

Do not scale off this drawing. All dimensions to be checked on site prior to manufacture and construction. This drawing is the property of 512 Design Studio and should not be reproduced without permission. All discrepancies to be brought to the attention of the architect immediately. This drawing is to be read in conjunction with the specification / bill of quantities and related drawings.

AREAS

ORIGINAL EXTERNAL AREA = 279.2 sqm
EXISTING EXTENSION = 10.3 sqm
PROPOSED SUMMER HOUSE = 38.9 sqm

TOTAL ADDITIONAL = 49.2 sqm
= 17.6%

Existing rear gate to remain.

Form new pathway connecting rear gate to house.

Existing concrete slabs to be broken up and land cleared for new structure.

Garden structure to be formed with 300mm construction comprising an outer skin of 102.5mm face bricks and an inner skin of 100mm blocks. Cavity to be fully filled with 100mm crown DriTherm cavity slab 34 to achieve a U value of 0.28W/m2K. The cavity insulation is to extend above the ceiling level to provide continuity of thermal insulation. Insulation is to extend to the foundation to limit the effect of cold bridging.

Warm roof construction flat roof, with grey roofing felt.

New drain connection to existing for waste from new wc.

Power and water services to be connected to and extended from main house.

Bifold UPVC double glazed doors to facade facing the main house. No windows to side and rear of garden room. Window to right hand side to be high level to bring in light.

D	STRUCTURE AREA REDUCED TO UNDER 39m2 AS REQUESTED BY PLANNER	19.12.24	PM
C	ROOF ADJUSTED TO FLAT ROOF	21.11.24	PM
B	STRUCTURE MOVED AWAY FROM FENCELINE	10.10.24	PM
A	UPDATED AS PER CLIENTS COMMENTS	07.10.24	PM
-	FIRST ISSUE	05.10.24	PM

