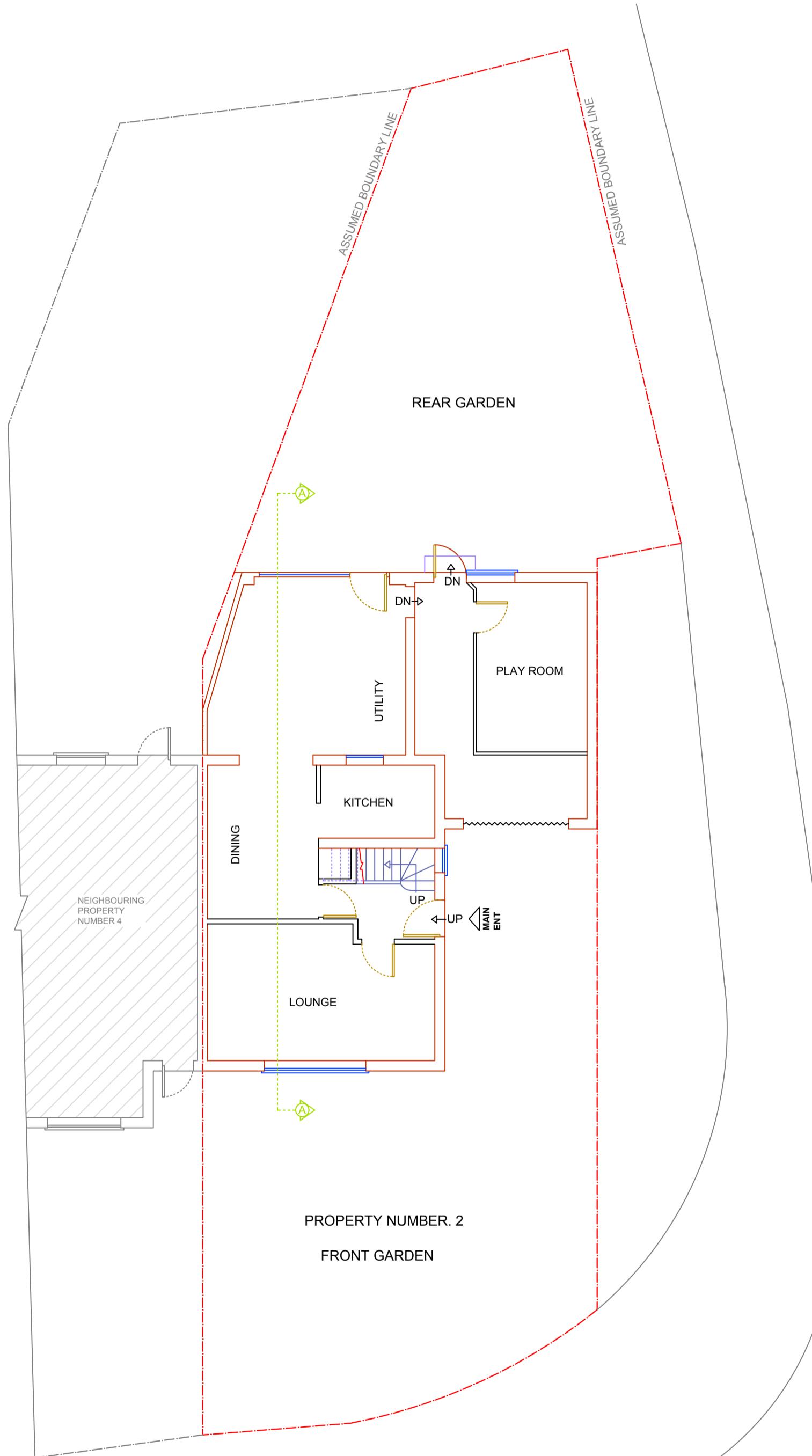


GET RAPID PLANS

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PAPER
SIZE

A1

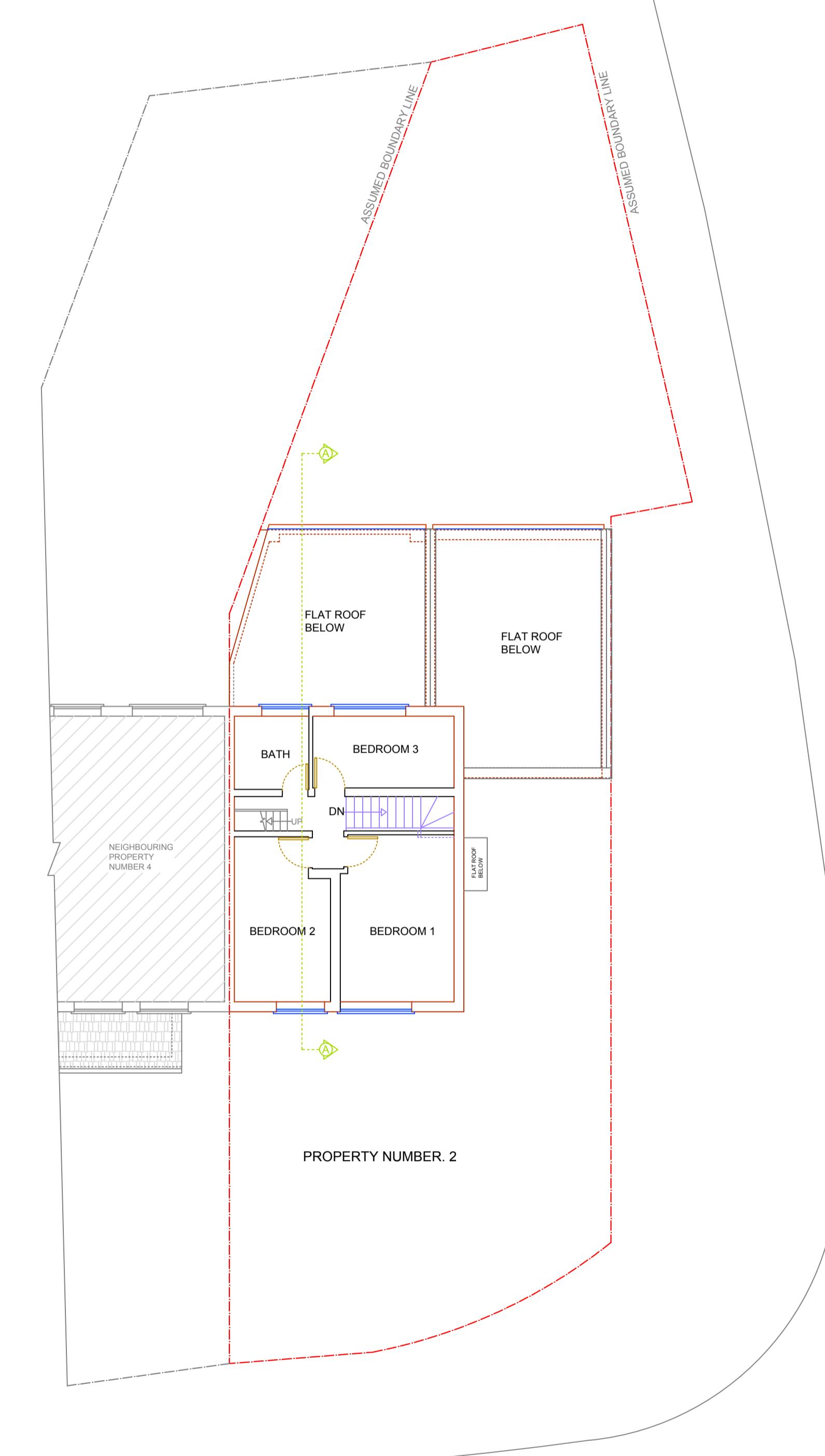


1 GROUND FLOOR - EXISTING(No CHANGES PROPOSED)
1:100

07538938251 - 07507665812

2 FIRST FLOOR - EXISTING
1:100

2



ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE.
MEASURED SURVEY DOES NOT INCLUDE FOR INTRUSIVE SURVEY TO DETERMINE EXACT LOCATION OF EXISTING WALLS, PLUMBING, ETC.
THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES.
THE DRAWINGS ARE NOT DRAWN TO ACCURATE BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR CONSTRUCTION.

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PLEASE NOTE: PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THIS DRAWING ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.

CHASING AND REMOVAL OF EXISTING WALLS DEPTH OF PLASTER ETC. MUST BE CHECKED. WHERE NEW WALLS ARE TO BE PLACED IN LINE WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR CONCRETE BLOCKS TO DETERMINE THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CONSIDERED.

DOCUMENTS SHOULD BE USED AS THE BASIS FOR DESIGN AND CONSTRUCTION. NO OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.

MATERIALS SHOULD MATCH THOSE OF THE EXISTING DRAWINGS.

