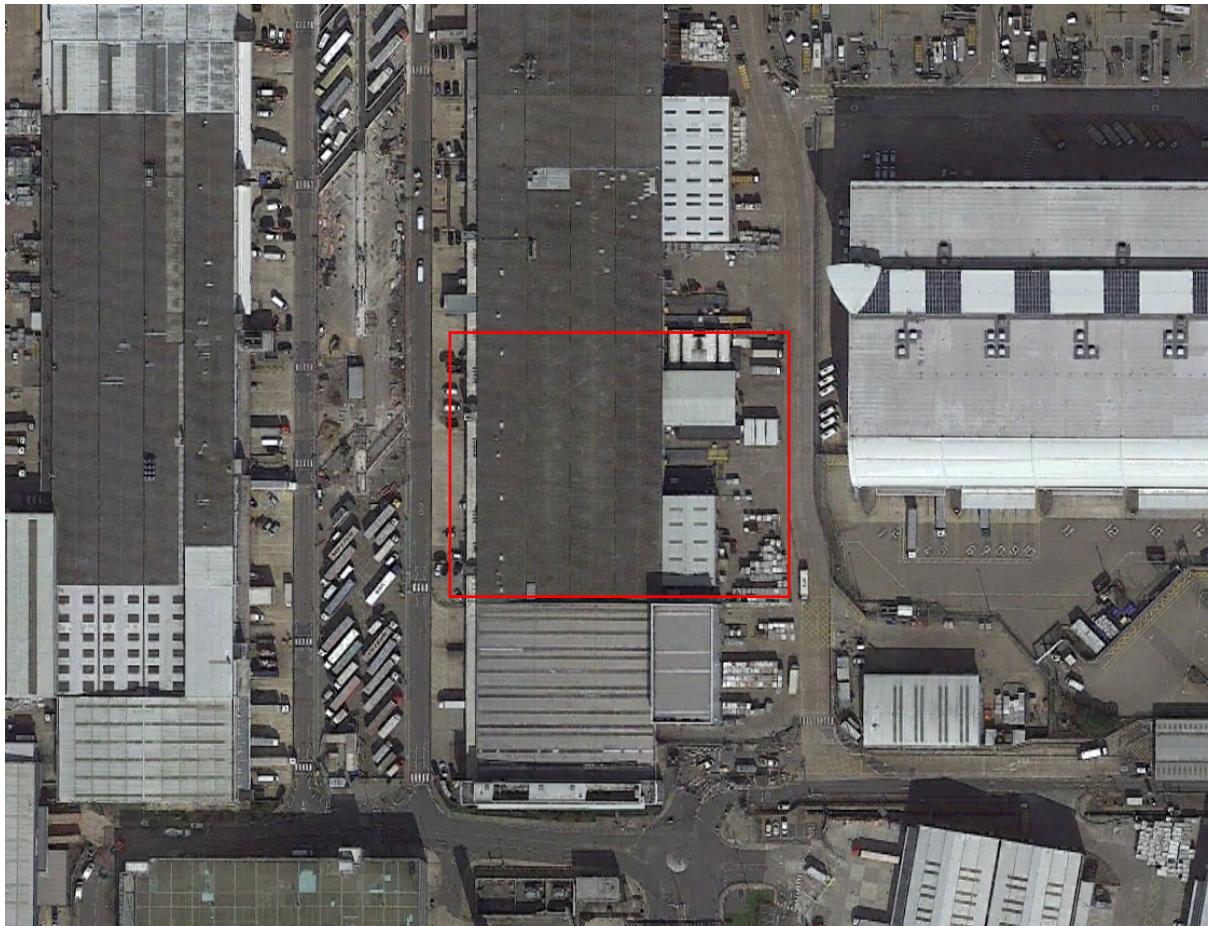


PLANNING STATEMENT

Demolition of existing sheds and erection of new shed at Building No. 550 Shoreham Rd E, Hounslow TW6 3UA.



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Planning Statement

Building No. 550 Shoreham Rd E, Hounslow TW6 3UA

1. Introduction

This design statement has been prepared to be read in conjunction with the documents submitted for the application for full planning consent.

The application seeks consent to demolish two storage sheds at the rear of the warehouse at 550 Shoreham Rd E and replace them with a single larger storage shed.

2. The Building and Site

The site is located at 550 Shoreham Rd E, Hounslow TW6 3UA. The area surrounding the site is designed for the movement of large HGV vehicles dropping off and collecting goods and is a 24-hour operation. There is limited car access for employees, contractors and airport staff with vehicular access controlled by an access barrier at the entry to the site.

