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Statim Build
Ealing House,
33 Hanger Lane,
London, W5 3HJ

Contact: 0207 459 4194
Email: support@statimbuild.com

Client:
Alan Rock

Project Title:
Loft conversion

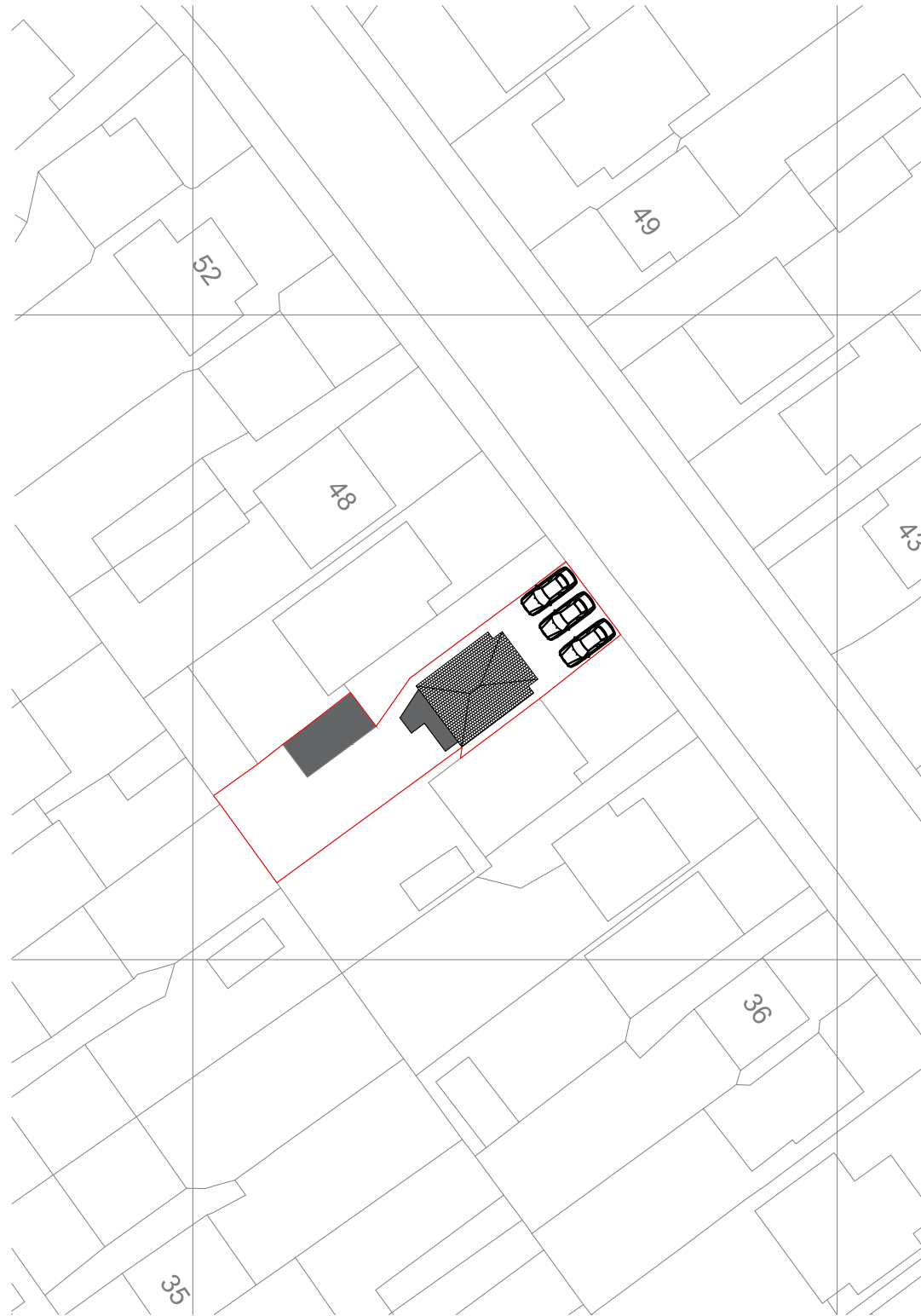
Project Address:
44 Mount Pleasant,
Ruislip HA4 9HG, UK

