

Introduction

This Design & Access Statement (DAS) and Heritage Statement is submitted for the following proposal:

1. Rear / side extensions

at:

**Braeside
Catlins Lane
Pinner
HA5 2EZ**



Figure 1 Braeside viewed from street level.

Location

Braeside is a detached single family dwelling.

The property is located on the west side of Catlins Lane and falls within Eastcote Village Conservation Area and is covered by an Article 4 Direction restricting single storey rear extensions beyond 4m from the rear wall of the property under the General Permitted Development Order.

The rear garden backs on to nature conservation area of grade 1 importance and greenbelt, but the site does not fall within either.



Conservation Area Considerations

The following will be particularly important:

- *Extensions or alterations should not be out of scale with the original house, and should respect the property's original design;*
- *Side extensions should normally be set back from the original building line;*
- *The original plan of the house should be respected, and there should be a relationship with the original form of the house;*
- *Materials and detailing should match the existing property (eg. existing features, window shapes and sizes, brick arches and eaves details);*
- *Boundary treatment should be in keeping with the street scene; and*
- *Shop-fronts should be of good quality design with appropriate advertisements and signage.*



Proposals

Extension 1

Single storey extension to the rear of the garage / side of the house on the south west side. This extension is a modest 5.9m² and extends 1.8m out from the side of the house and up to the exiting rear wall line, the side wall of the extension is set some 900mm away from the boundary line. The rear line of the extension is 1m behind the rearmost line of adjacent property 'Ashover' therefore will not have any impact on the outlook from, or amenity of the adjacent property.

