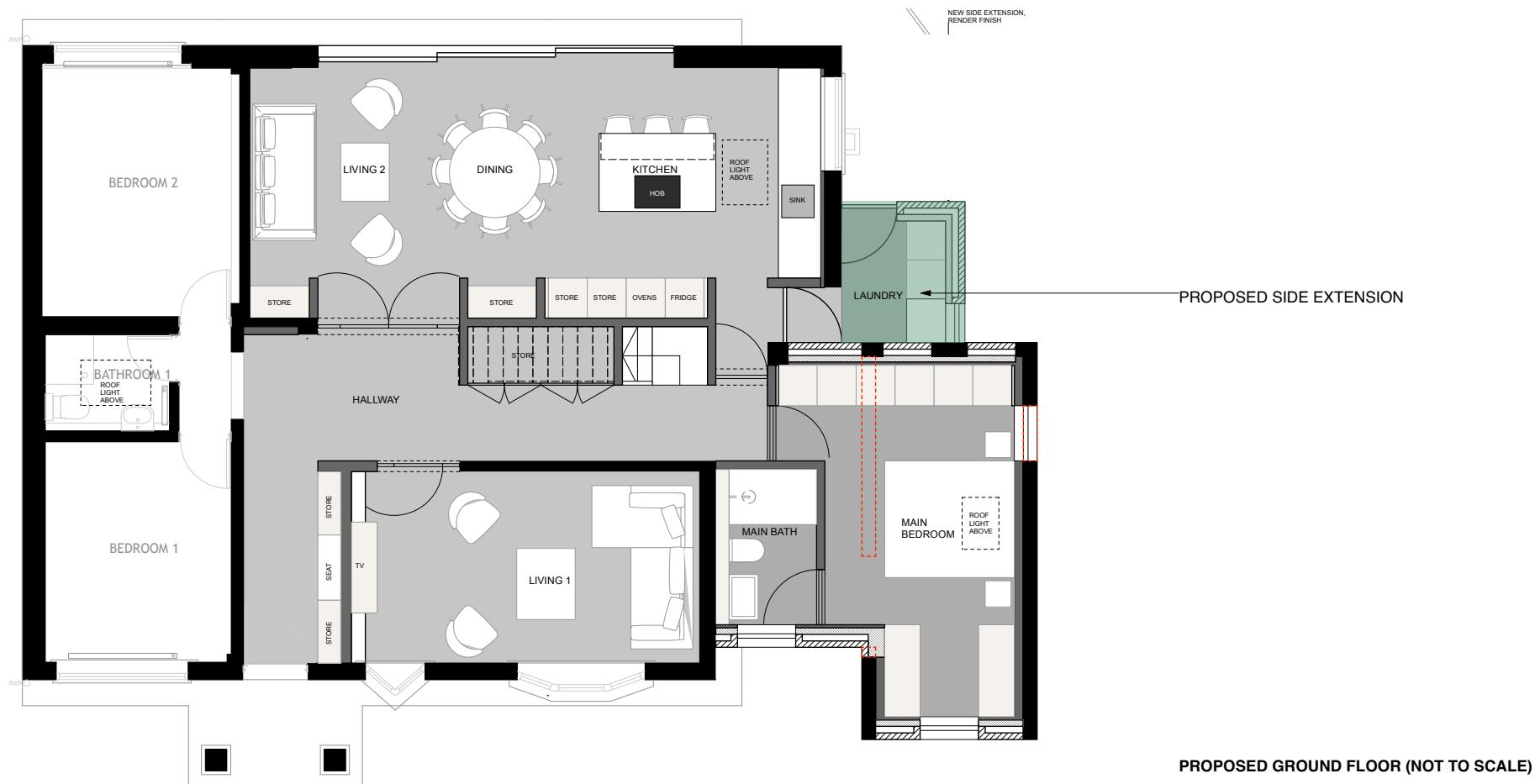


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7. Application Proposal - Extent proposal

The current proposal includes a small side extension to the rear of the house. Its scale is incospicuous and its location prevent for it to be seen from the front or the back. Its height will be much lower than the existing house and the approved scheme, thus keeping the overall proportions of the house unaltered.



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8. Conclusions

- 8.1 The proposal in this application is for a small side extension to the rear of the property. It is a minor addition to the house and will not alter the proportions of the rear elevation.
- 8.2 The additional area will be used as a utility space for the owner's family.
- 8.3 The proposal has been carefully formulated so that it doesn't impact the outlook of the Eastcote Conservation Area. Its scale and impact have been well considered. As it will not be visible from the front or rear its impact will not be relevant and therefore Planning Permission should be granted.

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3. Access

3.1 29 Cheney st is a single storey bungalow located within the Eastcote Village Conservation Area. It has a large front driweway which can easily accommodate 2 / 3 cars.