Pedestrian access for safety reasons is marked out on the roads and walkways some with guard rails for added protection. The proposal does not require any changes to the current external access arrangements for the front entrance.

Building 550 was constructed in the 1980s as a bonded warehouse for the storage and shipping of air freight at Heathrow Airport. The building is located in the south eastern side of a row of large airline cargo warehouses. On Shoreham Road East the building is classed as 'Landside' on the rear side of the building to the east the building is classed as 'Airside' which is a high security area with only authorised personnel permitted.

The warehouse element of the building is a portal frame building clad in corrugated metal with a newer adjoining 4-storey office block to the south. The warehouse has a large yard to the east of the building which currently has two storage sheds. Storage Shed A is located south adjacent to buildings 549 and 550. The building is clad on three sides the fourth wall sharing the external skin of 550. The shed is portal frame structure clad in corrugated iron and has an area of 660sqm. Storage Shed B is located to the northern edge of the curtilage, it is a portal frame building with composite cladding with a corrugated roof. Attached to Shed B are 3 portacabins and 5 shipping fridges all of which are to be located off site elsewhere on the WFS estate. Shed B has a floor area of 440sqm with further 480sqm made up of portacabins and fridges.



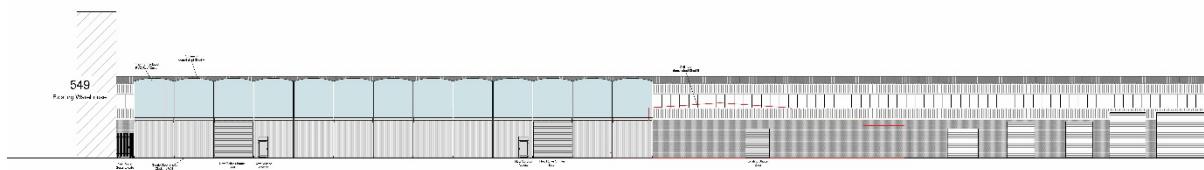
Trapezoidal Non-Insulated Steel Sheet Walling

3. Access

Access to the building Landside is through a personal door to a reception desk, there are also several loading bays with roller shutter doors which facilitate the movement of goods in and out of the warehouse. Airside there are several roller shutter access points, used for airport vehicles moving cargo around the site.

4. Proposed Development

The proposal seeks to replace the current two rear shed developments with a single shed at the rear of WFS Building No. 550. This will allow more space and improve the movement of goods through the warehouse. The proposed development is approximately 2000 sqm. Access outside of the proposed building will be aided by 2 4.8m wide x 4.5m tall roller shutter doors for airside vehicles. The building will be of portal frame construction with a PVC thermo-insulated roof and clad on the exterior with a single sheet of steel with a trapezoidal profile.

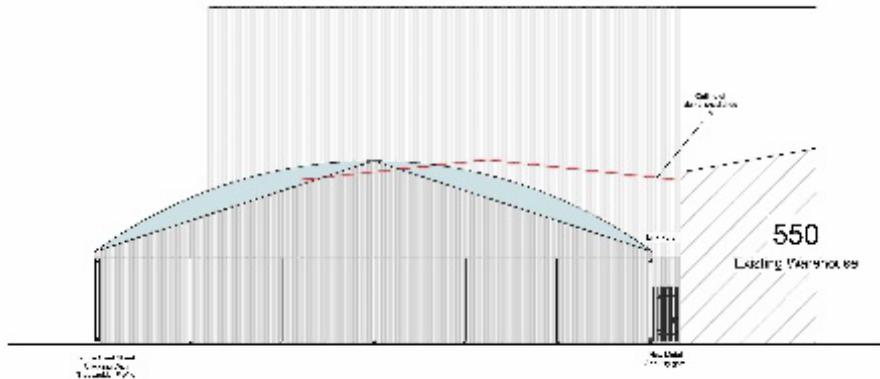


East Elevation showing new shed

4. Scale

The proposed new shed will be 65m wide and 30m deep with a 1.5m separation gap from the main 550 warehouse to allow space for maintenance. Void access points will be closed off with new metal security gates to prevent access. Although the proposed

building is larger than the former Shed A it has a similar height to the existing. The previous combined storage area of the buildings to be demolished and removed is 1580 sqm and the new building has an area of 2000 sqm.



North Elevation showing new shed

5. Landscaping

There will be no alterations to the landscape of this project.

6. Heritage Assets

There are no heritage assets on this site.

7. Conclusion

We trust that the LPA has sufficient information with which to make a positive determination on this application. However, should further information be required an early and proactive engagement with the applicant is encouraged.