Client ID:
564452143

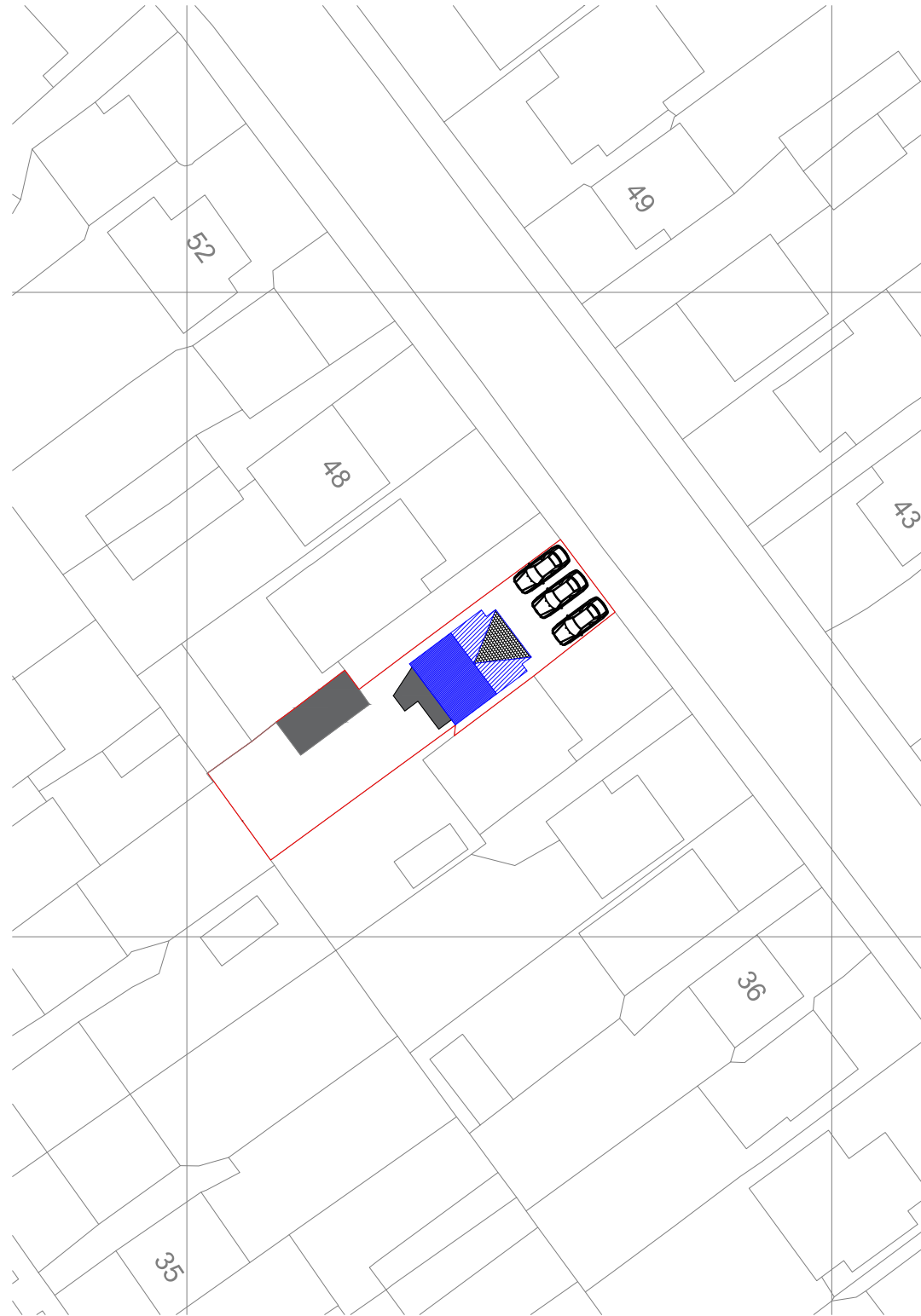
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Location plan			
Scale		A3	
1:1250			
Drawn By: DP	Checked By: ZA	Approved By: AR	
Drawing No. SB22/AR/001		Revisions 01	