512 DESIGN STUDIO

ISSUE
FOR PLANNING

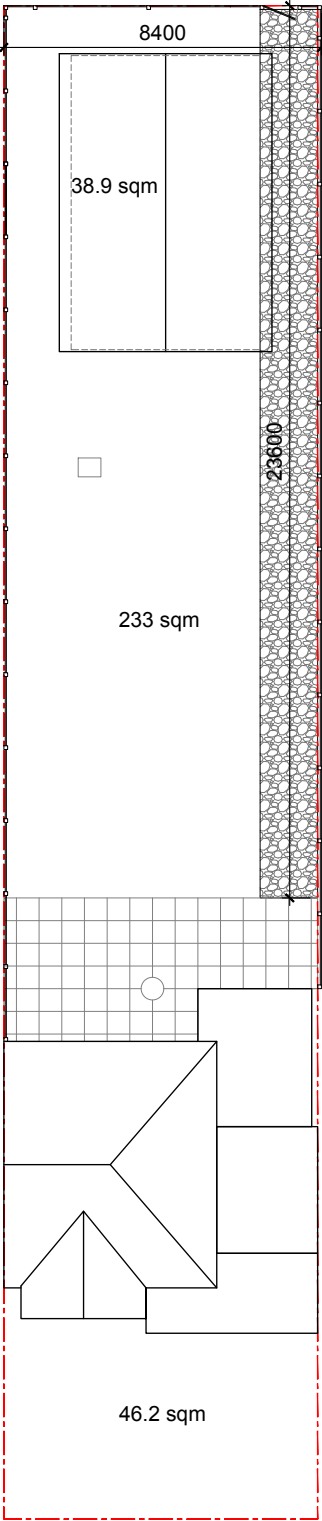
CLIENT:
JJF GROUP LTD

PROJECT ADDRESS:
145 BEVERLY ROAD
RUISLIP MANOR, HA4 9AP

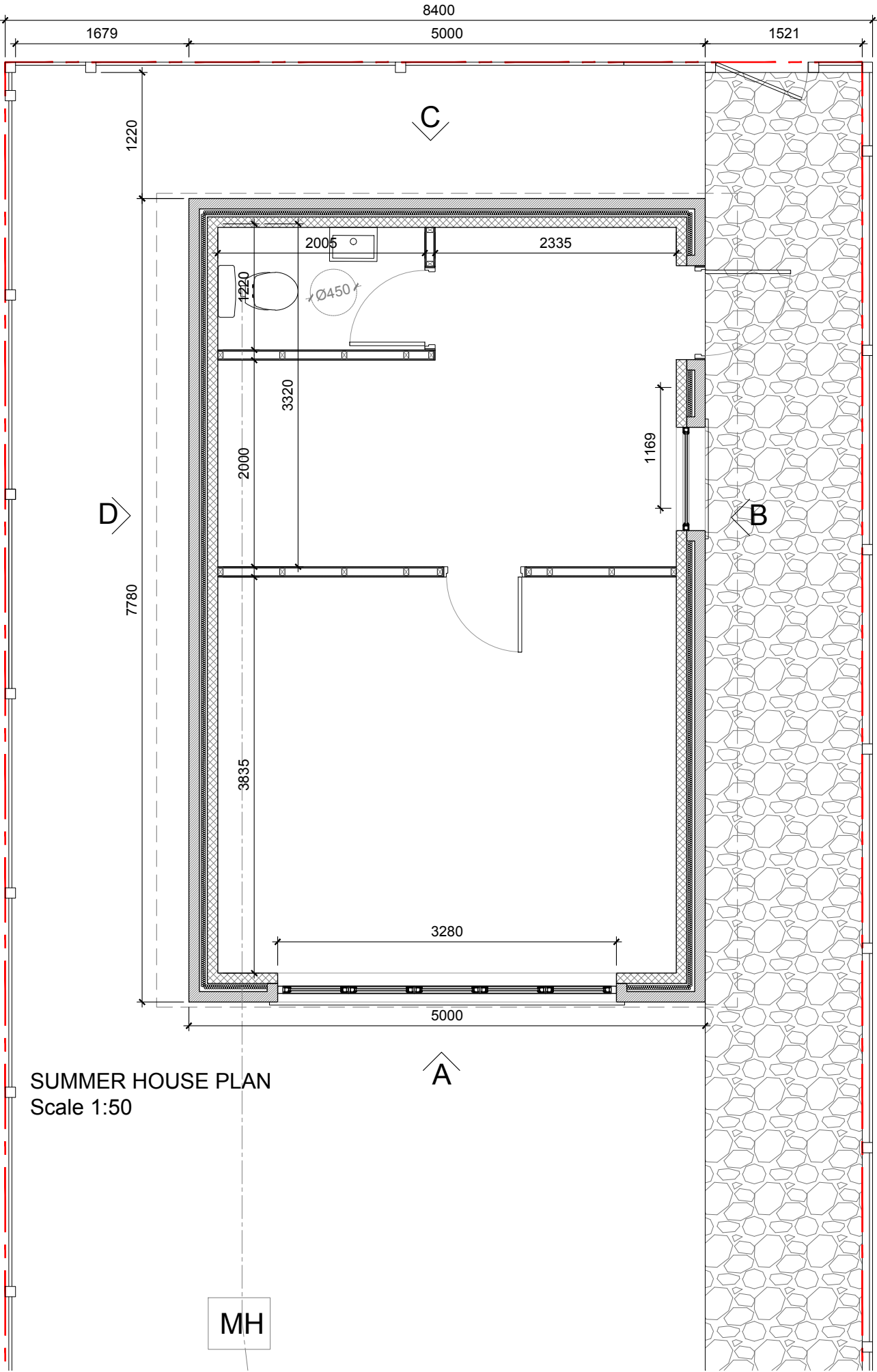
TITLE:
PROPOSED PLAN

JOB NO:	SCALE:	DRAWN BY:
R07	1:50 @ A3	PM

DWG NO:	REV:
R07.2.00	D



SITE PLAN
Scale 1:200



SUMMER HOUSE PLAN
Scale 1:50

MH