



## Planning Statement

**ATTN: Planning Department**

**RE: 44 Mount Pleasant, Ruislip HA4 9HG, UK**

44 Mount Pleasant is a 3 bed detached house in London. The proposal is for a loft conversion. This Planning statement is to be read in conjunction with the following documents.

1. Full set of drawings
2. Location Map

The following policies and legislation have been considered:

1. Local Plan
2. Technical Housing standards
3. Permitted development rights for householder

### *The Proposal*

The proposal is for a dormer loft conversion and a 3m rear extension.

### **Class B – additions etc. to the roof**

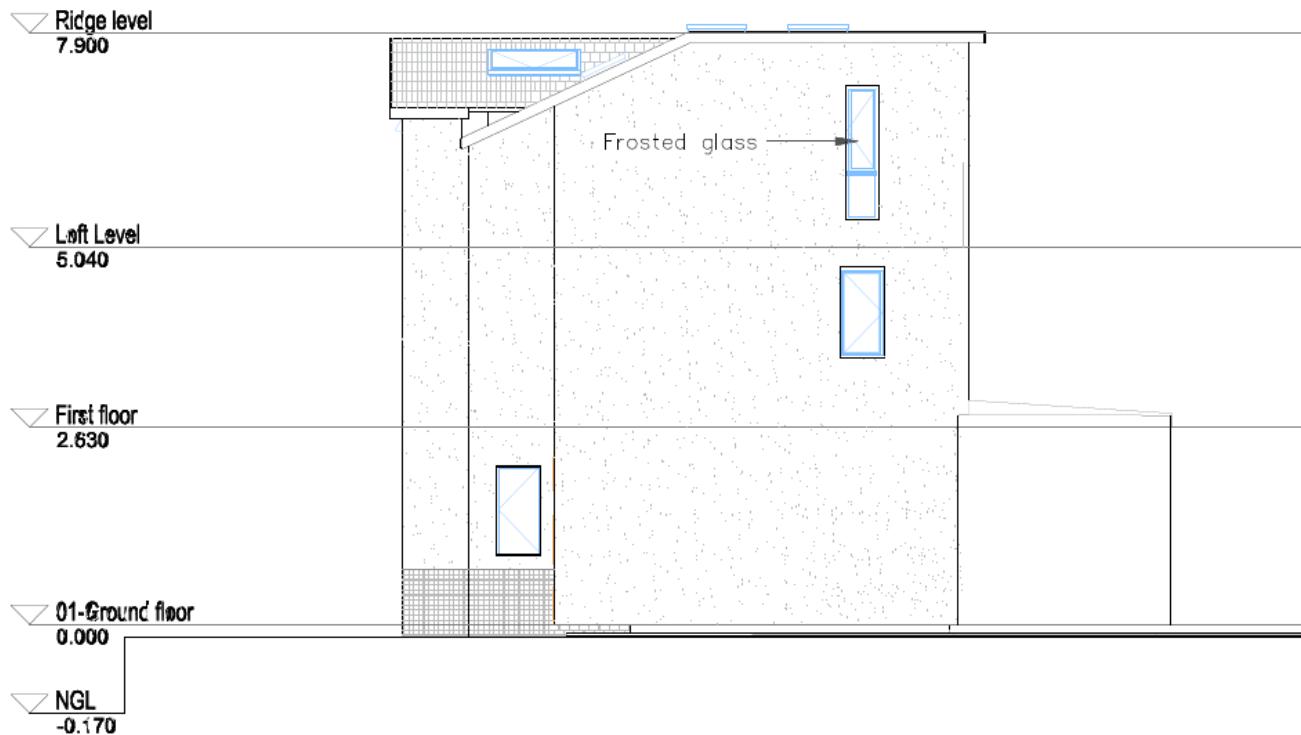
#### Loft Conversion

##### ***B.1 Development is not permitted by Class B if –***

***a) permission to use the dwellinghouse as a dwellinghouse has been granted only by virtue of Class M, N, P, PA or Q of Part 3 of this Schedule (change of use)***

The house was not created under the permitted development rights to change use, set out in Classes M, N, P, PA, and Q of Part 3 of Schedule 2 to the Order.

***b) any part of the dwellinghouse would, as a result of the works, exceed the height of the highest part of the existing roof***



**18 PROPOSED SIDE ELEVATION**  
SCALE 1:100 @ A3

Fig.1 Side elevation

As it can be seen on Fig. 1, the highest point of the new dormer is not to be higher than any point of the highest part of the existing roof.