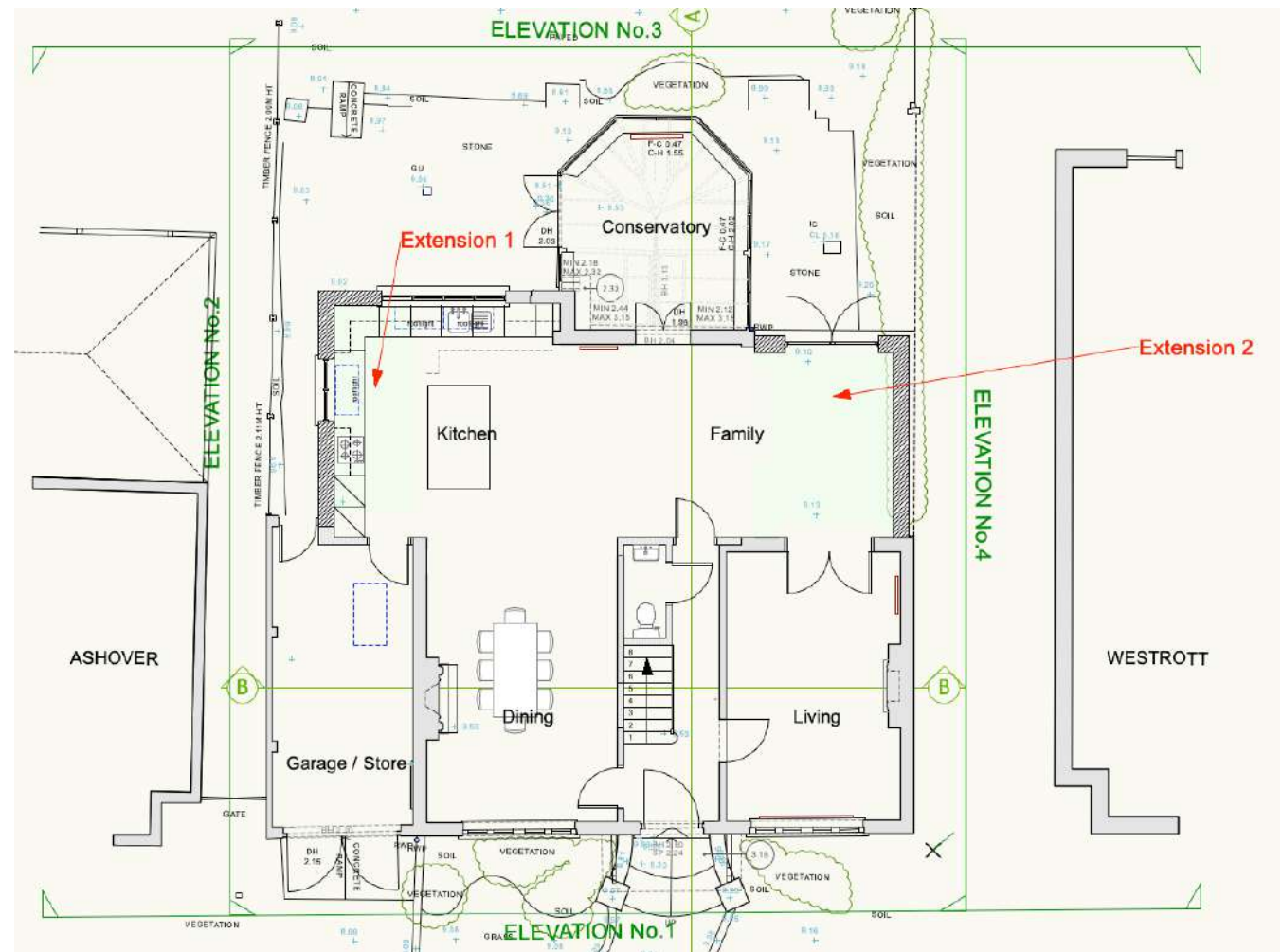
Extension 2

Two storey extension to the rear / side of the house infilling the north west corner. This extension has a ground floor footprint of 8.3m² and extends 3.8m from the stepped rear line of the house. The extensions footprint will have a small set back from the original rearmost and side line of the property to maintain the original lines of the host property.

The rear line of the extension is 3.5m behind the rearmost line of adjacent property 'Westrott' and set some 2.8m away therefore will not have any impact on the outlook from, or amenity of the adjacent property.

Additional window to front elevation

To add balance to the front elevation it is proposed to install an additional window at first floor level directly above the ground floor entrance door. No other alterations are proposed to the front elevation therefore changes to the Conservation Area when viewed from public vantage points are absolutely minimal.



Heritage

The property is within the Eastcote Village Conservation Area but is not identified as an individual heritage asset.

The property is largely unmolested aside from the rear conservatory extension comprising of red facing brickwork to the ground floor with a dental detail where this transitions into a painted rough cast render at first floor level.

Windows are timber and traditionally detailed, set back within the reveals.

Red interlocking tiled pitched roofs over with timber fascia and barge boards to overhangs.

The rear garden backs on to nature conservation area of grade 1 importance and greenbelt, but the site does not fall within either. The rear extension will be in excess of 39m from the rear boundary so have no impact on the nature conservation area and greenbelt.

The proposals aim to respect the existing property and the employ matching materials and traditional detailing to complement the existing host property.

The proposed modest extensions will not be visible from the front of the property and will not detract from the Conservation Area as a whole.



Biodiversity & SUDS

The property sits on a generous plot with mature gardens to the front and rear.

No trees or soft landscaping will be lost because of the proposed extensions, thus not reducing the biodiversity in any way.

The extension footprints will sit over existing paved areas, and as part of the proposed works it is intended to reduce the hard surfaces areas through the introduction of 6m² additional of soft landscaping, offering a modest improvement to biodiversity and sustainable urban drainage (SUDS).

The site is not within zone 2 or 3 flood risk area.



Access

Access into the property at ground floor level will remain as existing, via the front door.

It is proposed to introduce an accessible WC at ground floor level for occupants and visitors alike

Conclusion

The proposed alterations / extensions to the property have been carefully considered in light of comments received from the Pre-Application report ref 48291/PRC/2025/200, appended below.

The design of the rear extensions aims to respect the fabric of the host building and its setting within a conservation area, and to appear as a subordinate addition to the host building.

All works on site will be strictly monitored and completed to a high standard with particular attention paid to replicating the detailing of the host property.

Bellis Architects are a long-established architectural practice that has considerable experience in the handling of sensitive alterations to buildings within conservation areas.





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Date: 18th February 2026
Our Ref: 48291/PRC/2025/200

Dear David Bellis

RE: Erection of a two storey side and rear extension, a single storey side extension, and installation of a first floor window to the front elevation.

SITE: Braeside Catlins Lane Pinner

I refer to your request for pre-application planning advice dated 23rd December 2025.

The advice provided is based on the drawings and documents submitted to the Local Planning Authority for consideration.

