

# Planning Statement

**For change of use of the dwelling house into HMO  
at  
21 Green Lane, Uxbridge, UB8 3ED**



Dale Venn Architects Ltd  
Architects, Planners & Surveyors High  
House, Harlington Road, Hillingdon,  
Middlesex. UB8 3HX.

tel: 01895 237345  
e-mail: [dalevennarchitects@gmail.com](mailto:dalevennarchitects@gmail.com)

November 2025

## **Introduction**

This Planning Statement accompanies a full planning application submitted to the London Borough of Hillingdon for the change of use of a dwellinghouse (Use Class C3) to a House in Multiple Occupation (HMO) for 5 occupants (Use Class C4), together with the widening of the existing vehicular crossover.

The property was originally constructed as a two-bedroom detached bungalow. Following purchase, the applicant obtained approval for extensions and a loft conversion and subsequently completed the approved works. The internal layout has since been organised to provide five bedrooms, each with an en-suite shower room, in line with the London Borough of Hillingdon's HMO Licensing and Amenity Standards.

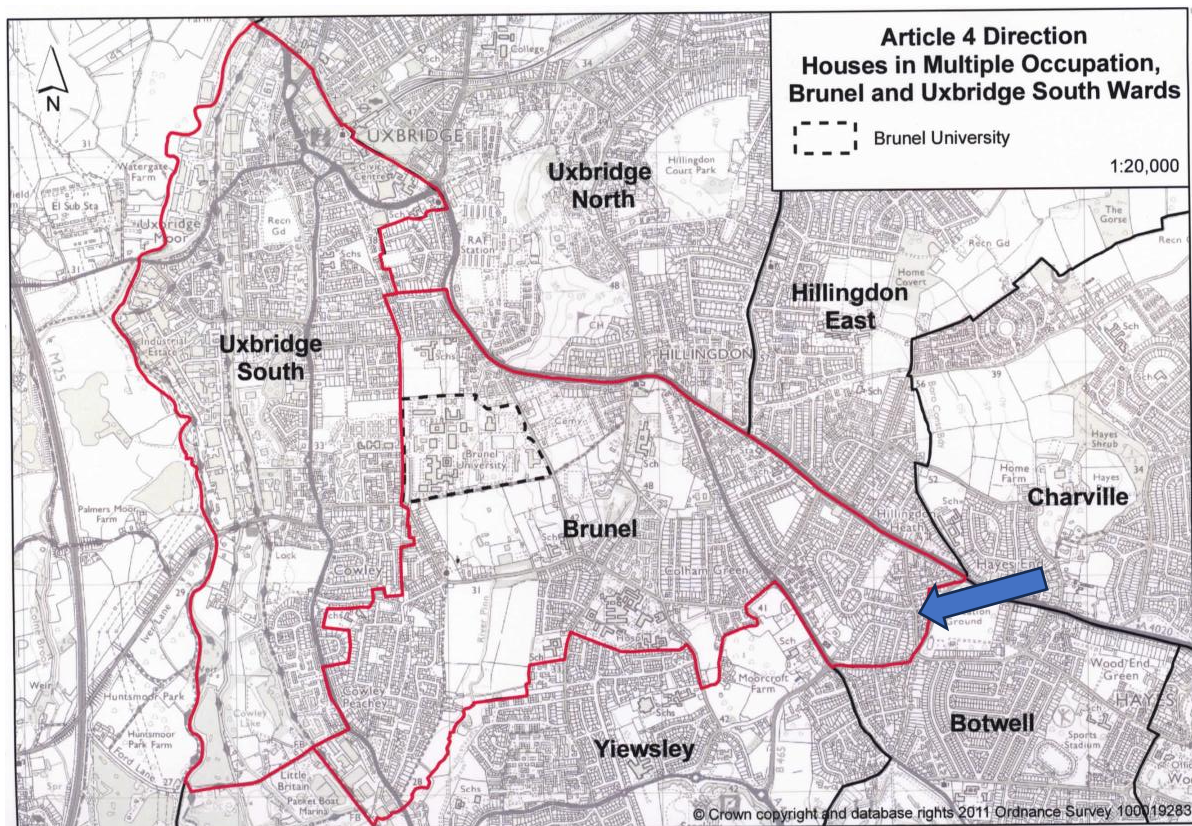
The property lies within the Brunel Ward, where permitted development rights for change of use from C3 to C4 HMO have been withdrawn under an Article 4 Direction. Accordingly, planning permission is required for the proposed HMO use for between 3 and 6 unrelated individuals.

## **Application Drawings:**

- 6027-1: Existing Site Plan and Elevations
- 6027-2: Existing Plans
- 6027-3: Proposed Site Plan and Elevations
- 6027-4: Proposed Plans

## **Location**

The application site is located within the Brunel Ward in a predominantly residential area. The property is positioned on the eastern side of Green Lane, forming part of a row of detached bungalows. The site shares boundaries with no. 19 Green Lane to the north and no. 23 Green Lane to the south.



## Proposal

The application seeks permission for the change of use of the existing dwelling to an HMO for 5 unrelated occupants, comprising five bedrooms each with an en-suite shower room.

No external alterations are proposed. No internal structural changes are required, other than a minor alteration to create a cycle storage area accessed from the entrance lobby by forming a new opening.

The property complies with the Minimum Standards for Houses in Multiple Occupation set by the London Borough of Hillingdon, including room sizes, sanitation provision, waste storage, and fire safety.

The current front driveway can accommodate three on-site parking spaces, in accordance with Hillingdon's parking standards for HMOs. To improve access and visibility, the proposal includes widening the existing vehicular crossover to 5 metres, along with removing sections of the front boundary walls to provide the required pedestrian visibility splays.

## **Conclusion**

The proposed conversion to a small HMO (Use Class C4) for five occupants is acceptable in principle and accords with planning policy at national, regional, and local levels.

The proposal complies with relevant policies of Hillingdon Local Plan. The introduction of a small HMO in this location would not lead to an over-concentration of similar uses and would preserve the residential character of the area.

The development meets the London Borough of Hillingdon's HMO Licensing and Amenity Standards, ensuring that future occupants benefit from appropriate room sizes, en-suite facilities, cycle storage, fire safety measures, and adequate internal amenities.

The proposed widening of the crossover and provision of visibility splays comply with Local Plan Policies, ensuring safe access and sufficient parking provision.

In summary, the proposal delivers high-quality accommodation, maintains local residential amenity, complies with the relevant planning policies, and ensures safe and efficient access arrangements. The Council is therefore respectfully requested to grant planning permission for the proposed change of use and associated works.