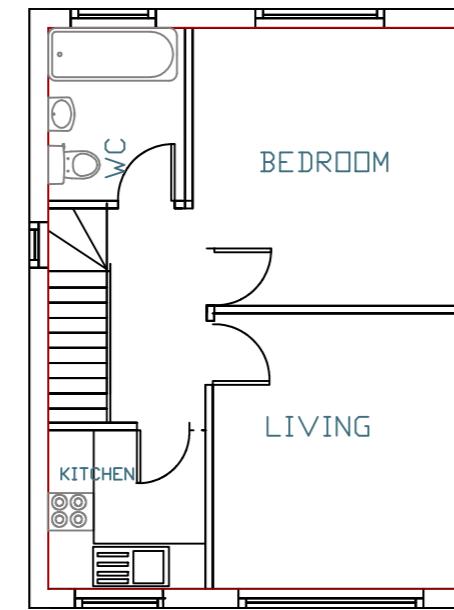
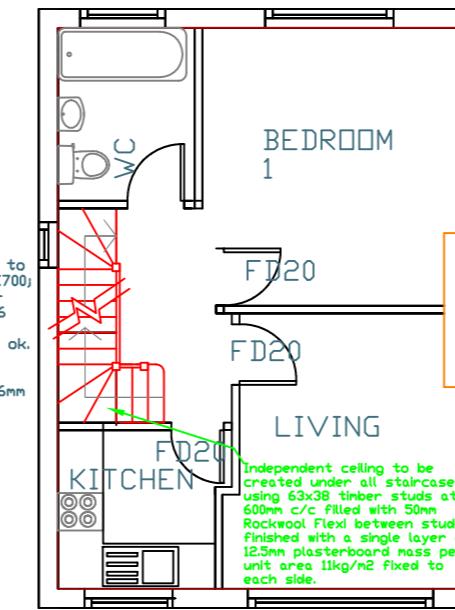


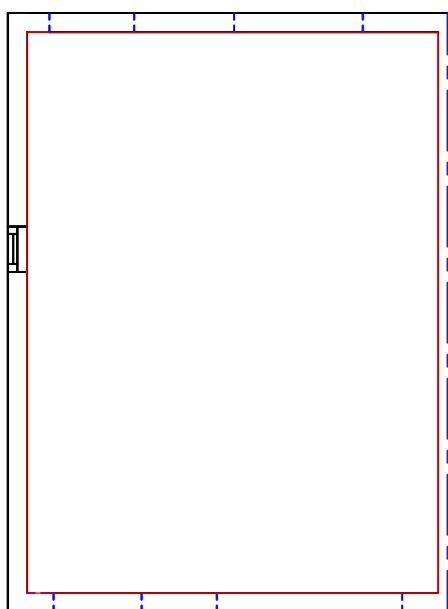
EXISTING & PROPOSED
GROUND FLOOR
Scale 1 : 100 @ A3
Scale 1 : 50 @ A1



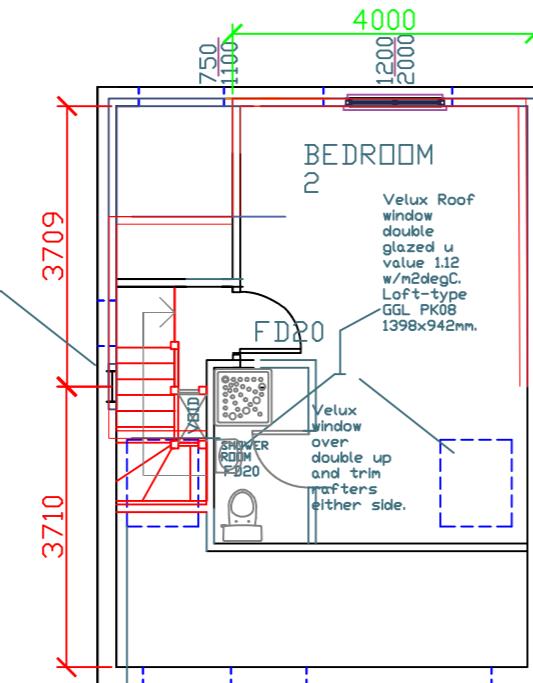
EXISTING FIRST FLOOR
Scale 1 : 100 @ A3
Scale 1 : 50 @ A1