NO WORK TO BE CARRIED OUT PRIOR TO THE APPROVAL OF THE DRAWINGS UNDER THE TOWN PLANNING AND CONSTRUCTION REGULATIONS AND THE BUILDING REGULATIONS.

CONTRACTOR TO BE RESPONSIBLE FOR WORKING TO THE PLANNING AUTHORITY FOR THE START OF THE WORK.

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PLANNING ISSUE
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Revision Description Date

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ADDRESS: 2 MORRISON ROAD
HAYES
UB6 8UP

PROJECT

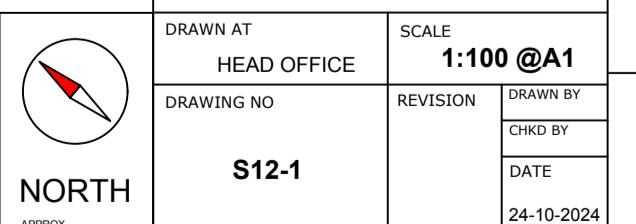
1) LOFT CONVERSION WITH REAR DORMER

TITLE EXISTING FLOOR PLANS

DRAWN AT HEAD OFFICE SCALE 1:100 @A1

DRAWING NO. S12-1 DRAWN BY CHD BY

DATE 24-10-2024



NORTH APPROX

Ayles Road

Morrison Road

GET RAPID PLANS

PAPER SIZE
A3

NEIGHBOURING PROPERTY NUMBER 4

FLAT ROOF
BELOW

FLAT ROOF
BELOW

NEIGHBOURING PROPERTY NUMBER 4

FLAT ROOF
BELOW

FLAT ROOF
BELOW

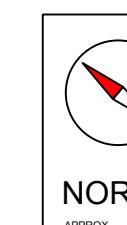
PROPERTY NUMBER. 2

PROPERTY NUMBER. 2

5 ROOF PLAN - EXISTING
1:100

6 ROOF PLAN - PROPOSED
1:100

0 7 5 3 8 9 3 8 2 5 1 - 0 7 5 0 7 6 6 5 8 1 2



NORTH
APPROX

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE

MEASURED SURVEY DOES NOT INCLUDE FOR INTRUSIVE SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.