***(c) any part of the dwellinghouse would, as a result of the works, extend beyond the plane of any existing roof slope which forms the principal elevation of the dwellinghouse and fronts a highway***

No part of the new dormer loft conversion will extend beyond the plane of the existing roof slope which forms the principal elevation of the dwellinghouse and fronts a highway.

***(d) the cubic content of the resulting roof space would exceed the cubic content of the original roof space by more than -***

- (i) 40 cubic metres in the case of a terrace house, or***
- (ii) 50 cubic metres in any other case***

The cubic meterage of the loft is not more than 50 cubic metres.

**For the purposes of Class B “resulting roof space” means the roof space as enlarged, taking into account any enlargement to the original roof space, whether permitted by this Class or not.**

**(e) it would consist of or include -**

- (i) the construction or provision of a verandah, balcony or raised platform, or**
- (ii) the installation, alteration or replacement of a chimney, flue or soil and vent pipe**
- (f) the dwellinghouse is on article 2(3) land**

The loft conversion is not on article 2(3) land and won't include any of the abovementioned elements.

#### **Conditions**

**B.2 Development is permitted by Class B subject to the following conditions -**

- (a) the materials used in any exterior work shall be of a similar appearance to those used in the construction of the exterior of the existing dwellinghouse.**

The materials used for the external walls will be the same as the existing.

**The used materials will be**

**(b) the enlargement shall be constructed so that –**

**(i) other than in the case of a hip-to-gable enlargement or an enlargement which joins the original roof to the roof of a rear or side extension –**

**(aa) the eaves of the original roof are maintained or reinstated; and**

**(bb) the edge of the enlargement closest to the eaves of the original roof shall, so far as practicable, be not less than 0.2 metres from the eaves, measured along the roof slope from the outside edge of the eaves; and**

**(ii) other than in the case of an enlargement which joins the original roof to the roof of a rear or side extension, no part of the enlargement extends beyond the outside face of any external wall of the original dwellinghouse**

As it can be seen on fig. 1 the eaves are inset by 0.2m and it will not extend beyond the outside face of any external wall of the original house.

**(c) any window inserted on a wall or roof slope forming a side elevation of the dwellinghouse shall be -**

**(i) obscure-glazed, and**

**(ii) non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed**

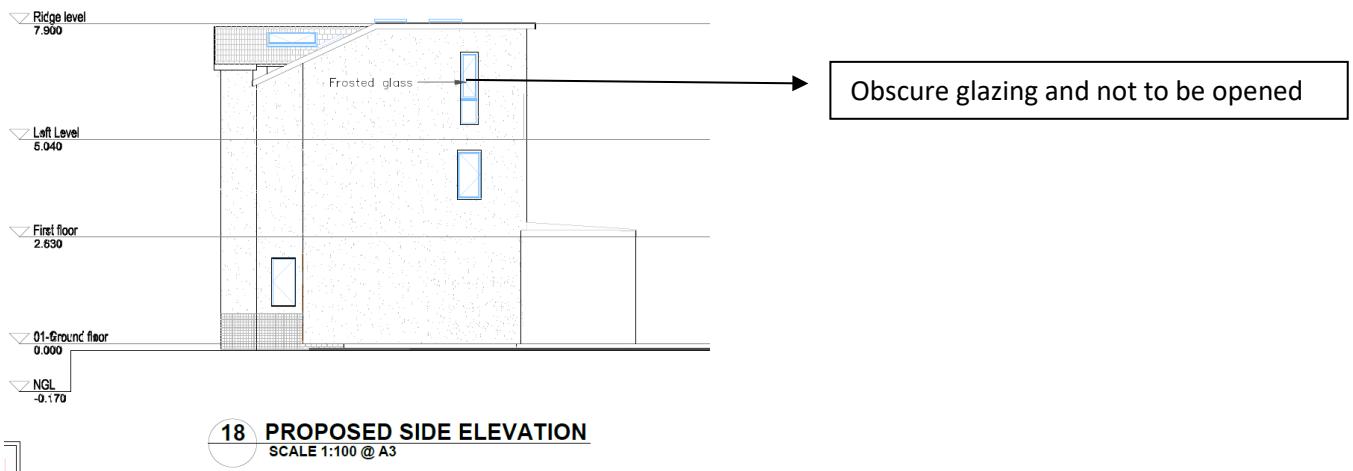


Fig.2 Side elevation with obscure glazing and non-opening window below 1.7 m

As it can be seen on the image above, the window at the side of the house is to be obscure glazed and non-opening below 1.7m, in accordance with the permitted development guidelines.