Plan Numbers:

0631 - 100.01 - received 05 Jan 2026
0631 - 100.02 REV A - received 05 Jan 2026
0631 - 300.01 - received 05 Jan 2026
0631 - 300.02 REV A - received 05 Jan 2026
0631 - 100.00 - received 05 Jan 2026

Outlined below is a preliminary assessment of the proposal, including an indication of the main issues that should be addressed should you choose to submit a formal planning application. Please note that the views expressed in this letter represent officer opinion only and cannot be taken to prejudice the formal decision of the Council in respect of any subsequent planning application, on which consultation would be carried out which may raise additional issues. In addition, the depth of analysis provided corresponds with the scope of information made available to Council officers.

The Site and Surrounds

The application property is a two storey detached dwellinghouse with a garage, located on the western side

of Catlins Lane, Pinner. To the front of the property is a garden and hardstanding for off-street parking, and to the rear of the property is a medium sized garden.

The street scene is residential in character and appearance, comprising of detached dwellinghouses with varying designs. The property sits near to the junction with Rushmoor Close, and there is shrubland Greenbelt beyond the rear boundary of the site. In the Hillingdon Townscape Character Study (2023) the surrounding area is categorised as the Large Suburban typology which is characterised by large individual plots with substantial houses. The style of the houses varies and are usually one-off designs, but many have a strong arts and crafts influence.

In terms of constraints the application site lies within Eastcote Village Conservation Area.

The Proposal

Pre-application advice is sought for the erection of a two storey side and rear extension, a single storey side and rear extension, and installation of a first floor window to the front elevation.

The materials will be matching or similar to those of the host dwellinghouse.

Planning Policy

Development Plan

Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

The Development Plan for the London Borough of Hillingdon currently consists of the following documents:

The Local Plan: Part 1 - Strategic Policies (2012)
The Local Plan: Part 2 - Development Management Policies (2020)
The Local Plan: Part 2 - Site Allocations and Designations (2020)
The London Plan (2021)
The West London Waste Plan (2015)

Material Considerations

The National Planning Policy Framework (NPPF) (2024) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.

Hillingdon Townscape Character Study (2023) provides character descriptions for the areas of the borough, and forms part of the evidence base for the current local plan review.

The proposed development has been assessed against the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020), including Supplementary Planning Guidance, and all relevant material considerations, including The London Plan (2021) and national guidance.

Part 1 Policies:

PT1.BE1 (2012) Built Environment
PT1.HE1 (2012) Heritage

Other Policies:

DMHB 1 Heritage Assets
DMHB 4 Conservation Areas

DMHB 11	Design of New Development
DMHB 18	Private Outdoor Amenity Space
DMHD 1	Alterations and Extensions to Residential Dwellings
DMT 6	Vehicle Parking
LPP_D6	(2021) Housing quality and standards
NPPF4 -24	NPPF4 2024 - Decision making
NPPF12 -24	NPPF12 2024 - Achieving well-designed places
NPPF16 -24	NPPF16 2024 - Conserving and enhancing the historic environment

Main Planning Issues

1. Principle of development

The application site is located in the developed area of the borough where the alteration and extension of an existing dwelling is acceptable in principle subject to compliance with relevant development plan policies.

2. Design

Policy BE1 of the Hillingdon Local Plan: Part One Strategic Policies (2012) seeks a quality of design in all new development that enhances and contributes to the area in terms of form, scale and materials; is appropriate to the identity and context of the townscape; and would improve the quality of the public realm and respect local character.

More specifically to this proposal, Local Plan Part 1 (2012) and Part 2 (2020) Policies HE1, DMHB 1 and DMHB 4 are relevant given that the site forms part of the Eastcote Village Conservation Area. These policies relate specifically to heritage assets and conservation areas, seeking to avoid harm to heritage assets and ensure the preservation or enhancement of the character and appearance of the conservation area.

Considerable importance and weight have been attached to and special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, as amended.

Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) states that new development will be required to be designed to the highest standards and incorporate principles of good design.

Policy DMHD 1 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) states that alterations and extensions to dwellings should not have an adverse cumulative impact on the character and appearance of the street scene, and should appear subordinate to the main dwelling.