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PLANNING ISSUE

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Revision Description Date

GET RAPID PLANS

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ADDRESS 2 MORRISON ROAD
HAYES
UB4 9JP

PROJECT 1) LOFT CONVERSION WITH REAR DORMER

TITLE ROOF PLANS

DRAWN AT HEAD OFFICE SCALE 1:100 @A3

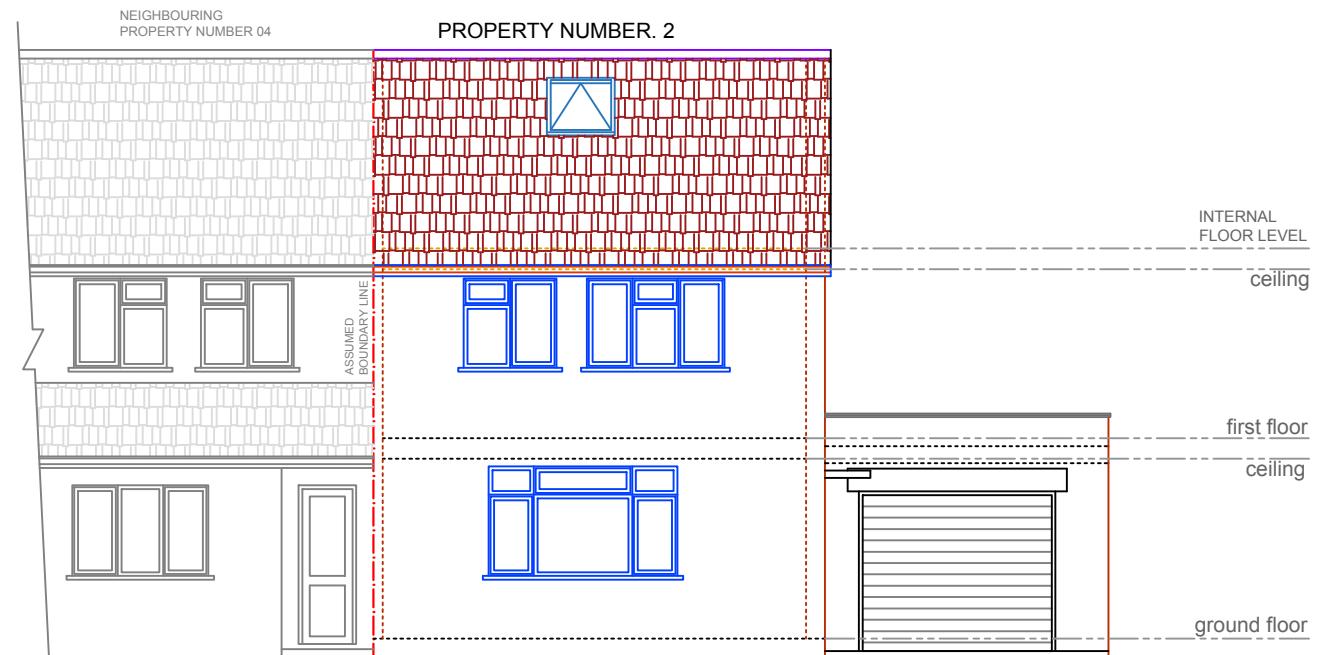
DRAWING NO	DRAWN BY	CHKD BY
S12-3	REVISION	DATE 24-10-2024

5m
10m

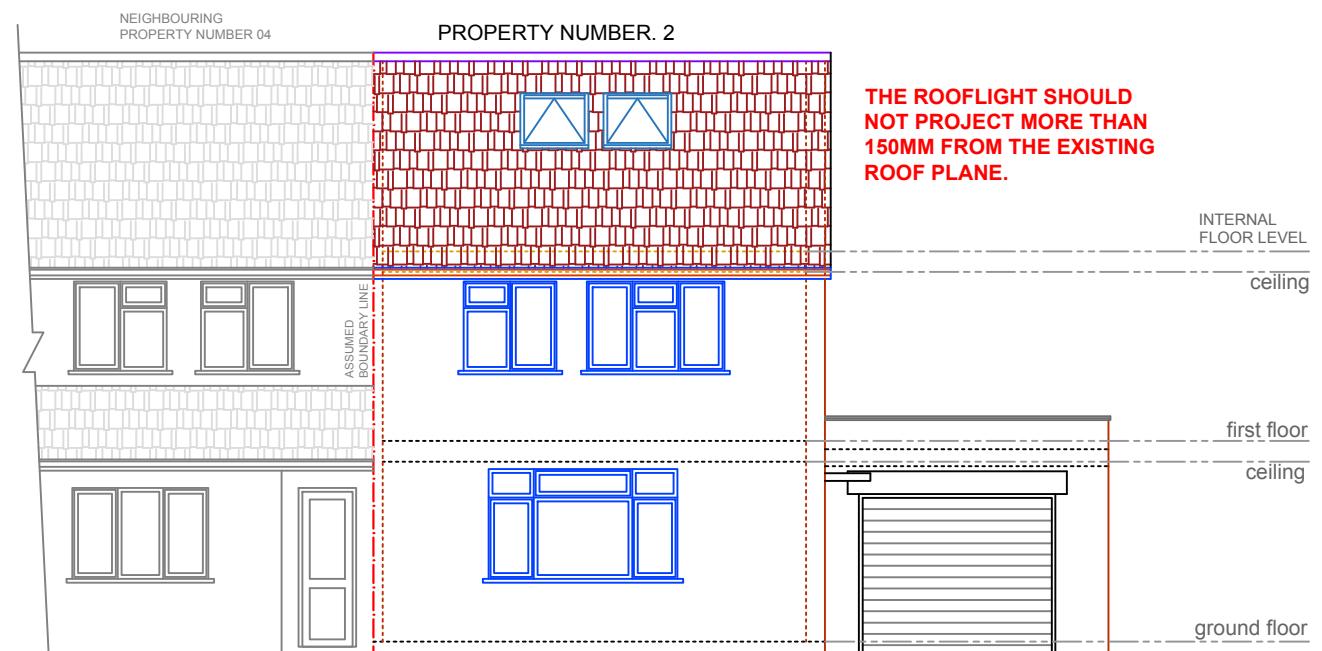
SCALE 1:50 & 1:100
9
8
7
6
5
4
3
2
1
0

PAPER SIZE
A3

GET RAPID PLANS



7 FRONT ELEVATION - EXISTING



8 FRONT ELEVATION - PROPOSED

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.