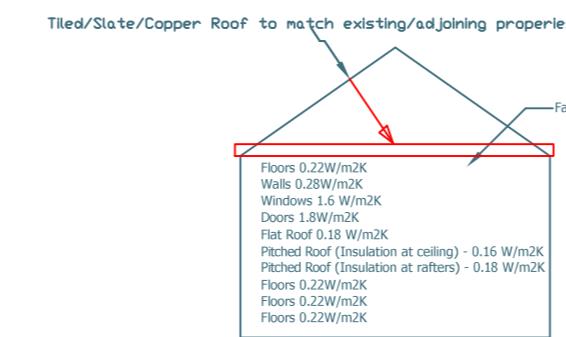
PROPOSED FIRST FLOOR
Scale 1 : 100 @ A3
Scale 1 : 50 @ A1



EXISTING LOFT
Scale 1 : 100 @ A3
Scale 1 : 50 @ A1



PROPOSED LOFT PLAN
Scale 1 : 100 @ A3
Scale 1 : 50 @ A1



The new extension should comply with the requirements of Part L1b of Building Regulations in regard to insulation above.

If the contractor wants to deviate from standard detail specs, provided, then, please provide details of how these U-values values will be achieved.
NOTE: Where the party wall is upgraded a lesser value of 0.30 W/m²K is acceptable

LOFT RIDGE DORMER DETAIL

Structural design by suitably qualified engineer

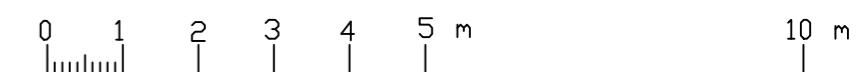
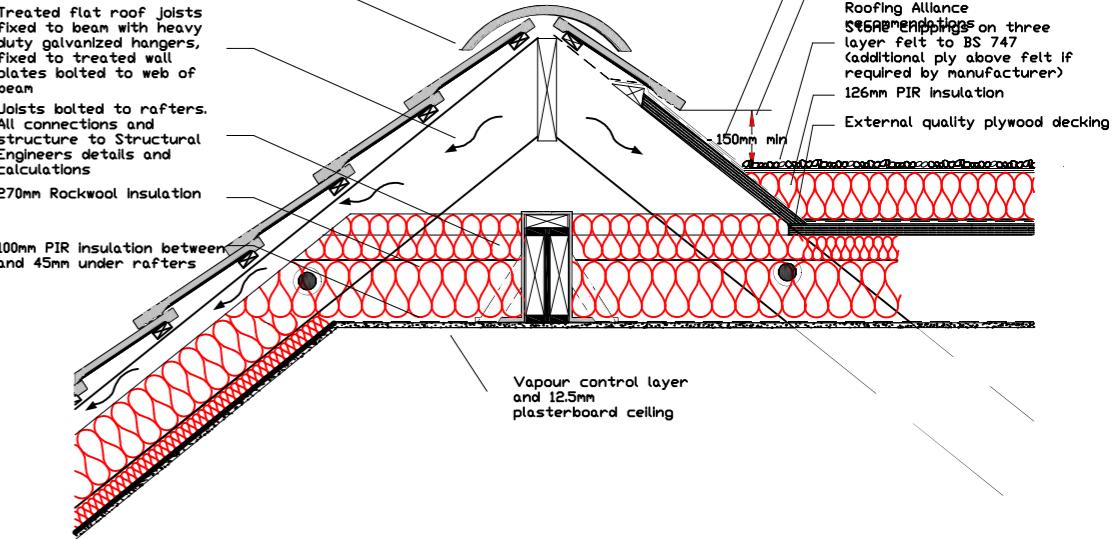
A continuous 5mm wide opening or the equivalent area is required to the length of the ridge or provide high level tile vents as agreed with the Building Control Officer

Treated flat roof joists fixed to beam with heavy duty, galvanized hangers, fixed to treated wall plates bolted to web of beam

Joists bolted to rafters. All connections and structure to Structural Engineers details and calculations

270mm Rockwool insulation

100mm PIR insulation between and 45mm under rafters



KAMLASH ANANAD

1:50 @
1 : 100 @

PROPOSED LOFT CONVERSION AT
First Floor, 4A DOGHURST AVENUE
HARLINGDON, HAYES
MIDDLESEX UB3 5BJ
DATE
08.06.2022

DRAWING TITLE	DRG. NO.	REV.
EXISTING AND PROPOSED FLOOR PLANS AND LOFT PLAN	4DOGH/HIPLO1	