

**CONSTRUCTION METHOD STATEMENT**

**72 STAR ROAD**

## **OBJECTIVE**

This document seeks approval of details reserved by Condition 7 of planning permission ref. 494/APP/2022/1428, dated 14-10-22 (Construction of a two-storey building with roof accommodation comprising 4 self-contained flats (following demolition of existing bungalow and garage); new crossovers to accommodate parking (following reinstatement of existing); hard and soft landscaping; boundary treatment; cycle and refuse storage and private and communal amenity spaces.)

## **APPLICABLE CONDITION:**

'No development shall commence until a Construction Management/Logistics Plan has been submitted to, and approved in writing by, the Local Planning Authority. The plan shall detail:

- (1) The phasing of development works
- (2) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (3) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (4) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (5) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (6) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
- (7) The storage of demolition/construction materials on site.

This must demonstrate compliance with the Mayor of London's 'The Control of Dust and Emissions from Construction and Demolition' Supplementary Planning Guidance (or any successor document).

The approved details shall be implemented and maintained throughout the duration of the construction process.

**REASON:** To protect the amenities of local residents, in compliance with Policies DMHB 11, DMT 1 and DMT 2 of the Hillingdon Local Plan: Part 2 - Development Management Policies (2020).'

## **Plan Development**

This document must be read in conjunction with site specific documentation and company procedures including, but not limited to, the health and safety policy, construction phase plan (where applicable), risk assessments, method statements and permits to work. The purpose of this plan is to detail specific arrangements and responsibilities in place relating to site traffic management, and to managing the risks associated with vehicular and pedestrian traffic on site.

This document will be clearly displayed and made available to all persons working on / visiting sites under the control of the business.

### **Site Specifics**

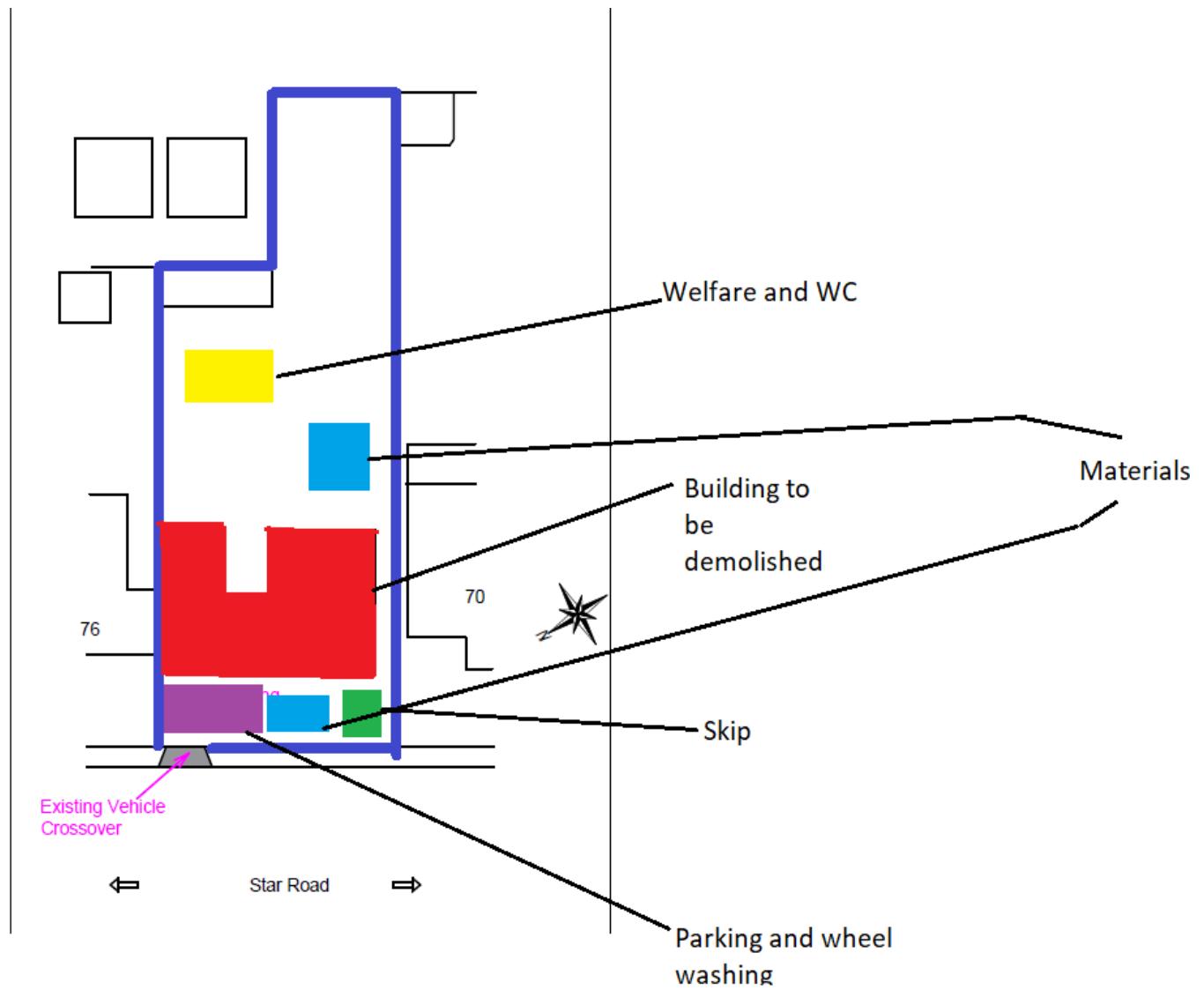
The site is located on 72 Star Road and the access for this site will be via the existing drive/entrance.