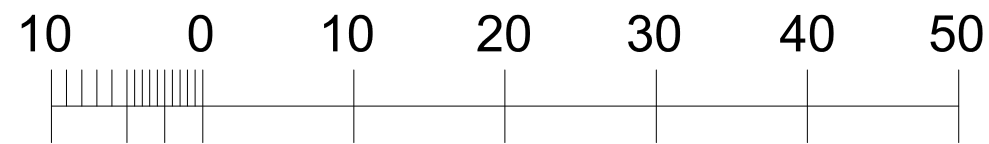
1 LOCATION PLAN
SCALE 1:1250 @ A3



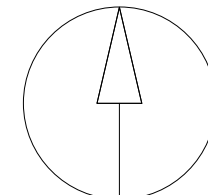
2 BLOCK PLAN EXISTING
SCALE 1:500 @ A3



3 BLOCK PLAN PROPOSED
SCALE 1:500 @ A3



Metres



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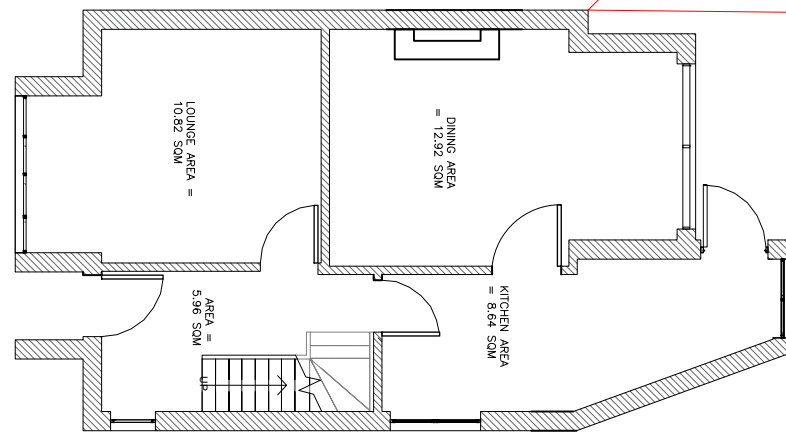
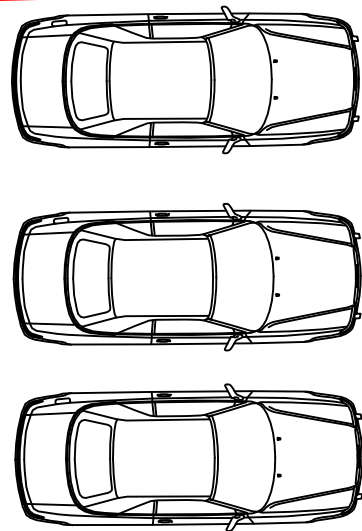
Client:
Alan Rock

Project Title:
Loft Conversion Rear Dormer

Project Address:
44 Mount Pleasant, Ruislip
HA4 9HG

Client ID:
564452143

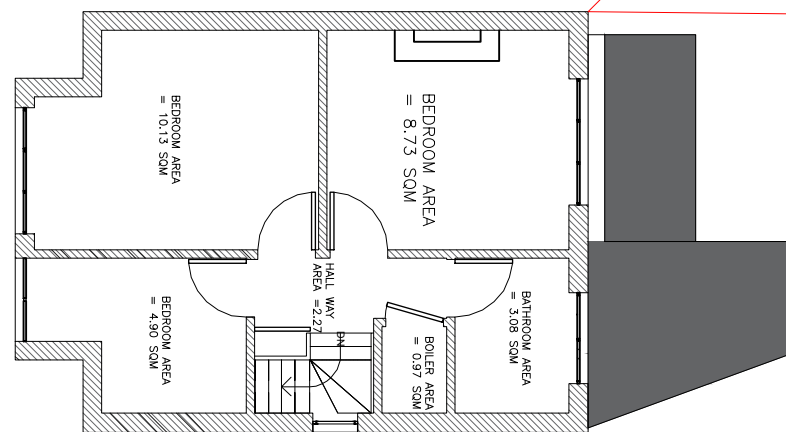
Drawing Title	Date: 19.08.2022	
Block Plans		
Scale	1:500	A3
Drawn By:	Checked By:	Approved By:
ZA	HM	MA
Drawing No.	Revisions	
SB21/AR/002	04	



Existing Ground Floor Area (measured externally)= 49.72 sqm

4 EXISTING GROUND FLOOR PLAN

SCALE 1:100 @ A3



Existing First Floor Area (measured externally)= 40.51 sqm

5 EXISTING FIRST FLOOR PLAN

SCALE 1:100 @ A3



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Client:

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Project Title:

Loft conversion

Project Address:

44 Mount Pleasant,
Ruislip HA4 9HG, UK

Client ID:

564452143

Drawing Title Date: 19.08.2022

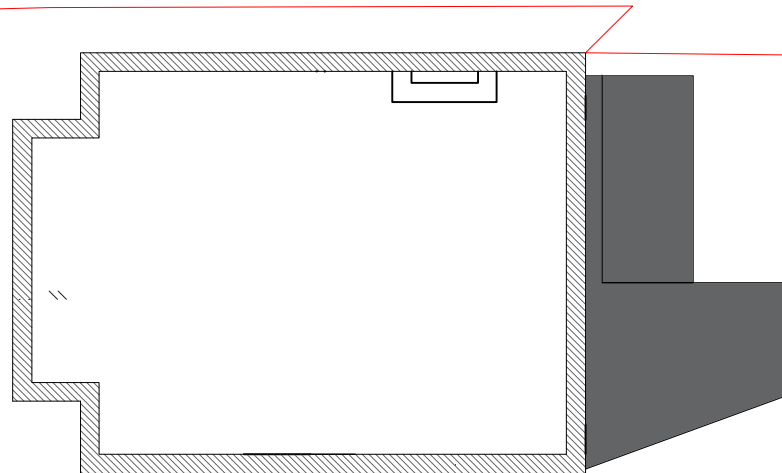
Existing plans

Scale
1:200

A3

Drawn By: ZA Checked By: HM Approved By: AR

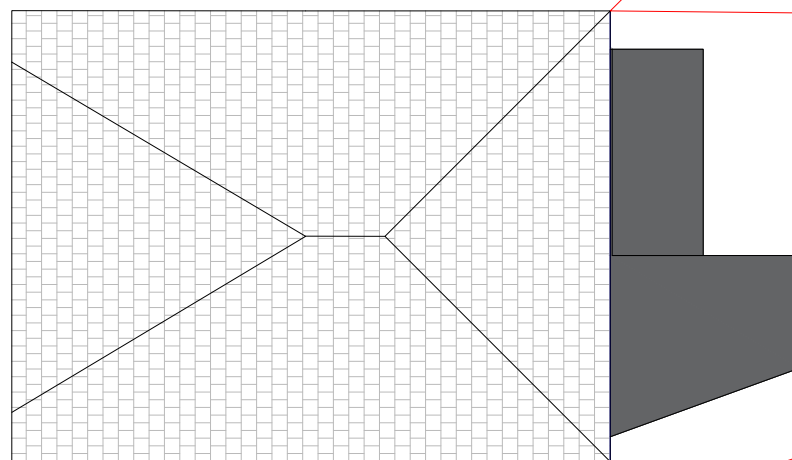
Drawing No. SB22/AR/003 Revisions 01



Existing Loft Floor Area (measured externally)= 40.51 sqm

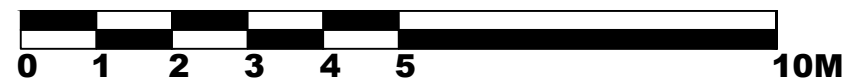
6 EXISTING LOFT PLAN

SCALE 1:100 @ A3



7 EXISTING ROOF PLAN

SCALE 1:100 @ A3



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Client ID:

564452143

Drawing Title Date: 19.08.2022

Existing plans

Scale

1:200

A3

Drawn By: ZA Checked By: HM Approved By: AR

Drawing No. SB22/AR/004 Revisions 01

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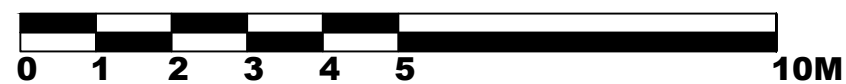
Client:
Alan Rock
Project Title:
Loft conversion
Project Address:
44 Mount Pleasant,
Ruislip HA4 9HG, UK
Client ID:
564452143

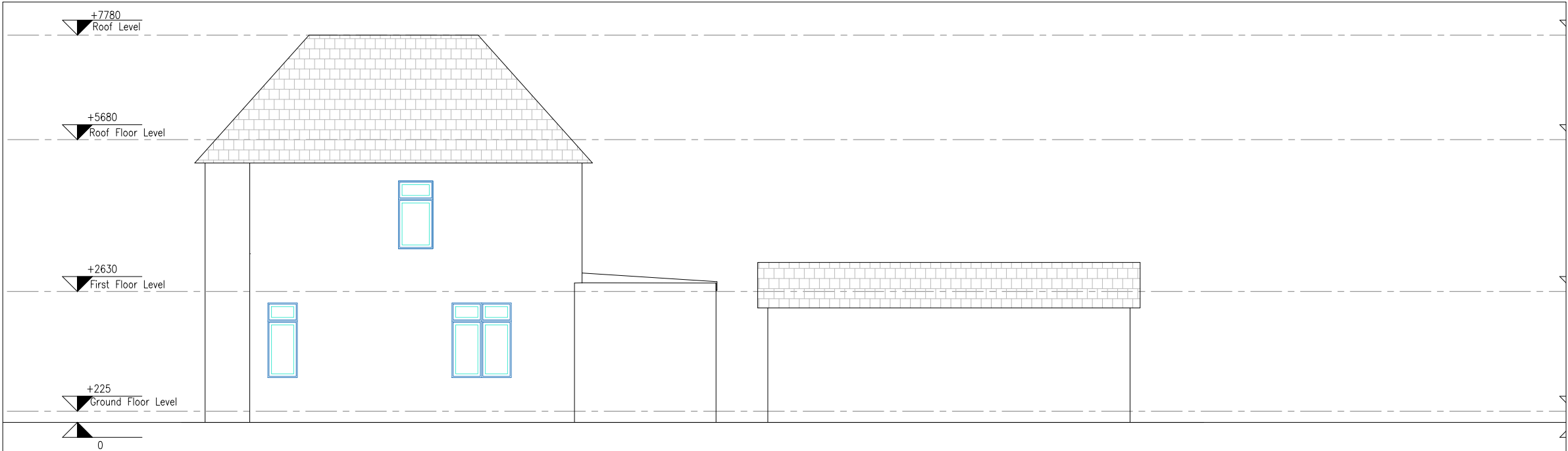
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Existing elevations		
Scale 1:100		A3
Drawn By: ZA	Checked By: DP	Approved By: AR
Drawing No. SB22/AR/005		Revisions 01

+7780
Roof Level
+5680
Roof Floor Level
+2630
First Floor Level
+225
Ground Floor Level
0
Ground Level