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PLANNING ISSUE

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Revision Description Date

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HAYES
UB4 9JP

PROJECT 1) LOFT CONVERSION WITH REAR DORMER

TITLE FRONT ELEVATIONS

DRAWN AT HEAD OFFICE SCALE 1:100 @A3

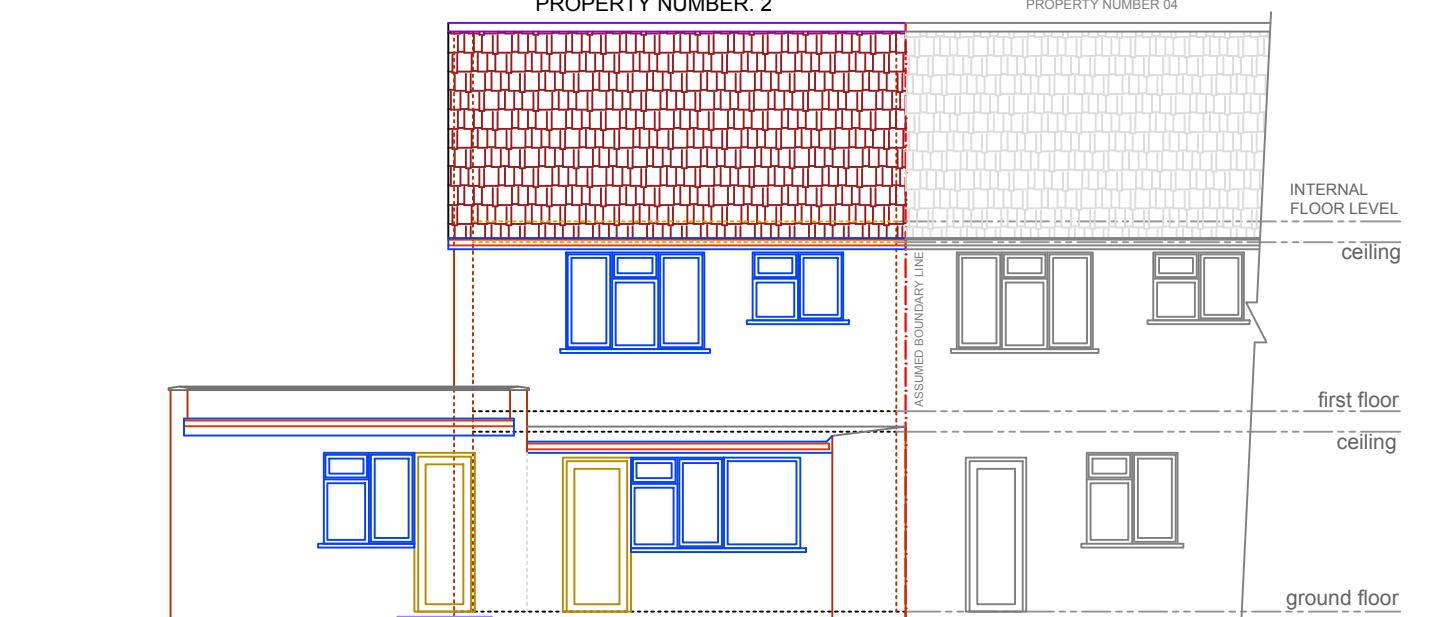
DRAWING NO	DRAWN BY	CHKD BY
S12-4	REVISION	DATE 24-10-2024

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PAPER SIZE
A3

GET RAPID PLANS

PROPERTY NUMBER. 2

NEIGHBOURING
PROPERTY NUMBER 04

⑨ REAR ELEVATION - EXISTING

1:100

LENGTH FOR VOLUME
OF REAR DORMER

PROPERTY NUMBER. 2

NEIGHBOURING
PROPERTY NUMBER 04

JULIETTE BALCONY: RAILINGS

THE TOP OF THE BALCONY
MUST BE A MINIMUM OF 1100MM
FROM STANDING FLOOR LEVEL.

⑩ REAR ELEVATION - PROPOSED

1:100

ALL WORK TO COMPLY WITH CURRENT BUILDING
REGULATIONS AND CODES OF PRACTICE.

ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE

MEASURED SURVEY DOES NOT INCLUDE FOR
INTRUSIVE SURVEY TO DETERMINE EXACT LOCATION
OF STEELWORK/SUPPORTING STRUCTURE.THIS DRAWING IS PREPARED SOLELY FOR
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TO ENSURE THAT ALL ASPECTS OF
THE "PARTY WALL ETC, ACT 1996"
ARE COMPLIED WITH PRIOR TO
ANY WORK COMMENCING ON SITE.VARIATIONS IN SQUARENESS,
DEPTH OF PLASTER ETC, MUST BE
CHECKED FOR. WHERE NEW WALLS
ARE SHOWN AS ALIGNED WITH
EXISTING WALLS, PHYSICAL
REMOVAL OF BRICKWORK AND /
OR PLASTER TO ESTABLISH THE
ACTUAL POSITION OF THE WALL
BEING ATTACHED TO MUST BE
CHECKED.
DOCUMENTS SHOULD BE USED AS
THE DRAWING STATUS DESCRIBED,
ANY OTHER USE IS DONE SO AT THE
RESPONSIBILITY OF THE USER.**MATERIALS SHOULD MATCH
THOSE OF THE EXISTING
DWELLING**NO WORK TO BE CARRIED OUT PRIOR
TO THE APPROVAL OF THE DRAWINGS
UNDER THE TOWN PLANNING AND
COUNTRY PLANNING ACTS AND THE
BUILDING REGULATIONS.
CONTRACTOR TO BE RESPONSIBLE
FOR NOTIFYING THE LOCAL AUTHORITY
FOR THE START OF THE WORK
DO NOT SCALE THE DRAWINGS
EXCEPT FOR THE PLANNING
APPLICATION PURPOSE**PLANNING ISSUE**
DO NOT USE FOR ANY
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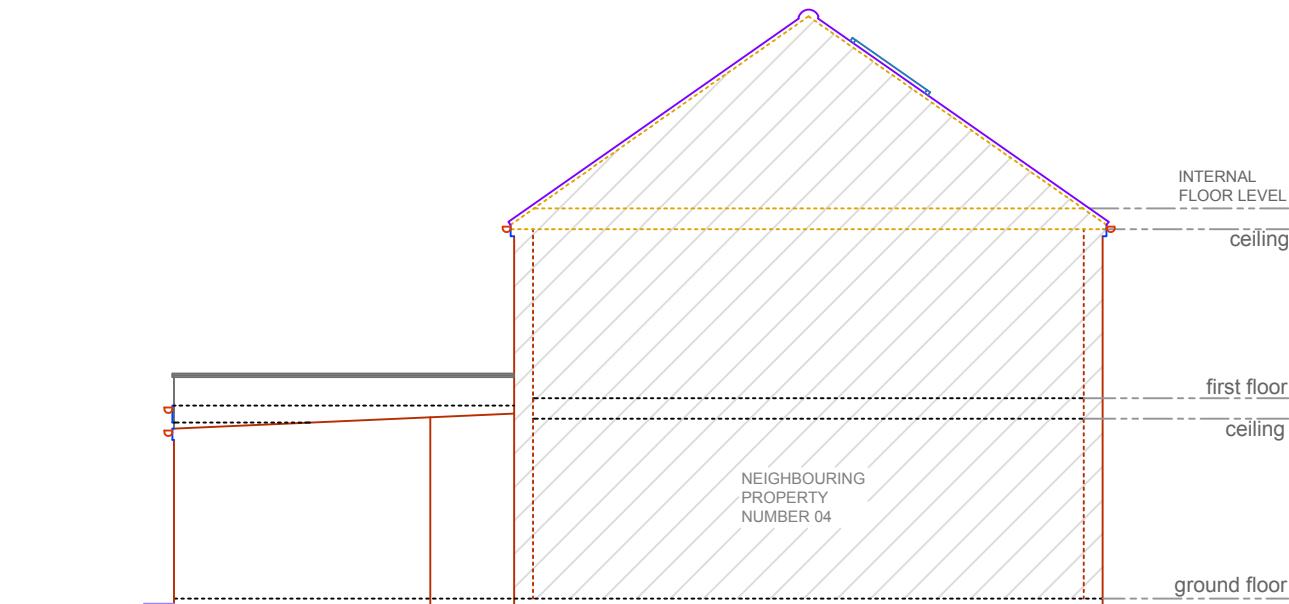
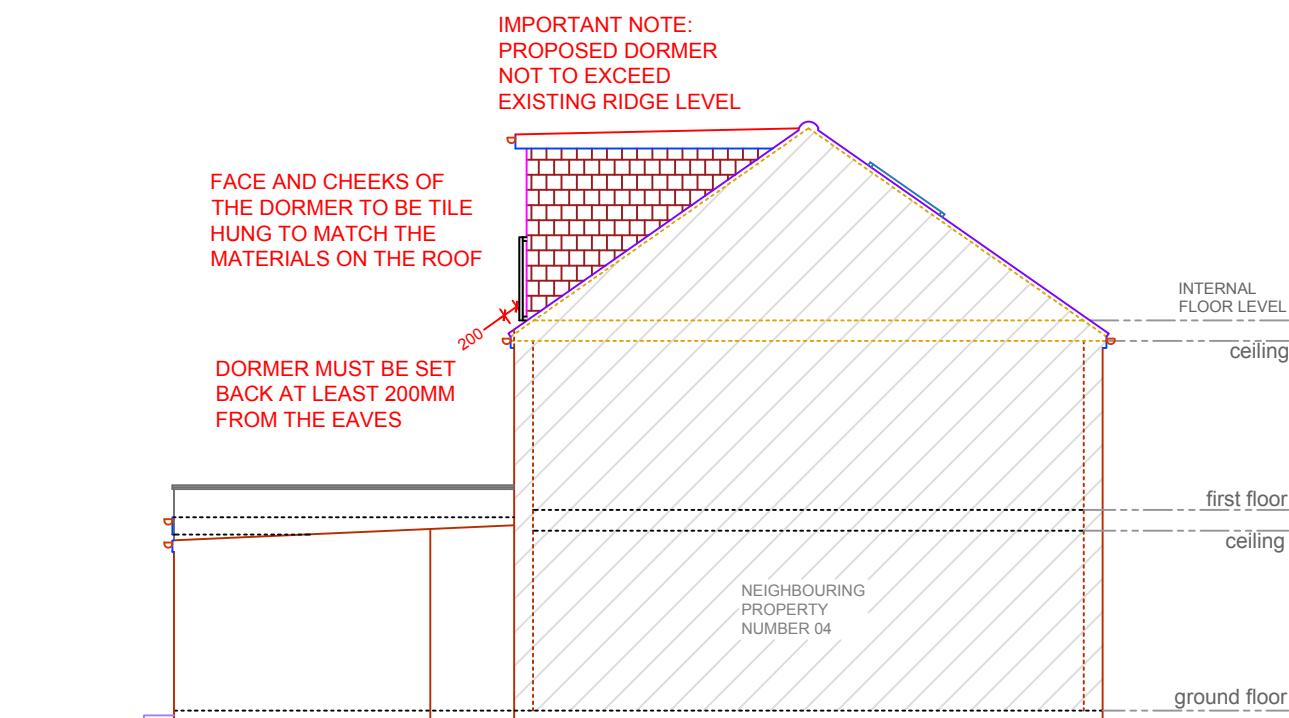
ADDRESS 2 MORRISON ROAD
HAYES
UB4 9JP