With regard to rear and side extensions Policy DMHD 1 states the following:

- i) single storey rear extensions on terraced or semi-detached houses with a plot width of 5 metres or less should not exceed 3.3 metres in depth or 3.6 metres where the plot width is 5 metres or more;
- ii) single storey rear extensions to detached houses with a plot width of 5 metres or more should not exceed 4.0 metres in depth;
- iii) flat roofed single storey extensions should not exceed 3.0 metres in height and any pitched or sloping roofs should not exceed 3.4 metres in height, measured from ground level;
- iv) in Conservation Areas and Areas of Special Local Character, flat roofed single storey extensions will be expected to be finished with a parapet;
- v) balconies or access to flat roofs which result in loss of privacy to nearby dwellings or gardens will

not be permitted;

vi) two storey extensions should not extend into an area provided by a 45-degree line of sight drawn from the centre of the nearest ground or first floor habitable room window of an adjacent property and should not contain windows or other openings that overlook other houses at a distance of less than 21 metres;

vii) flat roofed two storey extensions will not be acceptable unless the design is in keeping with the particular character of the existing house;

viii) pitched roofs on extensions should be of a similar pitch and materials to that of the original roof and subordinate to it in design. Large crown roofs on detached houses will not be supported; and ix) full width two storey rear extensions are not considered acceptable in designated areas or as extensions to Listed Buildings or Locally Listed Buildings.

x) side extensions should not exceed half the width of the original property;

xi) extensions to corner plots should ensure that the openness of the area is maintained and the return building line is not exceeded;

xii) garages should reflect the size guidelines set out in Appendix C Parking standards;

xiii) two storey side extensions should be set in a minimum of 1 metre from the side boundary or in the case of properties in the Copse Wood and Gatehill Estates, at least 1.5 metres, but more if on a wider than average plot, in order to maintain adequate visual separation and views between houses;

xiv) two storey side extensions to detached and semi-detached properties should be set back a minimum of 1 metre behind the main front elevation;

xv) where hip to gable roof extensions exist, a two storey side extension will not be supported; and

xvi) in Conservation Areas, single storey side extensions may be required to be set back.

The single storey side and rear extension would have a maximum depth of 4.50m (1.00m from rear elevation), a side width of 1.82m, a eaves height of 2.70m, and a maximum height of 3.50m. The depth from the rear elevation and the width from the side elevation would comply with what is permitted for detached dwellings under Policy DMHD 1. The height would be around 10cm over what is permitted under DMHD 1 but officers consider that this would not be harmful to the overall character and appearance of the house. Being located to the rear and having a matching materials and roof form means there would not be harm to the surrounding conservation area.

The two storey side and rear extension would have a depth of 3.88m, a width of 2.97m, an eaves height of 5.95m, and a maximum height of 7.95m. These dimensions are compliant with the criteria set out under Policy DMHD1. Although the two storey side extension would not be set in 1m from the boundary, Officers note that it would be located to the rear and behind an existing two storey section of dwellinghouse. The height of the proposed extension is also set down from the original houses ridge height, this means that the extension will be subordinate and not impact the character and appearance of the surrounding conservation area. The main design concern is the proposed crown roof on top of the two storey side and rear extension. Officers recommend that this roof form is removed from the proposal and redesigned to improve the likelihood of favourable outcome.

The proposed first floor front window is considered acceptable and would be conditioned to be of a similar design to the existing dwellinghouses windows in order to protect the character and appearance of the property within the conservation area.

Summary:

On the basis of the information submitted and the assessment above of the potential impact of the proposal on the character and appearance of the property and the surrounding area, officers would object to the proposal in its current form for the following reasons:

- i.) The proposed formation of a crown roof on top of the two storey side and rear extension.

In order to submit a more favourable application, officers recommend that these issues are addressed.

3. Amenity

Policy DMHD 1 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) states that planning applications relating to alterations and extensions of dwellings will be required to ensure, amongst other matters, that: ii) a satisfactory relationship with adjacent dwellings is achieved, and v) there is no unacceptable loss of outlook to neighbouring occupiers.

Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) seeks to ensure that development proposals do not adversely impact on the amenity, daylight and sunlight of adjacent properties and open space.