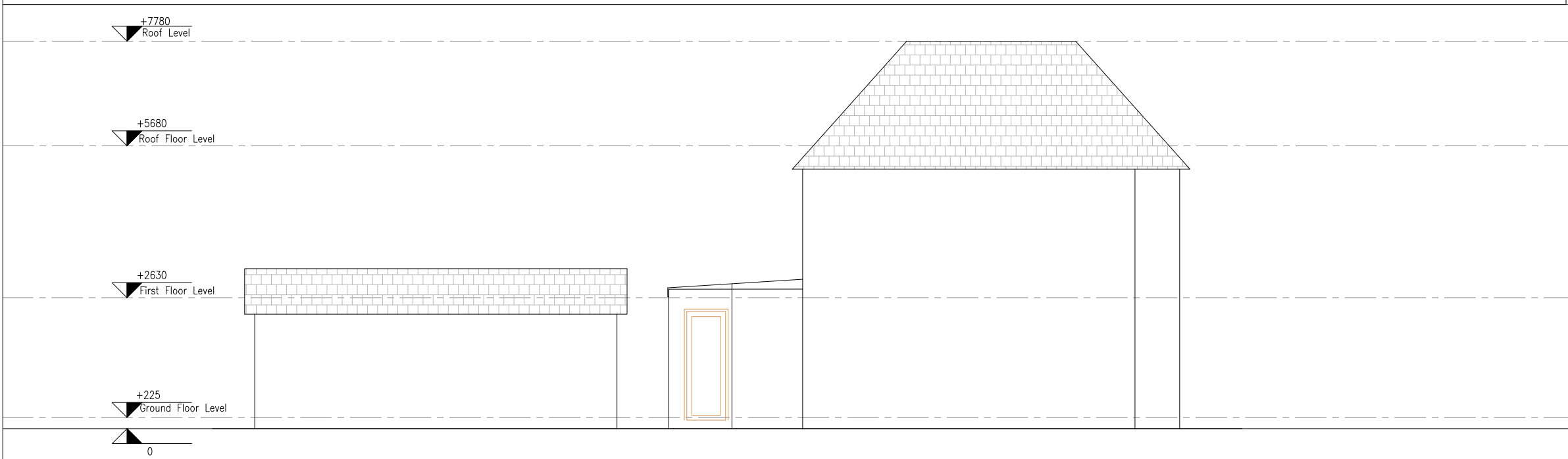
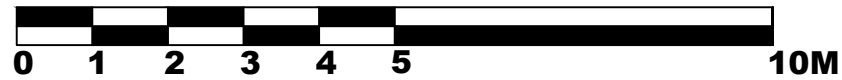
8 EXISTING FRONT ELEVATION
SCALE 1:100 @ A3

9 EXISTING REAR ELEVATION
SCALE 1:100 @ A3





10 EXISTING SIDE ELEVATION
SCALE 1:100 @ A3



11 EXISTING SIDE ELEVATION
SCALE 1:100 @ A3

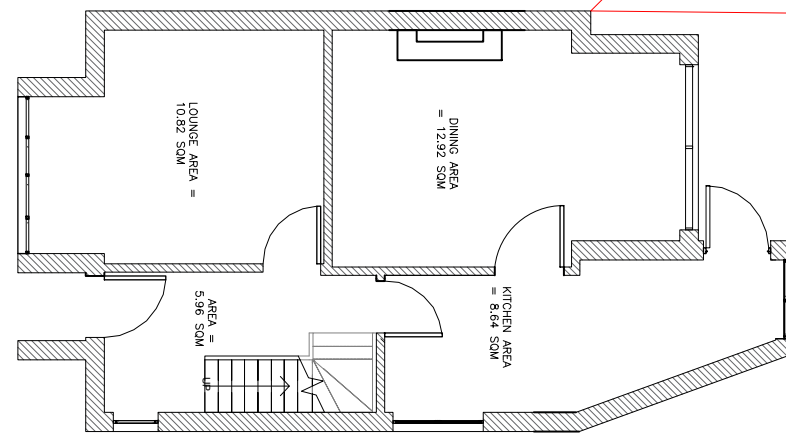
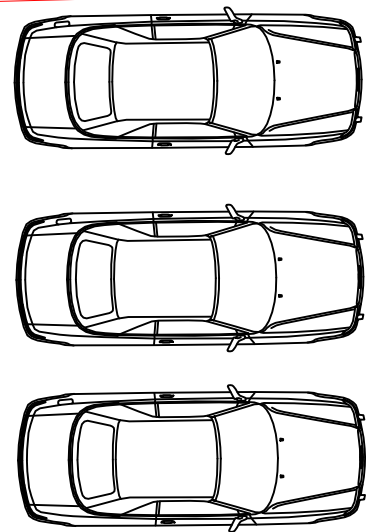
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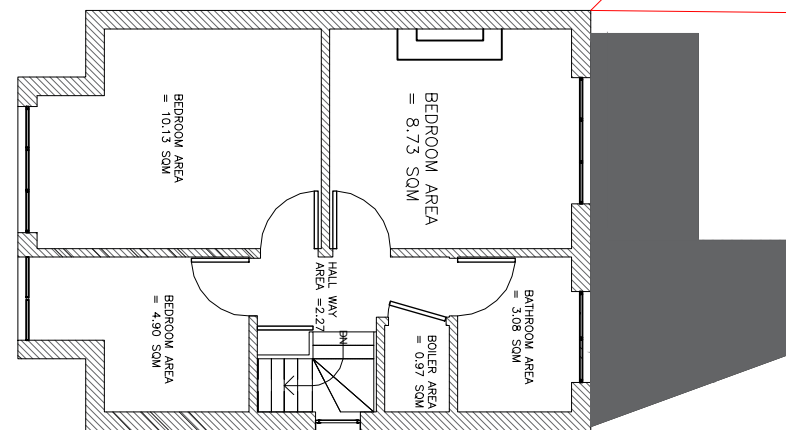
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Existing elevations		
Scale	A3	
1:100		
Drawn By:	Checked By:	Approved By:
ZA	DP	AR
Drawing No.	Revisions	
SB22/AR/006	01	