PROJECT 1) LOFT CONVERSION WITH REAR DORMER

TITLE REAR ELEVATIONS

DRAWN AT HEAD OFFICE SCALE
1:100 @A3DRAWING NO S12-5 DRAWN BY CHKD BY
REVISION DATE
24-10-2024

0 7 5 3 8 9 3 8 2 5 1 - 0 7 5 0 7 6 6 5 8 1 2

11 L.H.SIDE ELEVATION - EXISTING
1:10012 L.H.SIDE ELEVATION - PROPOSED
1:100

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PLANNING ISSUE

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UB4 9JP

PROJECT 1) LOFT CONVERSION WITH REAR DORMER

TITLE L.H.SIDE ELEVATIONS

DRAWN AT HEAD OFFICE SCALE 1:100 @A3

DRAWING NO	DRAWN BY	CHKD BY
S12-6	REVISION	DATE 24-10-2024

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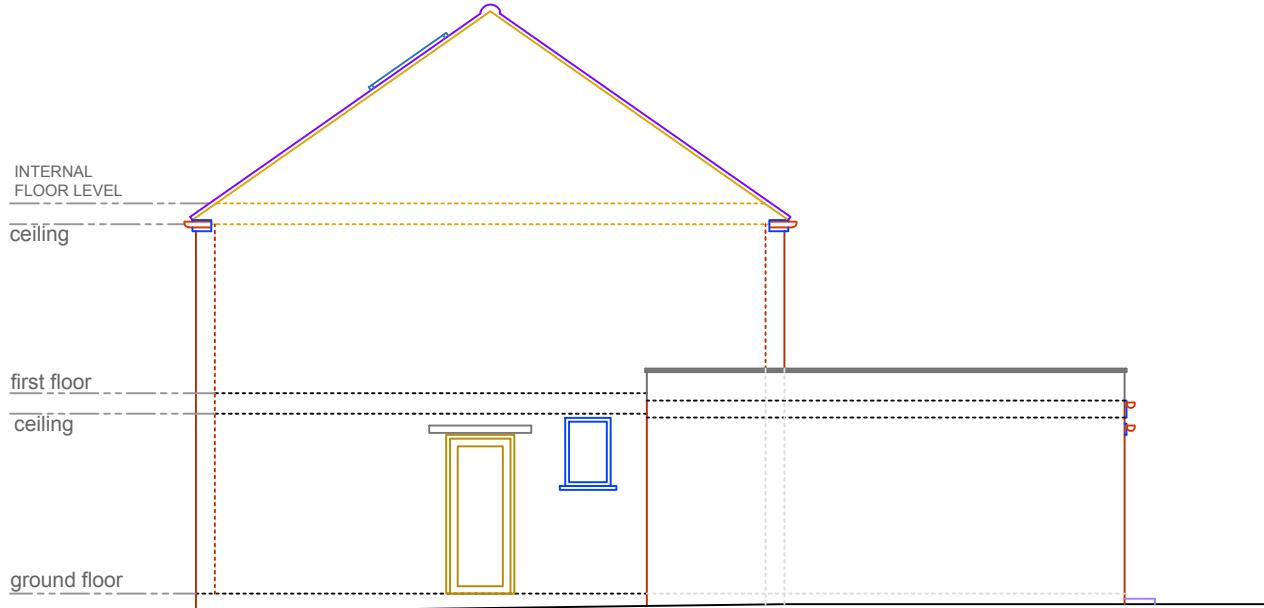
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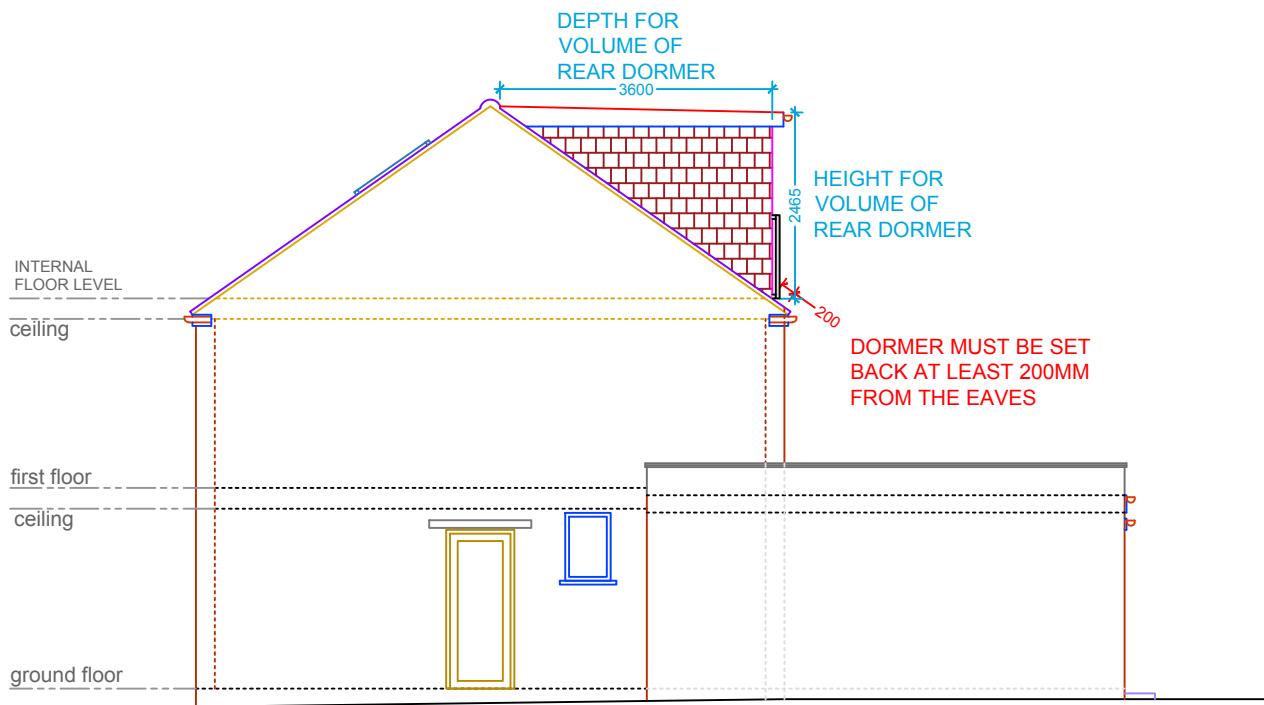
SCALE 1:50 & 1:100