- The property is a single family dwelling, vehicular and transport links are not relevant to this application.
- The proposed works are mainly aimed at a small side extension to the already approved scheme (Ref. 50061/APP/2022/3667).

4 Use

4.1 the existing use of the property is as a residential dwelling house. There are no proposals to change the current use of the property.

5. Area

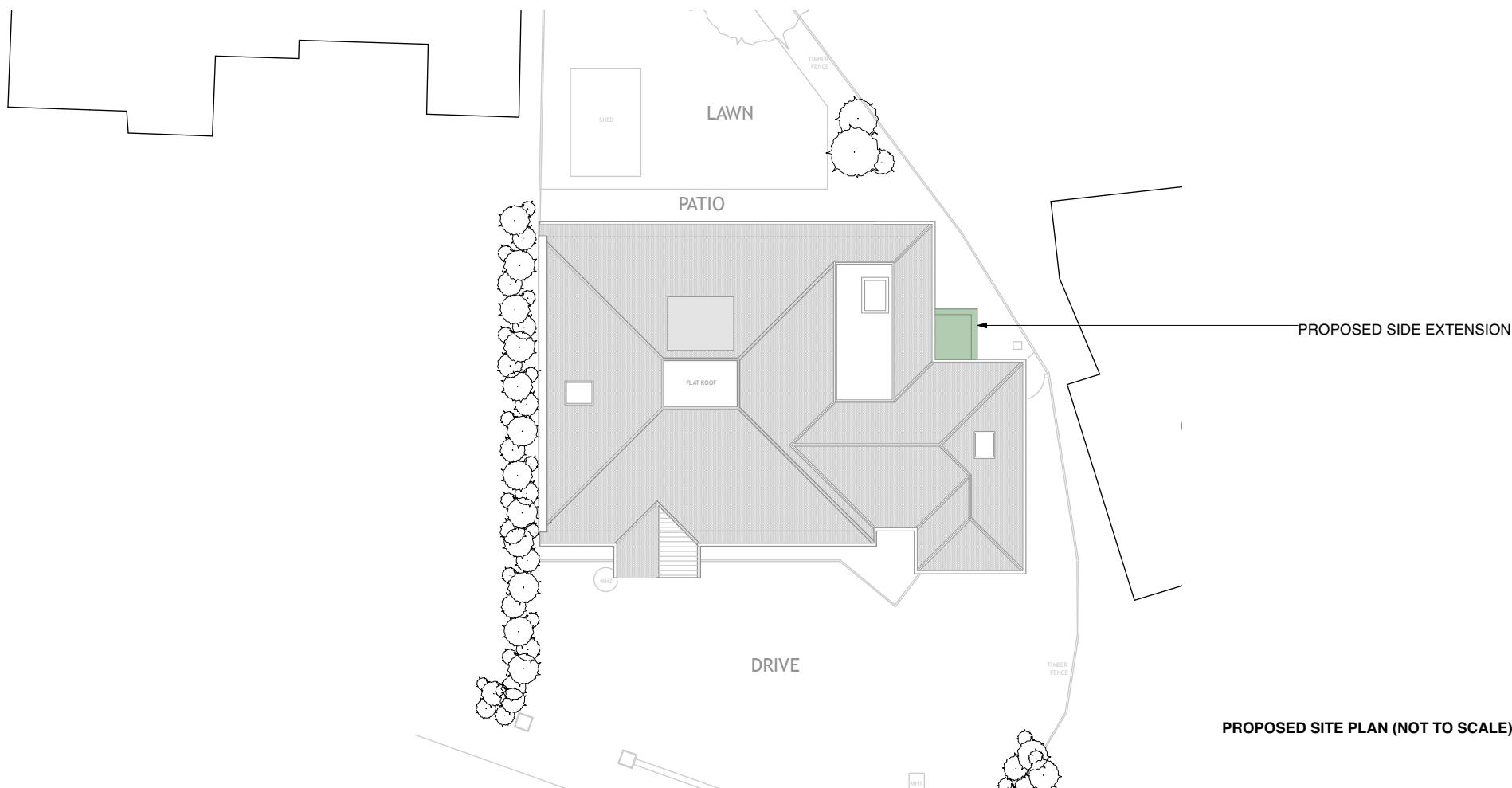
6.1 Approximately 3.3 Sqm of internal space will be added to the property.

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7.1 Application Proposal - Proposed Site Plan and Roof Scape

The proposal is for a very small side extension to the rear of the house. This will be significantly lower than the approved roof of the house. It is a very small addition to the rear corner of the house and will not be visible.



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6. Planning History - Page 2

A recent Planning Application (ref 50061/APP/2022/3667) has been approved. The proposals comprised the erection of new side extension following the demolition of the existing garage, new window to the front, loft conversion including rear dormer, new wider doors to the rear. Demolition of existing chimney to the rear of the main house.