Existing Ground Floor Area (measured externally)= 49.72 sqm

12 PROPOSED GROUND FLOOR PLAN

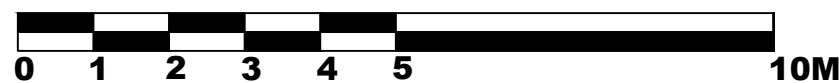
SCALE 1:100 @ A3



Existing First Floor Area (measured externally)= 40.51 sqm

13 PROPOSED FIRST FLOOR PLAN

SCALE 1:100 @ A3



- The materials used in any exterior work will be of a similar appearance to those used in the construction of the exterior of the existing dwelling house.
- The windows inserted on the wall or roof slope forming a side elevation of the dwelling house will be obscure-glazed, and non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.
- The rooflights will not protrude more than 150mm beyond the plane of the slope of the original roof.

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Client:

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Project Title:

Loft conversion

Project Address:

44 Mount Pleasant,
Ruislip HA4 9HG, UK

Client ID:

564452143

Drawing Title | Date: 14.07.2022

Proposed Ground Floor Plan

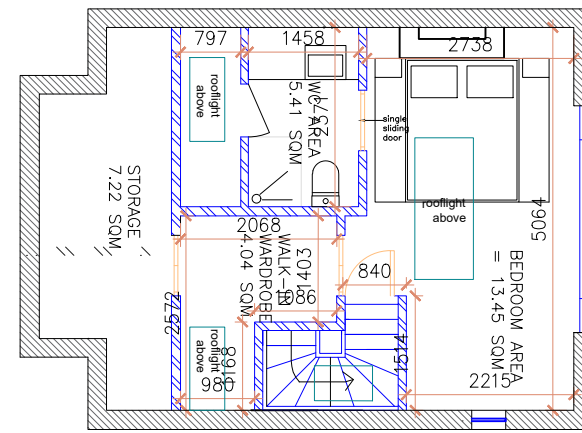
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1:100

A3

Drawn By: ZA | Checked By: DP | Approved By: AR

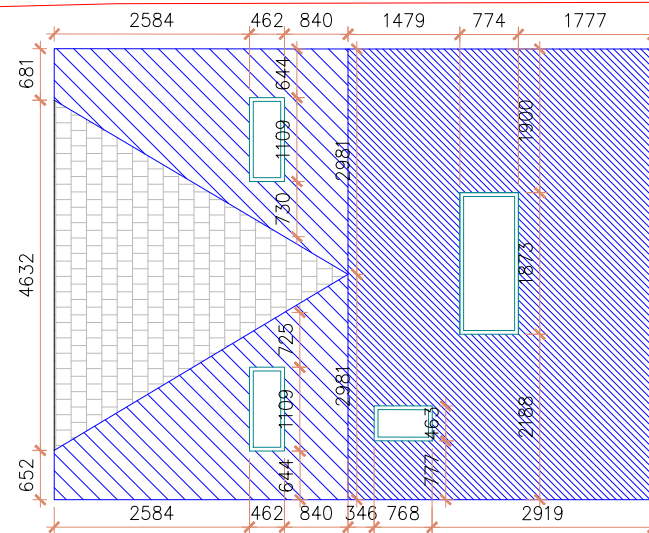
Drawing No. SB22/AR/007 | Revisions 01



Existing Loft Floor Area (measured externally)= 40.51 sqm

14 PROPOSED LOFT PLAN

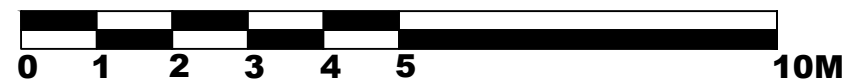
SCALE 1:100 @ A3



Proposed Loft Volume Area = 45.25 m³

15 PROPOSED ROOF PLAN

SCALE 1:100 @ A3



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Project Title:

Loft conversion

Project Address:

44 Mount Pleasant,
Ruislip HA4 9HG, UK

Client ID:

564452143

Drawing Title | Date: 14.07.2022

Proposed Ground Floor Plan

Scale

1:100

A3

Drawn By: ZA | Checked By: DP | Approved By: AR

Drawing No. SB22/AR/008 | Revisions 01

- The materials used in any exterior work will be of a similar appearance to those used in the construction of the exterior of the existing dwelling house.
- The windows inserted on the wall or roof slope forming a side elevation of the dwelling house will be obscure-glazed, and non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.
- The rooflights will not protrude more than 150mm beyond the plane of the slope of the original roof.