0 7 5 3 8 9 3 8 2 5 1 - 0 7 5 0 7 6 6 5 8 1 2

GET RAPID PLANS



13 R.H.SIDE ELEVATION - EXISTING
1:100



14 R.H.SIDE ELEVATION - PROPOSED
1:100

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
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PLANNING ISSUE

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UB4 9JP

PROJECT 1) LOFT CONVERSION WITH REAR DORMER

TITLE R.H.SIDE ELEVATIONS

DRAWN AT HEAD OFFICE SCALE 1:100 @A3

DRAWING NO	DRAWN BY	CHKD BY
S12-7	REVISION	DATE 24-10-2024

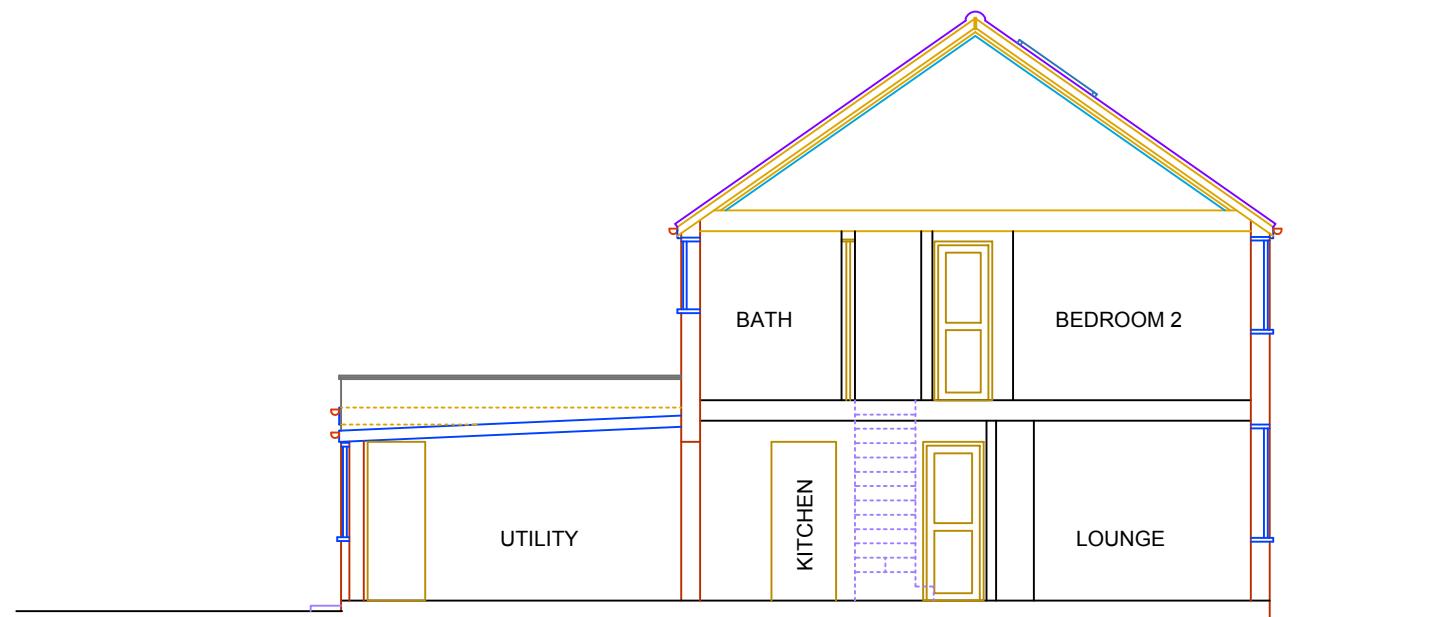
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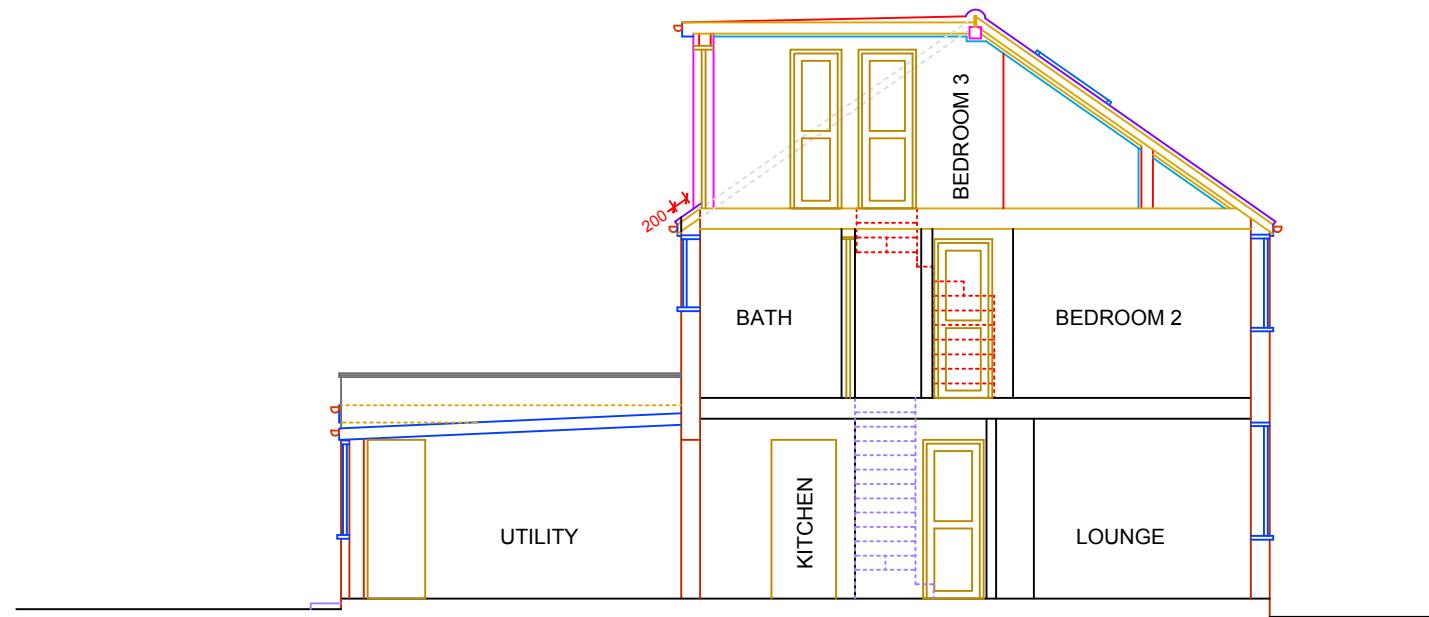
SCALE 1:50 & 1:100