The works involves construction of a two-storey building with roof accommodation comprising 4 self-contained flats (following demolition of existing bungalow and garage); new crossovers to accommodate parking (following reinstatement of existing); hard and soft landscaping; boundary treatment; cycle and refuse storage and private and communal amenity spaces.)



## Site Layout & Hoarding Plan

Hoarding is indicated in blue.



**DETAILS TO DISCHARGE CONDITIONS:**

**(1) The phasing of development works**

*The works will be undertaken in two phases*

- *Demolition including groundworks*
- *Construction and landscaping*

**(2) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).**

*Site operating hours will be 8am-5pm ( Monday - Friday ) and 8am- 1pm (Saturdays)*

**(3) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.**

*Waste disposal:*

*All current legislation regarding the prevention of environmental contamination (including waste disposal) will be complied with. All waste materials including hazardous materials will be disposed of by appropriate licenced disposal facilities.*

*Any contaminated or hazardous waste created as a result of works carried out will be segregated and properly contained and disposed of by a specialist company.*

*Waste must be transferred using a waste transfer note, records of the waste transfer notes will be kept on site in the site office. There will be a waste transfer notes file.*

*All waste material resulting from the demolition will be separated on site and placed into separate waste and recycling skips and disposed of off-site responsibly, i.e. taken to recognised recycling centres or collected by approved salvage companies. There will be no on-site burning of materials.*

**(4) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).**

*After completion of the work, the area shall be left in a clean, tidy condition and all associated waste shall be removed and properly disposed of.*

*Wheel-washing facilities will be provided on-site at the access point, therefore construction vehicles exiting the site will not take mud or debris onto the local highway network.*

*Given the temporary, short-term nature of the construction phase, wheel-washing facilities will be provided in the form of a portable automated high-pressure wheel washer with motion sensors to conserve water and will be used when necessary to minimise the spread of material from the site and the risk of road contamination. In addition the site roads will be regularly cleaned. These steps will ensure that material will not be transferred to the public highway. Dust suppression measures will be implemented in site to minimise the risk of dust spread.*

**(5) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).**

*The proposed dwelling will be served by the existing dropped kerb which has the appropriate visibility splays, therefore we do not anticipate any adverse highway safety Impacts due to the development.*

*There is space for one vehicle on site and the road has no parking restrictions It is anticipated one team will come in one vehicle. Deliveries will be set up to avoid peak areas and access will be through the existing access.*

*Plant and materials will be stored on site (see plan) never on the pavement.*

*There will be proper routing of construction traffic and delivery vehicles, which will be planned in advance; we currently have no plan for any road closures, however we will notify the council accordingly if that may be necessary. We will have details of traffic management required during construction, this will be reviewed throughout each stage of the project , the footway management will be managed during construction, there will be a daily Inspection and maintenance of signage and barriers; we will be committed to avoidance of unnecessary parking of site related vehicles (i.e. construction workers' vehicles), areas in proximity to the site that can be used for these vehicles are identified; the times for construction traffic and delivery vehicles will be monitored so we can manage our deliveries, which must be outside peak network and school hours; and we will ensure there are measures for mitigation of noise, vibration, dust and dirt.*

**(6) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.**

*Air quality shall be maintained throughout the project in accordance with the Environment Act 1995, the Clean Air Act 1993 and the UK Air Quality Strategy. Burning of waste shall not be permitted and all necessary precautions shall be taken to prevent the occurrence of smoke emissions or fumes from plant or stored fuels. Dust on construction sites is classified as a "statutory nuisance" and all efforts shall be made to avoid the creation of dust during construction sites.*

*All activities will be assessed for the risks associated with dust production and where necessary, water will be used to suppress the dust by means of wet cutting and damping down with a hosepipe direct to the source with a fine spray ( dust suppression ) . The water will be released by spray regulation and control to prevent any flooding at ground level.*

*All vehicles shall have their engines switched off while not in use to avoid idling and any vehicles carrying waste and dusty materials will be adequately sheeted or covered.*

**(7) The storage of demolition/construction materials on site.**

*See on plan*