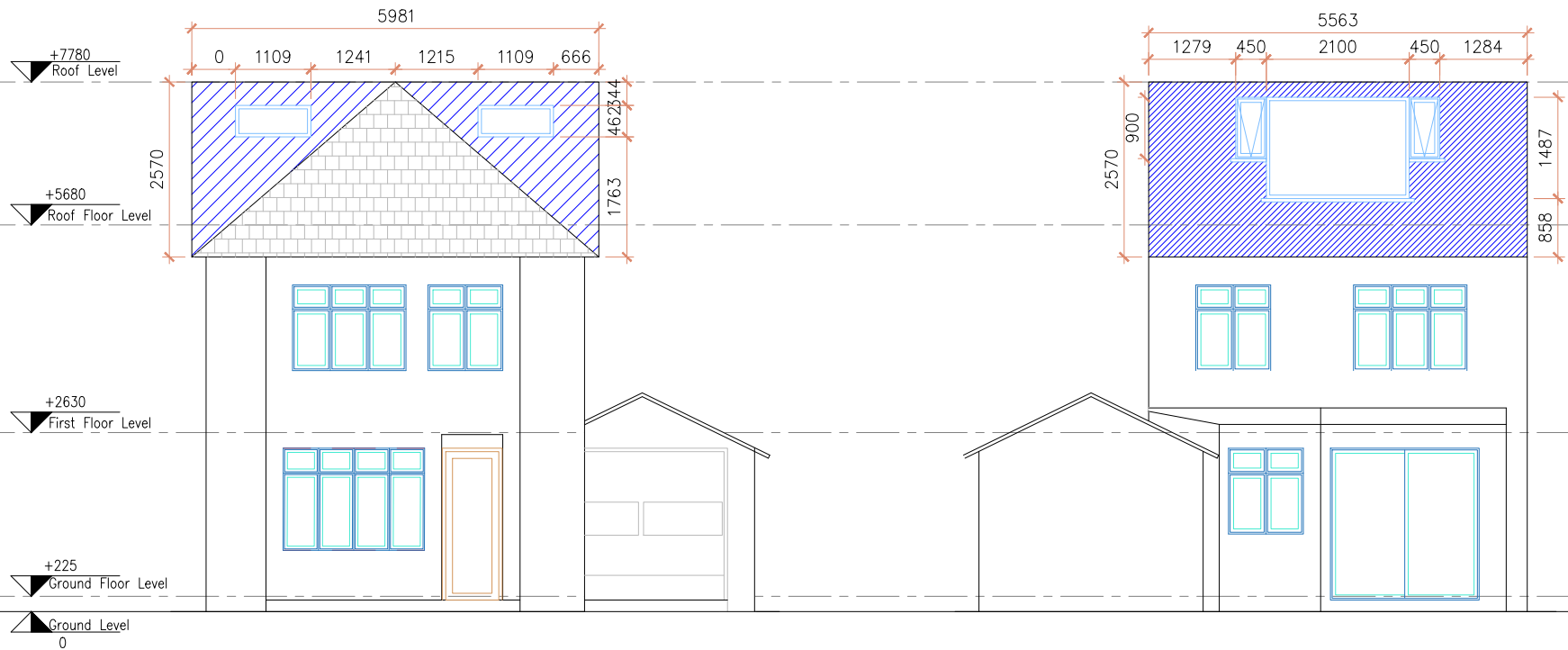
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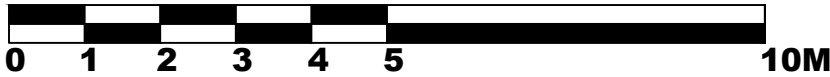
Client:
Alan Rock
Project Title:
Loft conversion
Project Address:
44 Mount Pleasant,
Ruislip HA4 9HG, UK
Client ID:
564452143

Drawing Title		Date: 19.08.2022
Proposed Front and Rear Elevations		
Scale 1:100		A3
Drawn By: ZA	Checked By: HM	Approved By: AR
Drawing No. SB22/AR/009		Revisions 01