0 7 5 3 8 9 3 8 2 5 1 - 0 7 5 0 7 6 6 5 8 1 2

GET RAPID PLANS



15 SECTION 'A-A' - EXISTING
1:100



16 SECTION 'A-A' - PROPOSED
1:100

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
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HAYES
UB4 9JP

PROJECT
1) LOFT CONVERSION WITH REAR DORMER

TITLE SECTIONS 'A-A'

DRAWN AT HEAD OFFICE SCALE 1:100 @A3

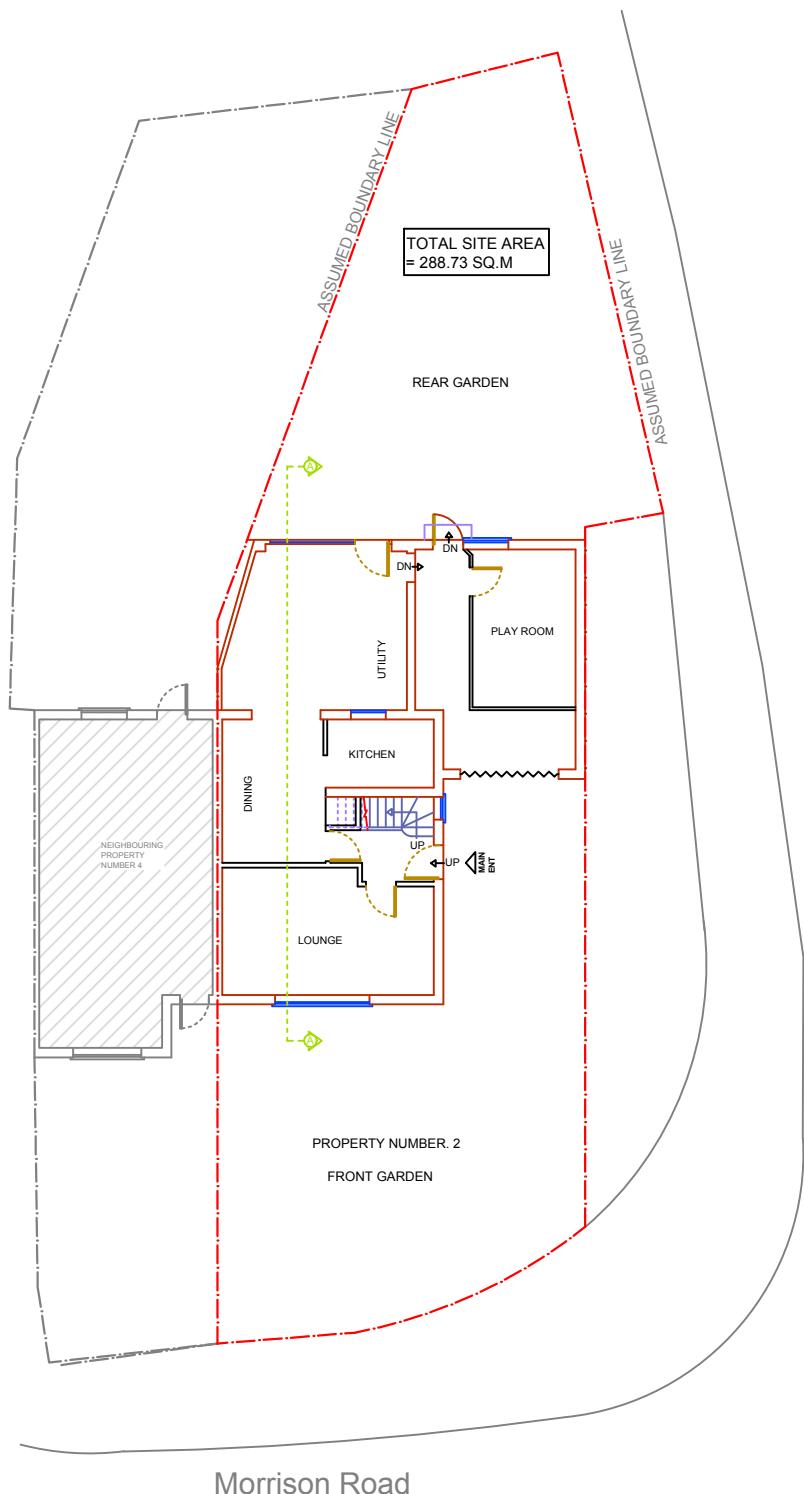
DRAWING NO	DRAWN BY	CHKD BY
S12-8	REVISION	DATE 24-10-2024

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10m

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SCALE 1:50 & 1:100



(17) SITE PLAN - EXISTING (NO CHANGES PROPOSED)
1:200

0 7 5 3 8 9 3 8 2 5 1 - 0 7 5 0 7 6 6 5 8 1 2



NORTH
APPROX

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ADDRESS 2 MORRISON ROAD
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UB4 9JP

PROJECT 1) LOFT CONVERSION WITH REAR DORMER

TITLE EXISTING SITE PLAN

DRAWN AT HEAD OFFICE SCALE 1:200 @A3

DRAWING NO	DRAWN BY	CHKD BY
S12-9	REVISION	DATE 24-10-2024