Westcott is a detached dwellinghouse located to the north of the application site. The proposed two storey side and rear extension would be the closest part of the proposal to this property. There is not likely to be any detrimental impacts on the amenities of this property as a result of this proposal due to there being no side windows proposed on this two storey extension. The two storey extension also would not breach the 45 degree line of sight from rear facing habitable room windows.

Ashover is a detached dwellinghouse located to the south of the application site. The proposed single storey side and rear extension would be the closest part of the proposal to this property. There would not likely be any detrimental impacts upon the amenities of this neighbouring property due to this single storey extension not extending beyond the established rear building line of this property.

In order to preserve the privacy of the neighbouring properties conditions will likely be secured removing the permitted development rights to install new windows and doors, and to require the new side facing windows to have obscure glazing and be non-opening below a height of 1.8 metres taken from internal finished floor level.

On the basis of the information submitted and the assessment above of the potential impact of the proposal on amenities of neighbouring properties. Officers would not object to the proposal.

4. Highways

Officers consider that the hard standing area to the front would retain enough parking space for the property. Officers recommend that any off street parking is indicate on a site plan. As such it is considered that the development would comply with Policy DMT 6 of the Hillingdon Local Plan Part 2: Development Management Policies (2020).

5. Other

Private Amenity Space:

The proposed development would retain enough of the rear garden space, circa 455 sqm, to be in accordance with the minimum private amenity space standards for a 2-3 Bedroom House, as set out in Table 5.3 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020). As such, the proposal would not undermine the provision of external amenity space for the existing occupiers at the application site, in compliance with Policies DMHD 1 and DMHB 18 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

6. Planning Obligation and CIL (Mayor and LBH)

Based on the plans submitted, the proposal would not be liable for CIL.

7. Application Submission

The Council has an adopted Local Planning Validation Checklist (February 2024), which sets out in full the documentation and other information required for applications.

Any future application would need to be supported by the following documentation:

- Site Location Plan (Scale 1:1250 or 1:2500)
- Block Plan (Scale 1:200 or 1:500)

- Existing and Proposed Floor Plans (Scale 1:50 or 1:100)
- Existing and Proposed Elevations (Scale 1:50 or 1:100)
- Existing and Proposed Roof Plan (Scale 1:50 or 1:100)
- Heritage Statement
- Community Infrastructure Levy Additional Information Form

Should you require further information, please refer to the Council's website: <https://www.hillingdon.gov.uk/apply-planning-permission>.

8. Conclusion

In conclusion, Officers accept that there is scope to further extend this property beyond it's existing form. However, this needs to be done in way that is sympathetic to the character and appearance of the existing dwellinghouse and surrounding area. Any proposal will also need to follow the design guidance set out in Appendix A: Householder Development Policies of Hillingdon Local Plan: Part Two - Development Management Policies (2020), mainly not including crown roofs.

In order to increase the likelihood of a favourable decision at the formal planning application stage, Officers recommend that the suggested revisions are implemented. If these issues are suitably resolved, then the formal planning application submission should be supported by the plans and documentation requested within the main body of the report to aid the detailed consideration of the application.

The comments made in this letter represent officer opinion and cannot be seen to prejudice the Local Planning Authority's formal determination of this or any other planning application.

Please be advised that the Council require confirmation that you wish to enter into a PPA as soon as possible, in order to ensure the necessary resource are in place to meet the terms of the PPA.

Thank you for entering into the Councils pre-application advice service and I trust you have found this service of assistance.

**Samuel Patten
Planning Apprentice
London Borough of Hillingdon**

Planning Guarantee

For complex applications which are likely to exceed the statutory timeframes, the applicant is encouraged to enter into a Planning Performance Agreement (PPA) to allow for the negotiation of complex cases. Central Government encourages the use of PPAs for larger and more complex planning proposals to bring together the developer, the Local Planning Authority and key stakeholders to work in partnership throughout the planning process.

Providing a PPA helps ensure that major proposals progress through the application process in a timely fashion and result in high quality development but the service is both time consuming and costly. The charge for all Planning Performance Agreements will ensure that adequate resources and expertise can be provided to advise on major development proposals, the charges are determined in a site by site basis.

Hillingdon are committed to ensure the best possible service provision to all of our applicants. In order to ensure this, we will not be able to facilitate negotiation which would result in an application being determined outside of statutory timeframes, unless the applicant has entered into a Planning Performance Agreement.