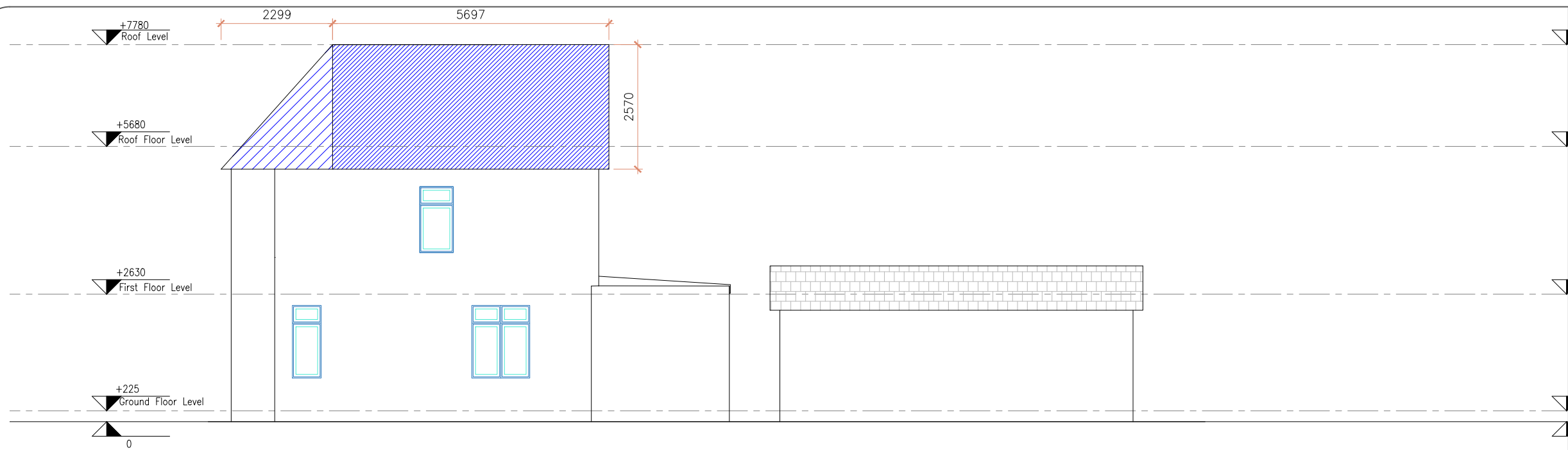


16 PROPOSED FRONT ELEVATION
SCALE 1:100 @ A3

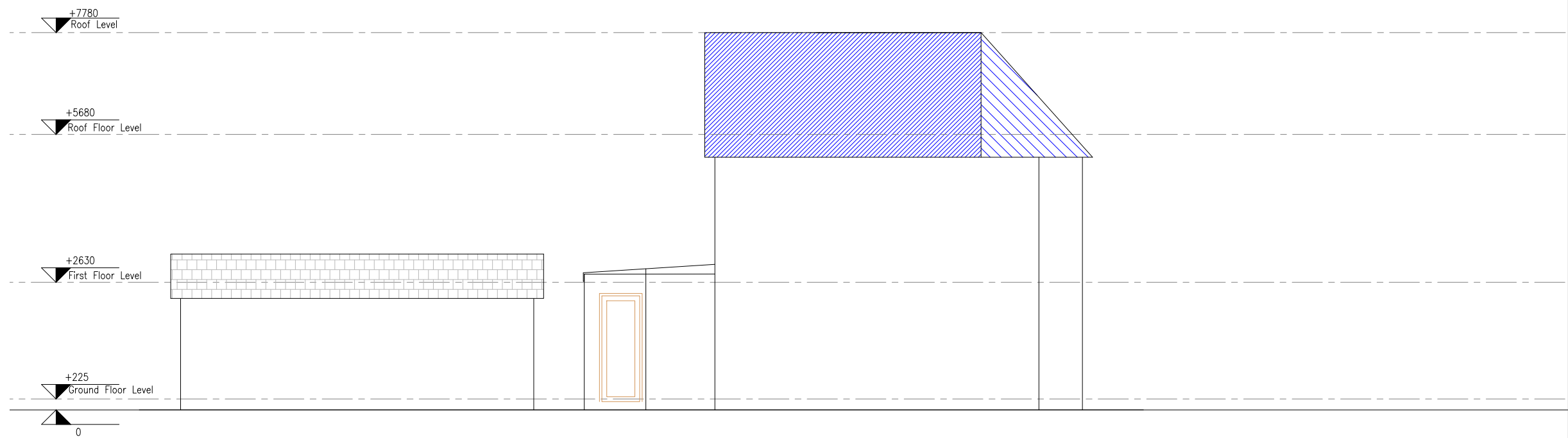
17 PROPOSED REAR ELEVATION
SCALE 1:100 @ A3



- The windows inserted on the wall or roof slope forming a side elevation of the dwelling house will be obscure-glazed, and non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.
- The rooflights will not protrude more than 150mm beyond the plane of the slope of the original house
- The materials used in any exterior work will be of a similar appearance to those used in the construction of the exterior of the existing dwelling house.



18 PROPOSED SIDE ELEVATION
SCALE 1:100 @ A3



19 PROPOSED SIDE ELEVATION
SCALE 1:100 @ A3

- The windows inserted on the wall or roof slope forming a side elevation of the dwelling house will be obscure-glazed, and non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.
- The rooflights will not protrude more than 150mm beyond the plane of the slope of the original house
- The materials used in any exterior work will be of a similar appearance to those used in the construction of the exterior of the existing dwelling house.

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Client ID:
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Drawing Title	Date: 19.08.2022
Proposed Side Elevations	
Scale 1:100	A3
Drawn By: DP	Checked By: ZA
Approved By: AR	Revisions SB22/AR/011 01